

San Carlos Condominium

Gulf Shores, Alabama

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HN

HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

30 N. PALAFOX PENSACOLA, FLORIDA 32501

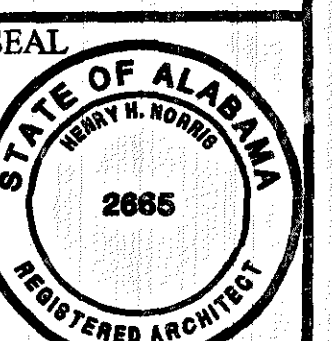
(850) 432-6011 FAX 435-9001

Cover Page

San Carlos Condominium
Gulf Shores, Alabama

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CHECKED: JHN
DATE: 5/21/04
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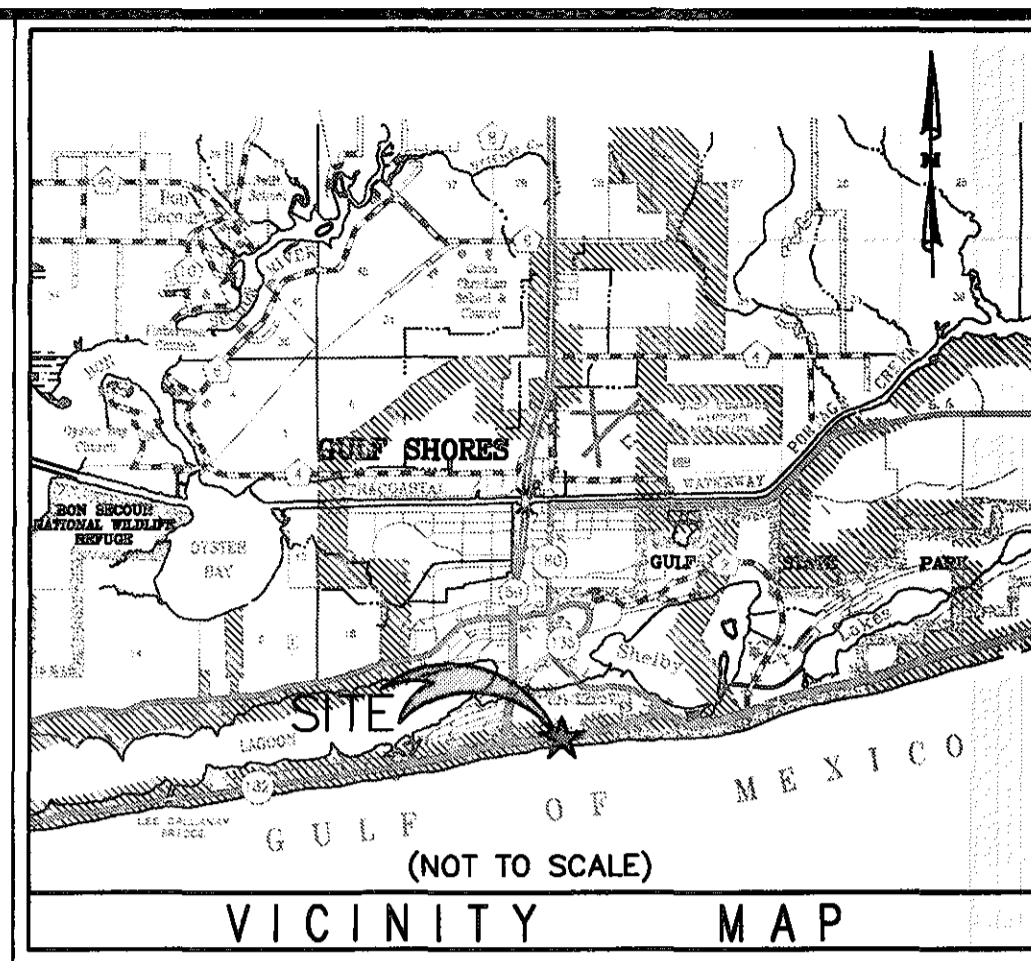
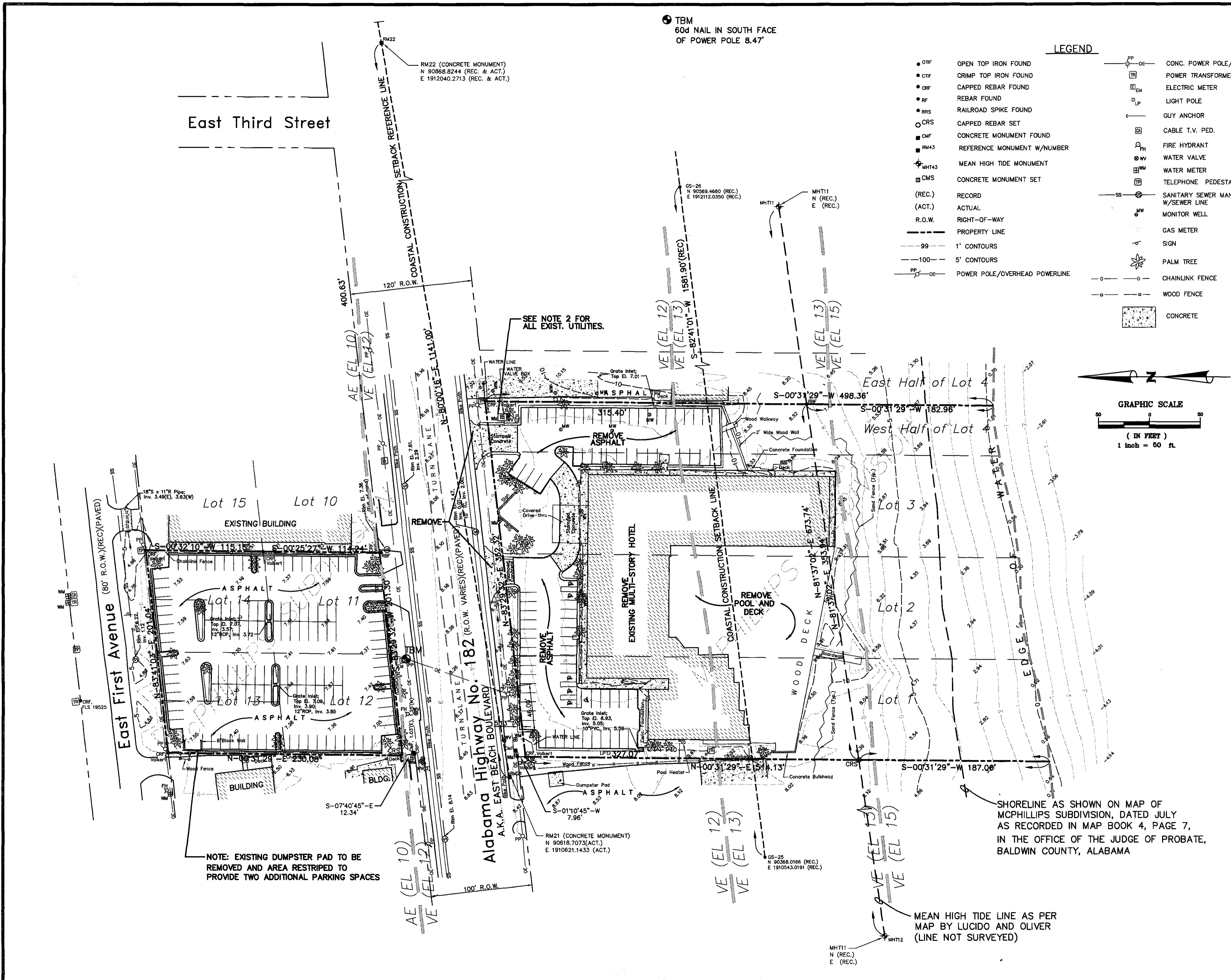
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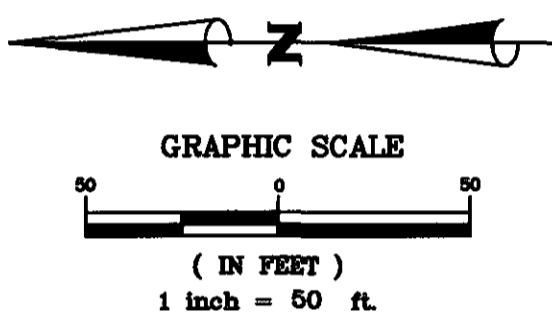
"Need Not Be Built"

OF



LEGEND

- OTIF OPEN TOP IRON FOUND
- CTIF CRIMP TOP IRON FOUND
- CRF CAPPED REBAR FOUND
- RF REBAR FOUND
- RRS RAILROAD SPIKE FOUND
- CRS CAPPED REBAR SET
- CMF CONCRETE MONUMENT FOUND
- RM43 REFERENCE MONUMENT W/NUMBER
- ⊕ MHT43 MEAN HIGH TIDE MONUMENT
- CMS CONCRETE MONUMENT SET
- (REC.) RECORD
- (ACT.) ACTUAL
- R.O.W. RIGHT-OF-WAY
- 99 1' CONTOURS
- 100 5' CONTOURS
- PP-DE POWER POLE/OVERHEAD POWERLINE
- TP-DE CONC. POWER POLE/OVERHEAD POWERLINE
- PT POWER TRANSFORMER
- EM ELECTRIC METER
- LP LIGHT POLE
- GA GUY ANCHOR
- CT CABLE T.V. PED.
- FH FIRE HYDRANT
- WV WATER VALVE
- WM WATER METER
- TP TELEPHONE PEDESTAL
- SS SANITARY SEWER MANHOLE
- W/S W/SEWER LINE
- MW MONITOR WELL
- GM GAS METER
- S SIGN
- P PALM TREE
- C CHAINLINK FENCE
- W WOOD FENCE
- CONCRETE



NOTES:

- 1.) CONTRACTOR SHALL VISIT THE SITE TO VERIFY AND CLARIFY THE EXTENT OF DEMOLITION REQUIRED. THE PLAN SHOWN IS TO ILLUSTRATE THE GENERAL EXTENT OF DEMOLITION AND MAY NOT INCLUDE EACH SPECIAL CONDITION.
- 2.) CONTRACTOR TO TERMINATE ALL ELECTRICAL OUTLETS AND CIRCUITS, GAS SOURCES, WATER AND SEWER CONNECTIONS, ETC., AS REQUIRED FOR DEMOLITION AND NEW CONSTRUCTION.
- 3.) CONTRACTORS PRICE FOR DEMOLITION SHALL INCLUDE REMOVAL OF ALL DEBRIS FROM THE SITE AND PROPER DISPOSAL TO A LANDFILL. NO BURIAL OF DEBRIS ONSITE SHALL BE ALLOWED.
- 4.) CONTRACTOR SHALL REFER TO ARCHITECTURAL SPECIFICATIONS FOR DEMOLITION OF BUILDINGS.
- 5.) ANY COLORED MATERIAL PROHIBITED BY THE CITY OF GULF SHORES SPECIFICATIONS FOR FILL MATERIAL THAT IS EXCAVATED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF. NEW FILL MATERIAL SHALL BE CLEAN SAND OR STONE MEETING REQUIREMENTS.

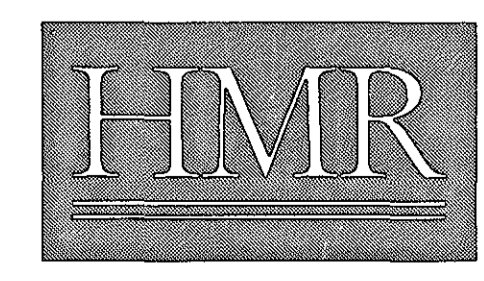
DRAWING INDEX

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4	UTILITY PLAN
5	GEOMETRIC PLAN
6	CONSTRUCTION DETAILS
7	CIVIL NOTES
8	EROSION CONTROL
9	EROSION CONTROL DETAILS
10-13	LANDSCAPE PLAN

NOTE: EXISTING DUMPSTER PAD TO BE REMOVED AND AREA RESTRIPTED TO PROVIDE TWO ADDITIONAL PARKING SPACES

SHORELINE AS SHOWN ON MAP OF MCPHILLIPS SUBDIVISION, DATED JULY AS RECORDED IN MAP BOOK 4, PAGE 7, IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA

MEAN HIGH TIDE LINE AS PER MAP BY LUCIDO AND OLIVER (LINE NOT SURVEYED)



HUTCHINSON, MOORE & RAUCH, LLC

POST OFFICE BOX 1872
FOLEY, ALABAMA
36536

ENGINEERS ♦ SURVEYORS
LAND PLANNERS

TEL (251) 970-2422
FAX (251) 970-2425
hmrfoley@hmengineers.com

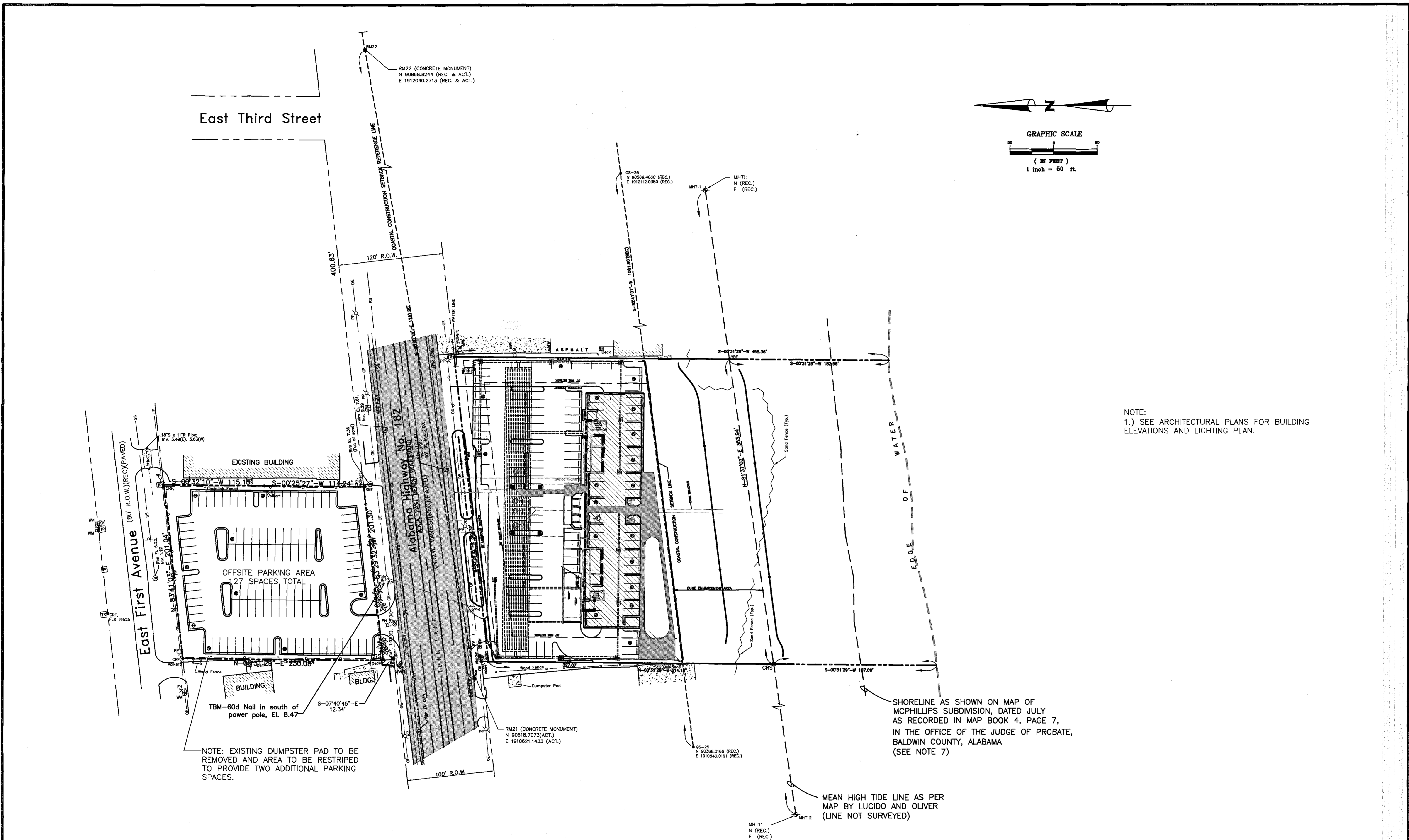


**DEMOLITION PLAN / EXISTING CONDITIONS
SAN CARLOS CONDOMINIUMS**

EAST BEACH DEVELOPMENT, L.L.C.

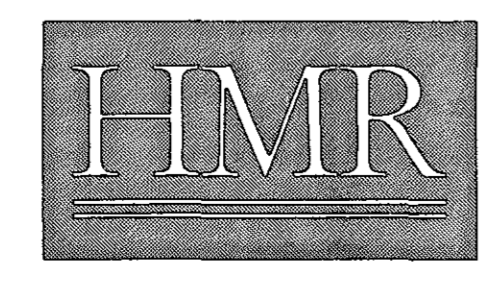
SCALE	DATE	DRAWN BY	CHECKED BY	SHEET
1"=50'	APRIL, 2006	C.S.C.		1 OF 13

NO.	REVISION	DATE	ENGR.



NOTE:
1.) SEE ARCHITECTURAL PLANS FOR BUILDING ELEVATIONS AND LIGHTING PLAN.

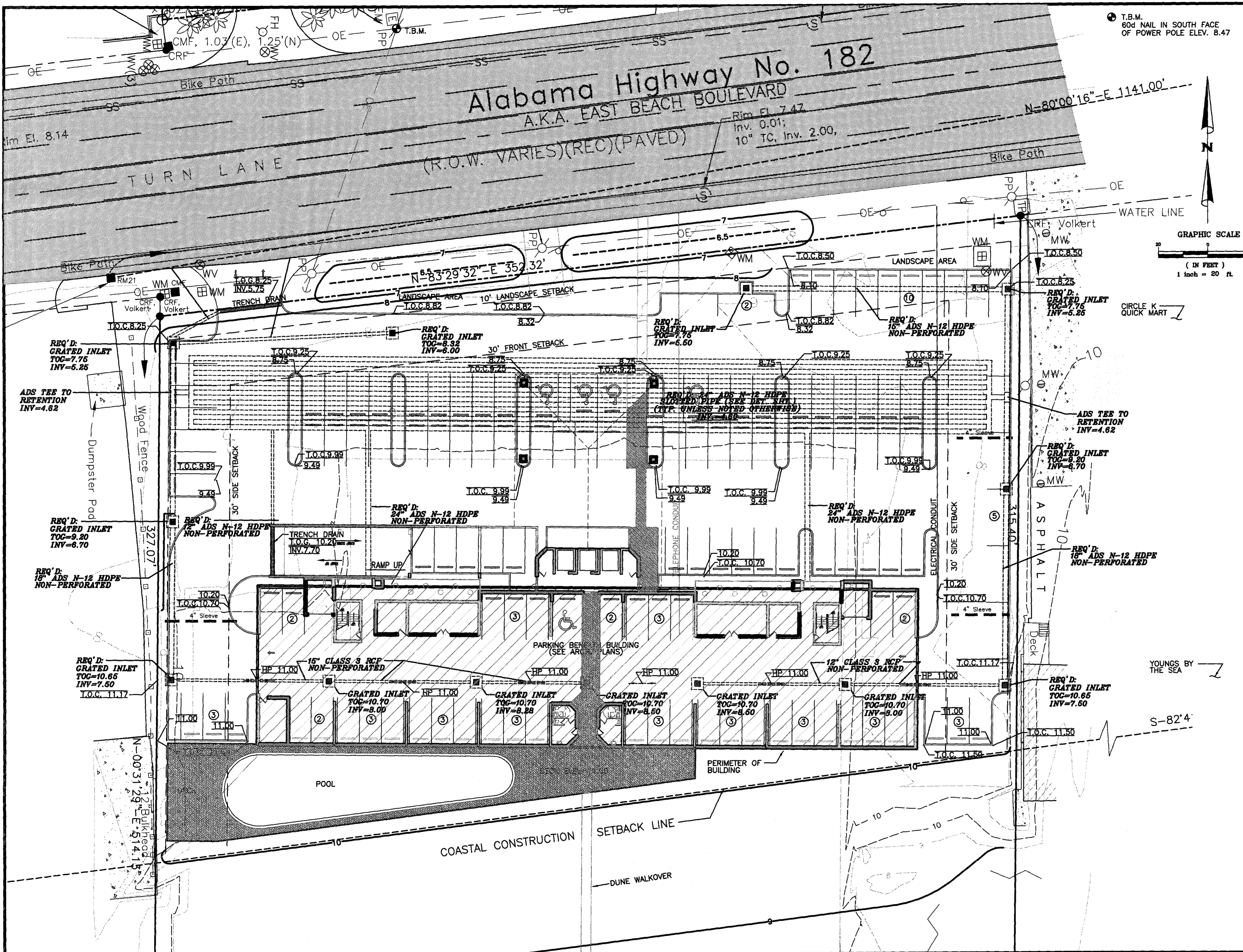
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 LAND PLANNERS
 TEL (251) 970-2422
 FAX (251) 970-2425
 hmrfoley@hmengineers.com



NEW DEVELOPMENT SITE PLAN SAN CARLOS CONDOMINIUMS			
EAST BEACH DEVELOPMENT, L.L.C.			
SCALE 1" = 50'	DATE MAY, 2006	DRAWN BY C.S.C.	CHECKED BY
1272-OVERALL.DWG 31005-1772-30.02	SHEET 2 OF 13		



- NOTES:**
- 1.) SEE ARCHITECTURAL PLANS FOR BUILDING ELEVATIONS, FLOOR PLANS AND LIGHTING PLAN.
 - 2.) SEE STRUCTURAL PLANS FOR ROUTING OF ELEVATED PARKING DRAINAGE.
 - 3.) CONTRACTOR SHALL COORDINATE LOCATION OF WATER AND SEWER CONNECTIONS WITH MECHANICAL/PLUMBING PLAN.
 - 4.) ALL 24" STORMWATER PIPING SHALL BE ADS N-12 HDPE SLOTTED EXFILTRATION PIPE. SEE DETAIL SHEET FOR TYPICAL TRENCH SECTION.
 - 5.) ADS N-12 HDPE EXFILTRATION PIPE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE ENGINEER WITH DRAWINGS OF PROPOSED COMPONENT LAYOUT INCLUDING MANIFOLDS, CLEANOUTS AND FITTINGS.
 - 6.) ALL 6 INVERTS ARE TO FLOWLINE OF PIPE.

SITE DATA:

ZONE DISTRICT: BTL (TOURIST LODGING DISTRICT)

LOT AREA REQUIRED: 5,000 SQ. FT.
ACTUAL LOT AREA: 149,985 SQ. FT.

NUMBER UNITS ALLOWED @ 42/ACRE: 144.48 UNITS
NUMBER UNITS PROPOSED: 144 UNITS

MAXIMUM CALCULATED BUILDING HEIGHT: 235'
PROPOSED BUILDING HEIGHT: 217'-0"

PROPOSED NUMBER OF STORIES: 19

BUILDING COVERAGE ALLOWED: 16.1% (24,147 SQ. FT.)
BUILDING COVERAGE PROPOSED: 13.7% (20,093 SQ. FT.)

GROSS FLOOR AREA ALLOWED: 299,692 SQ. FT.
GROSS FLOOR AREA PROPOSED: 299,360 SQ. FT.

REQUIRED PARKING: 275 SPACES
PARKING IN/UNDER BLDG PROVIDED: 73 SPACES
NORTH PARKING PROVIDED: 112 SPACES
SOUTH EXTERIOR PARKING: 90 SPACES
TOTAL PARKING PROVIDED: 275 SPACES

FRONT SETBACK REQUIRED: 30 FEET
ACTUAL FRONT SETBACK: 95.33 FEET
REAR SETBACK REQUIRED: COASTAL CONSTRUCTION LINE
ACTUAL REAR SETBACK: 6.16 FEET NORTH OF C.C.L.
INTERIOR SIDE SETBACK REQUIRED: 30 FEET
ACTUAL SIDE SETBACK: 38.33 FEET

SOUTH PARKING AREA: 42,650 SQ. FT.
LANDSCAPE AREA REQUIRED: 10% OF PARKING AREA (4,265 SQ. FT.)
LANDSCAPE AREA PROVIDED: 4,606 SQ. FT. (10%)

TOTAL LANDSCAPE AREA:
REQUIRED: 20% OF AREA NORTH OF THE CCL (15,402 SQ. FT.)

NORTH PARKING AREA: 41,362 SQ. FT.
LANDSCAPE AREA REQUIRED: 10% OF PARKING AREA (4,136 SQ. FT.)
LANDSCAPE AREA PROVIDED: 4,220 SQ. FT. (10%)

TOTAL LANDSCAPE AREA PROVIDED: 8,401 SQ. FT.

DETENTION POND CALCULATIONS 02-07-2003

USING MOBILE INTENSITY-DURATION CURVE, 1906-1951
BASED ON 10 YR. RETURN STORM
TOTAL DRAINAGE AREA = 77012 SF = 1.768 AC
TIME OF CONCENTRATION IS 5 MINS

--- PRE DEVELOPMENT CONDITIONS ---
SUBAREA 1 HAS AN AREA OF 77012 SF = 1.768 AC
RUNOFF COEFFICIENT 'c' = 0.10
PREDEVELOPMENT RUNOFF COEFFICIENT = 0.10
PRE-DEVELOPMENT DISCHARGE = 1.47 CFS
AREA OF DETENTION PERCOLATION = 7,860 SF
(7,860 SF)/(1"/6 MIN)(1 MIN/60 SEC)(1 FT/12 IN) =
PERCOLATION DISCHARGE = 1.82 CFS

--- POST DEVELOPMENT CONDITIONS ---
BUILDING AREA OF 19445 SF = 0.446 ACRES
'C' COEFFICIENT HAS CHANGED FROM 0.10 TO 0.95
PARKING, ETC AREA OF 35783 SF = 0.821 ACRES
'C' COEFFICIENT HAS CHANGED FROM 0.10 TO 0.90
LANDSCAPE AREA OF 21784 SF = 0.500 ACRES
'C' COEFFICIENT HAS CHANGED FROM 0.10 TO 0.25
POST-DEVELOPMENT WEIGHTED 'C' = 0.73
NEW DISCHARGE AT 5 MIN, TC, IS 10.72 CFS
DETENTION STORAGE OF 7,525 CF IS REQUIRED.
WHICH VOLUME OCCURS AT TC = 53 MIN=3.25 IN/HR
2,620 LINEAR FEET OF 24" DIA PIPE @ 3.14 CF/FT
PROVIDES 8,227 CUBIC FEET OF DETENTION

NO.	REVISION	DATE	ENGR.



HUTCHINSON, MOORE & RAUCH, LLC
POST OFFICE BOX 1872
FOLEY, ALABAMA
36536

ENGINEERS • SURVEYORS
LAND PLANNERS

TEL (251) 970-2422
FAX (251) 970-2425
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SITE GRADING AND DRAINAGE PLAN
SAN CARLOS CONDOMINIUMS
EAST BEACH DEVELOPMENT, L.L.C.

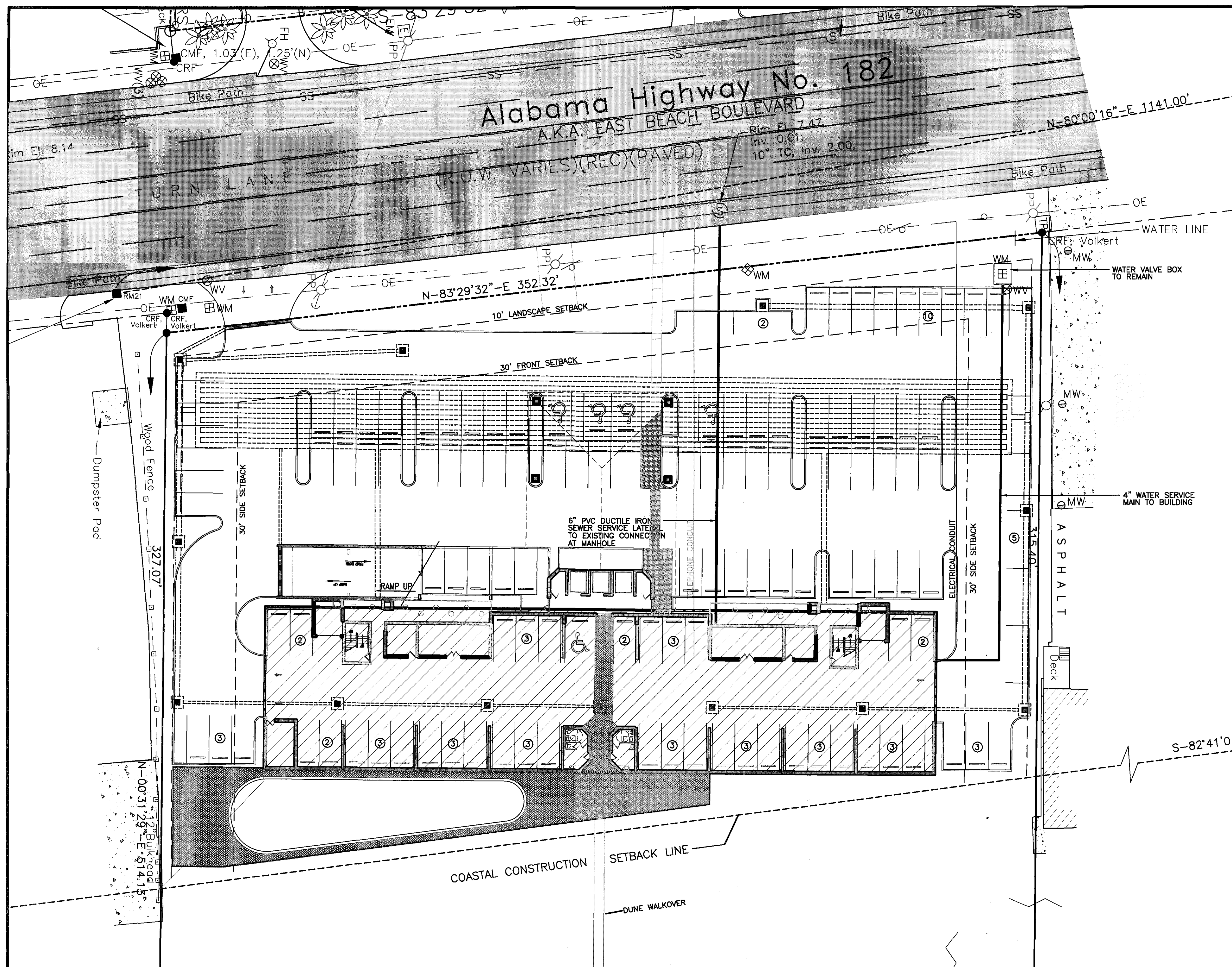
SCALE 1"=20'

DATE MAY, 2006

DRAWN BY C.S.C.

CHECKED BY

SHEET 3 OF 13



- NOTES:**
- 1.) ALL UTILITY CONNECTIONS TO BE COORDINATED WITH SERVICE PROVIDERS.
 - 2.) ALL WATER AND SEWER MATERIALS AND LABOR SHALL BE COMPATIBLE WITH GULF SHORES UTILITIES.
 - 3.) ELECTRICAL CONDUIT SHALL BE COORDINATED WITH BALDWIN EMC.
 - 4.) TELEPHONE SERVICE SHALL BE COORDINATED WITH GULF TELEPHONE.

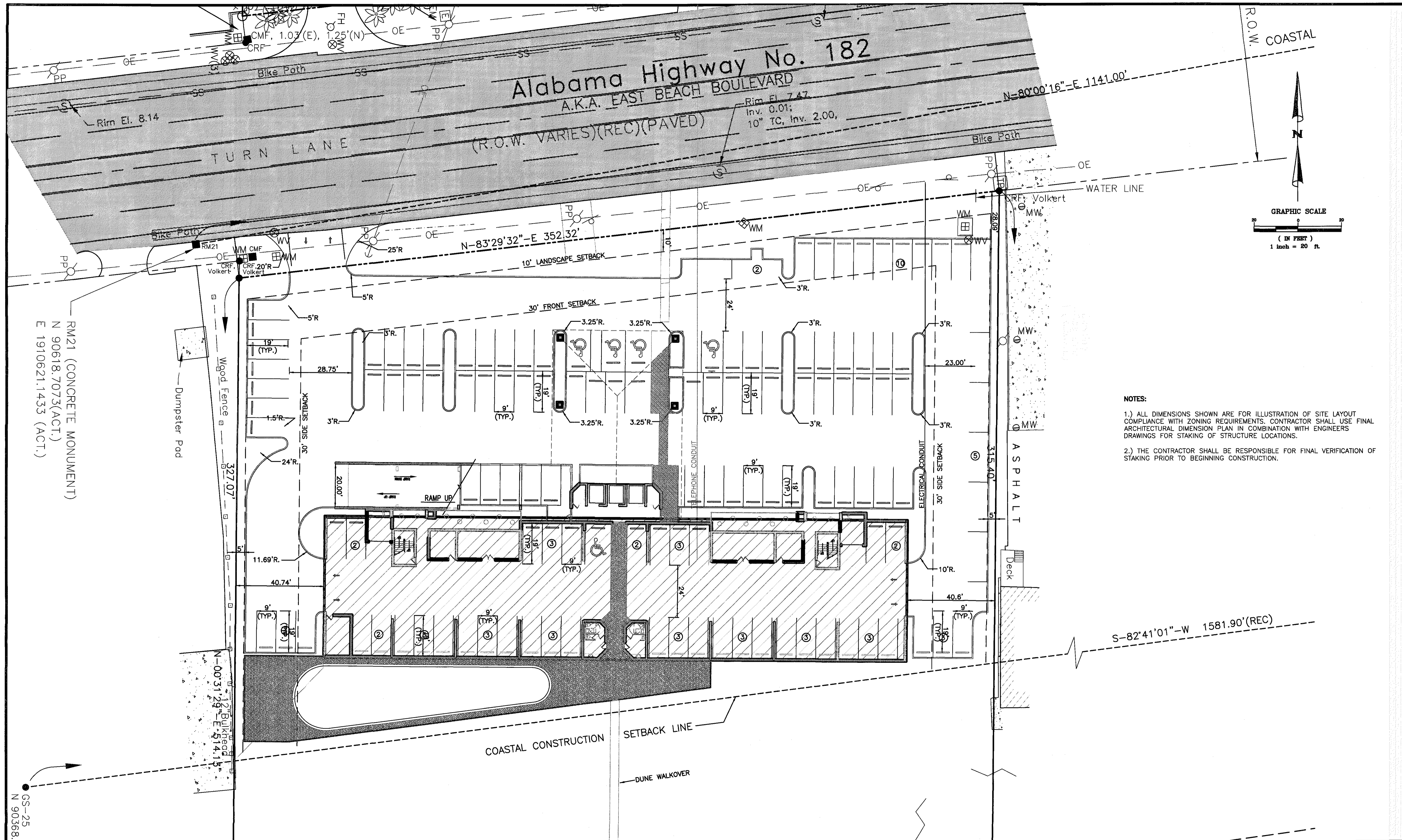
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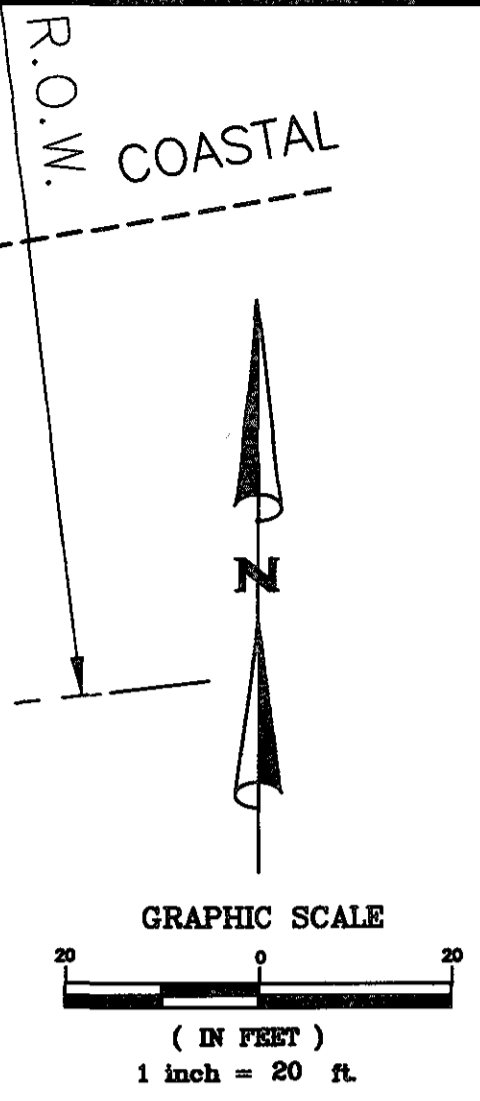


UTILITY PLAN			
SAN CARLOS CONDOMINIUMS			
EAST BEACH DEVELOPMENT, L.L.C.			
SCALE 1"=20'	DATE MAY, 2006	DRAWN BY C.S.C.	CHECKED BY
SHEET			4 OF 13

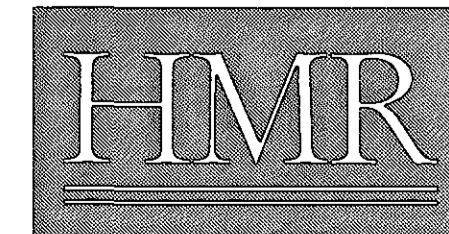


RM21 (CONCRETE MONUMENT)
 N 90618.7073 (ACT.)
 E 1910621.1433 (ACT.)

- NOTES:
- 1.) ALL DIMENSIONS SHOWN ARE FOR ILLUSTRATION OF SITE LAYOUT COMPLIANCE WITH ZONING REQUIREMENTS. CONTRACTOR SHALL USE FINAL ARCHITECTURAL DIMENSION PLAN IN COMBINATION WITH ENGINEERS DRAWINGS FOR STAKING OF STRUCTURE LOCATIONS.
 - 2.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL VERIFICATION OF STAKING PRIOR TO BEGINNING CONSTRUCTION.



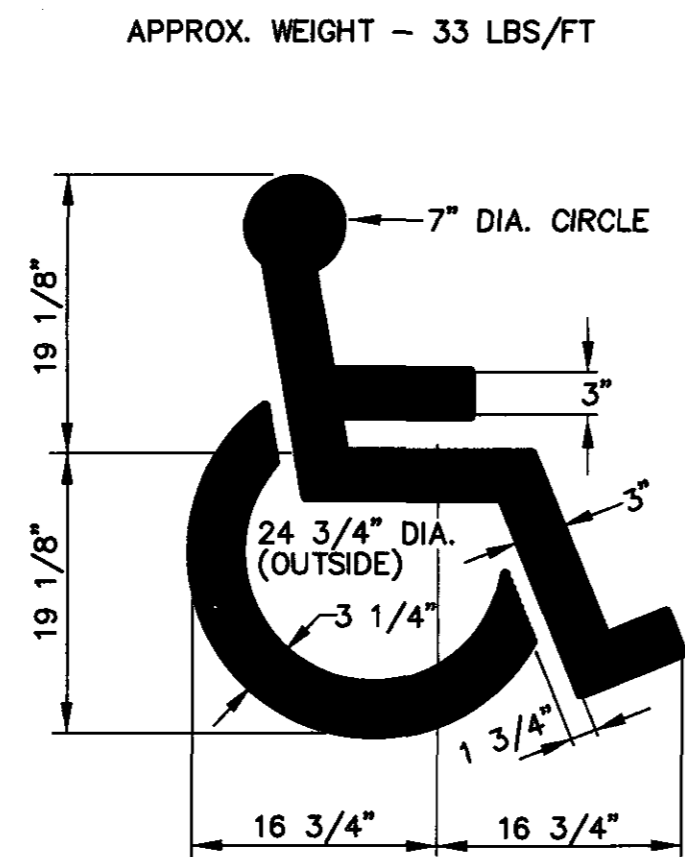
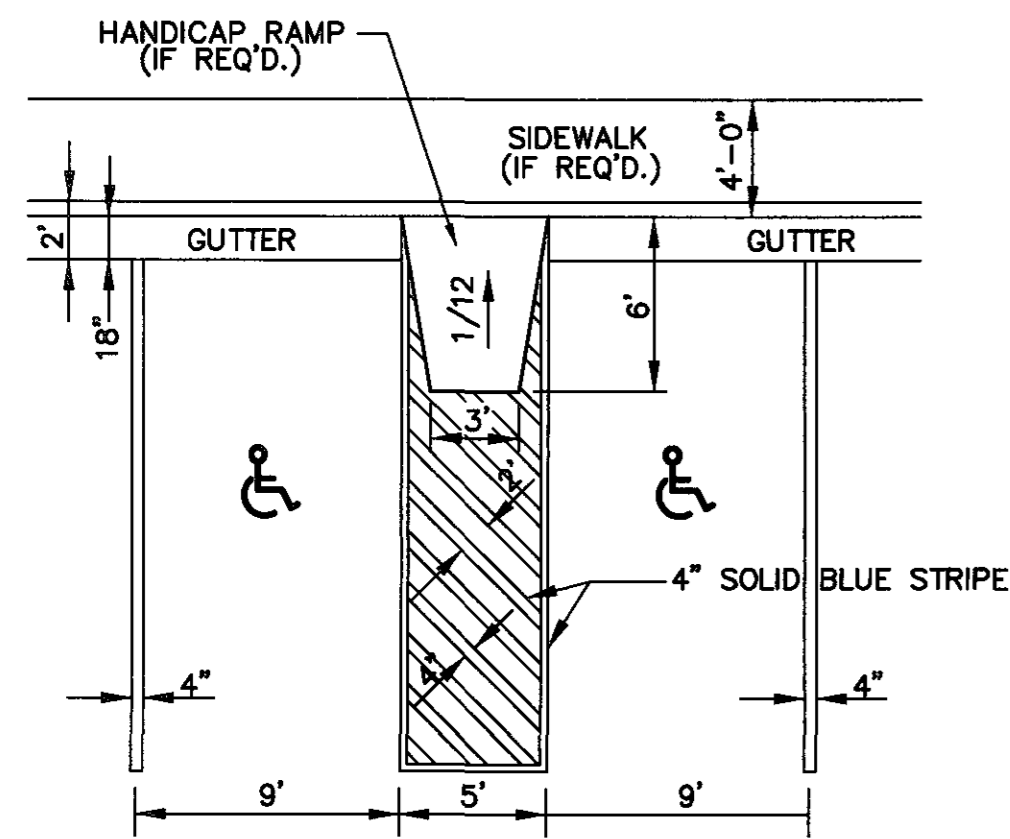
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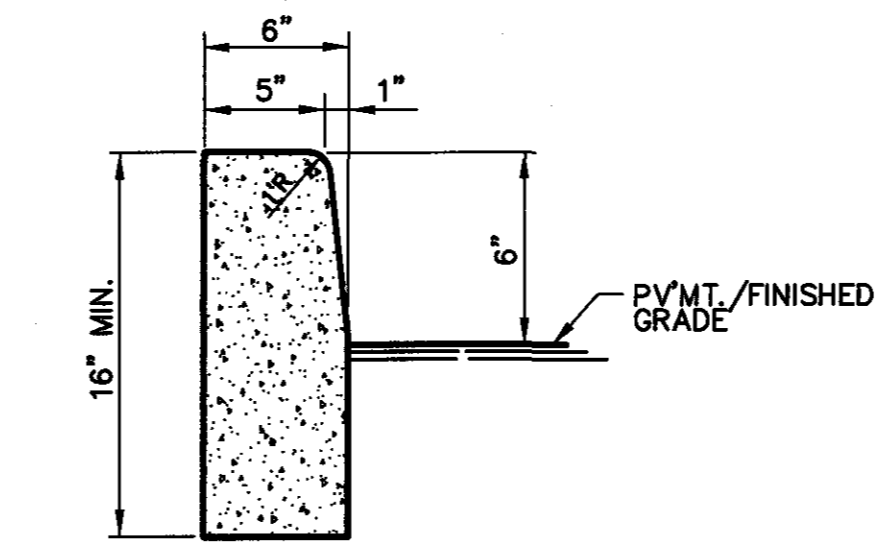
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 POST OFFICE BOX 1872
 FOLEY, ALABAMA 36536
 ENGINEERS • SURVEYORS
 LAND PLANNERS
 TEL (251) 970-2422
 FAX (251) 970-2425
 hmrfoley@hmrengineers.com



GEOMETRIC PLAN			
SAN CARLOS CONDOMINIUMS			
EAST BEACH DEVELOPMENT, L.L.C.			
SCALE 1"=20'	DATE MAY, 2006	DRAWN BY C.S.C.	CHECKED BY SHEET 5 OF 13

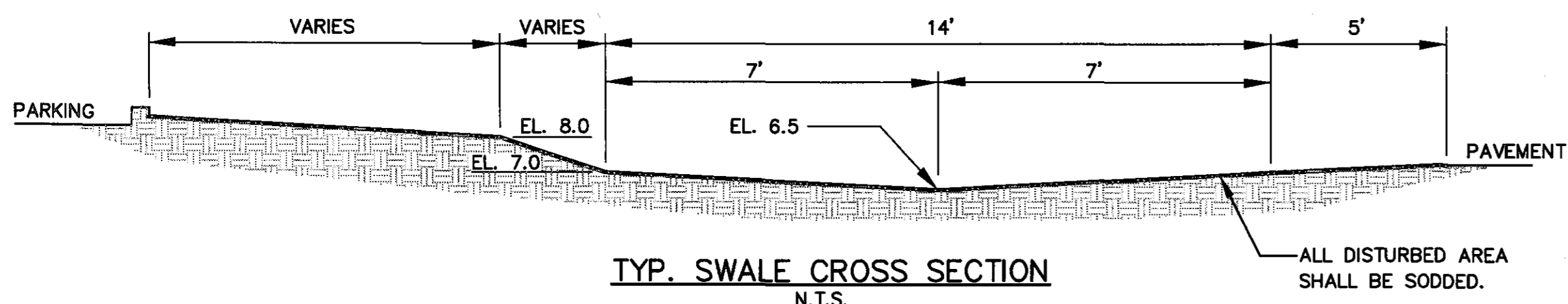
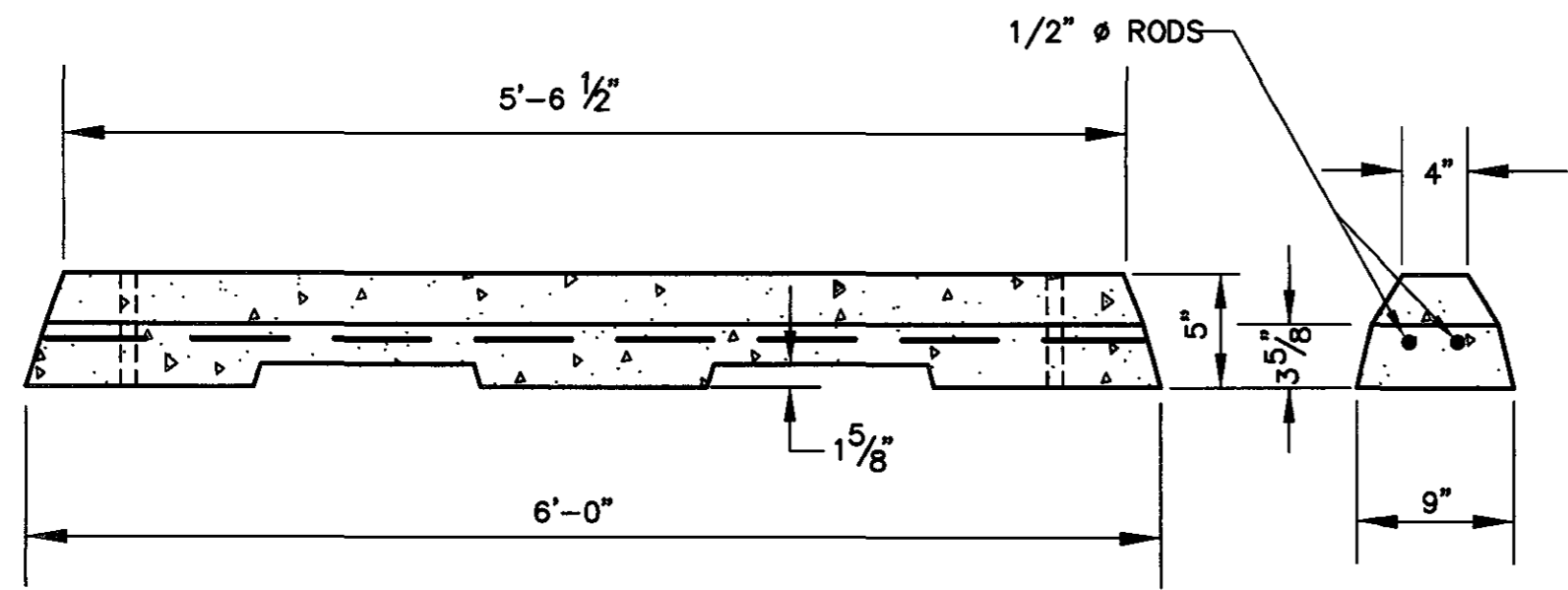
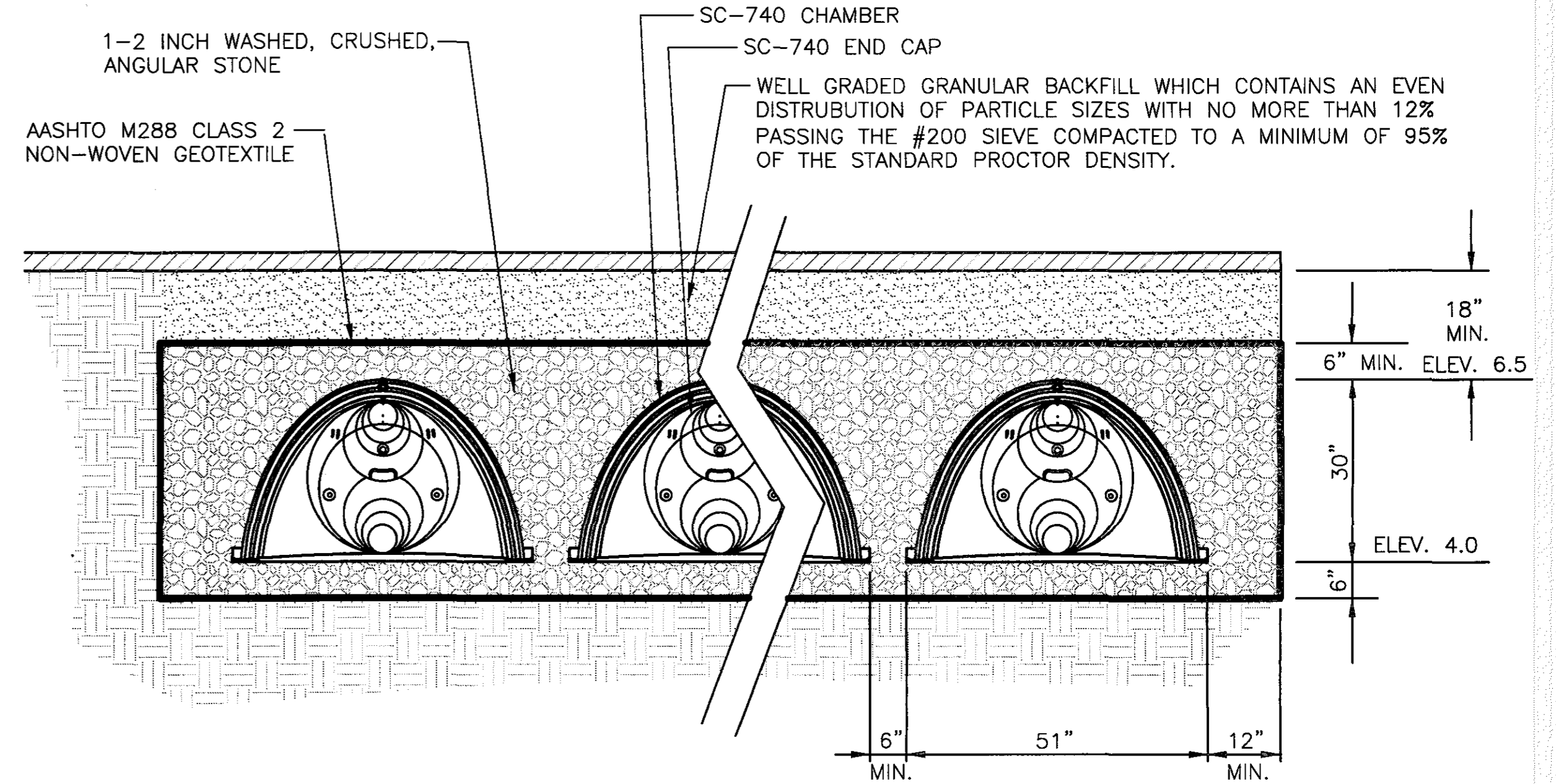
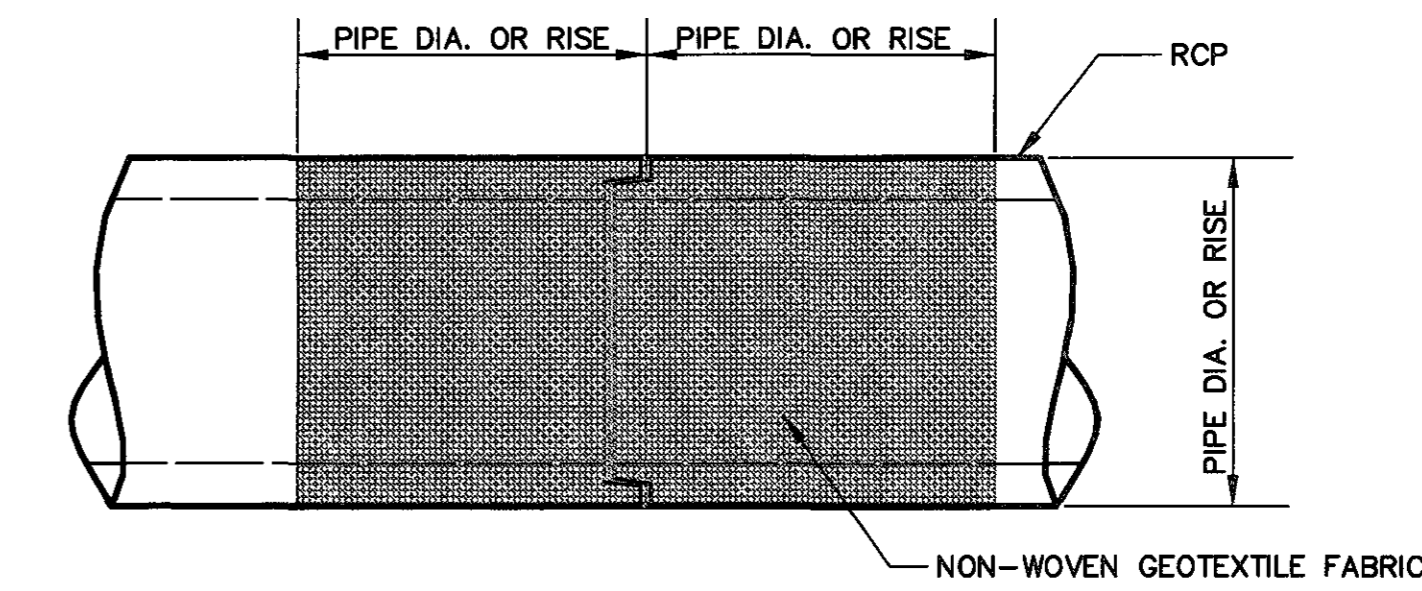
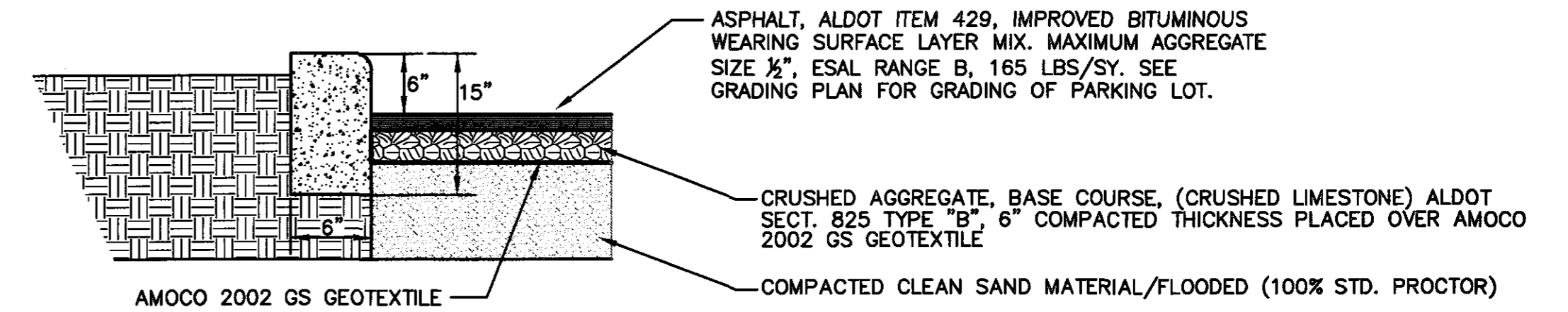
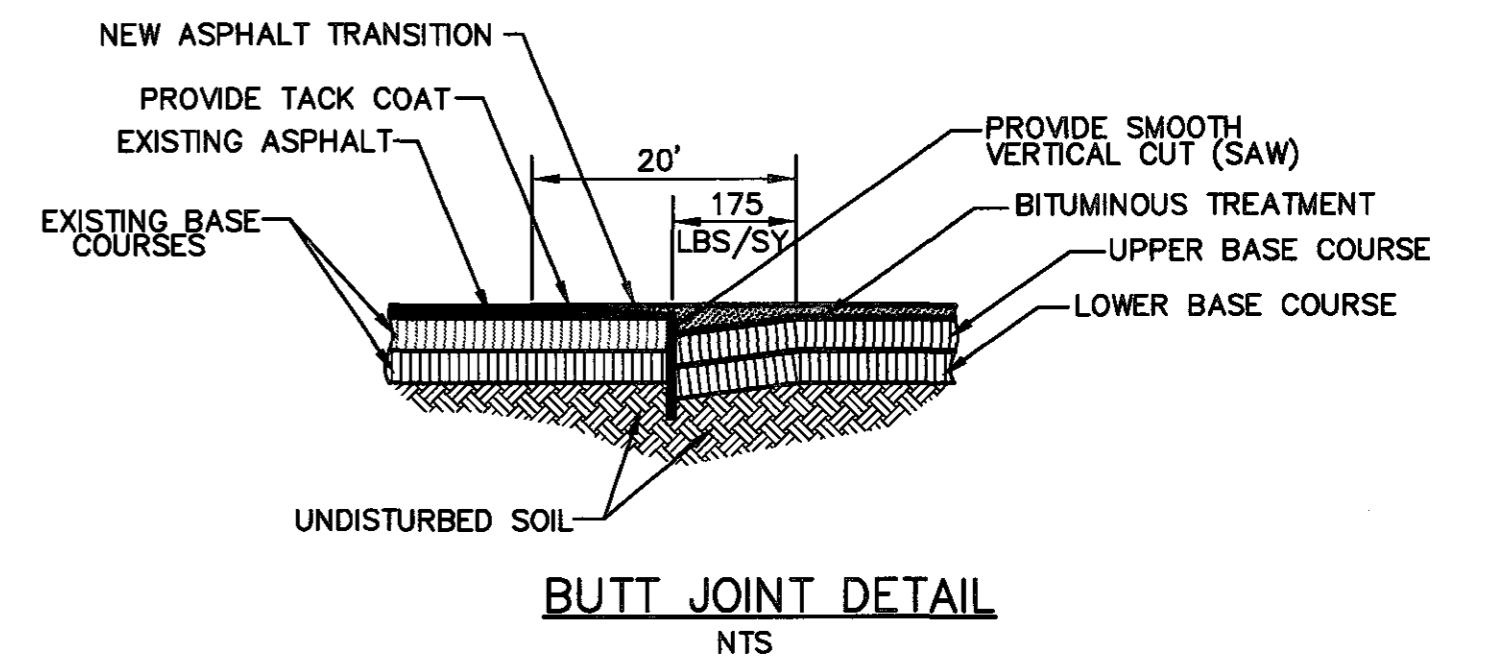
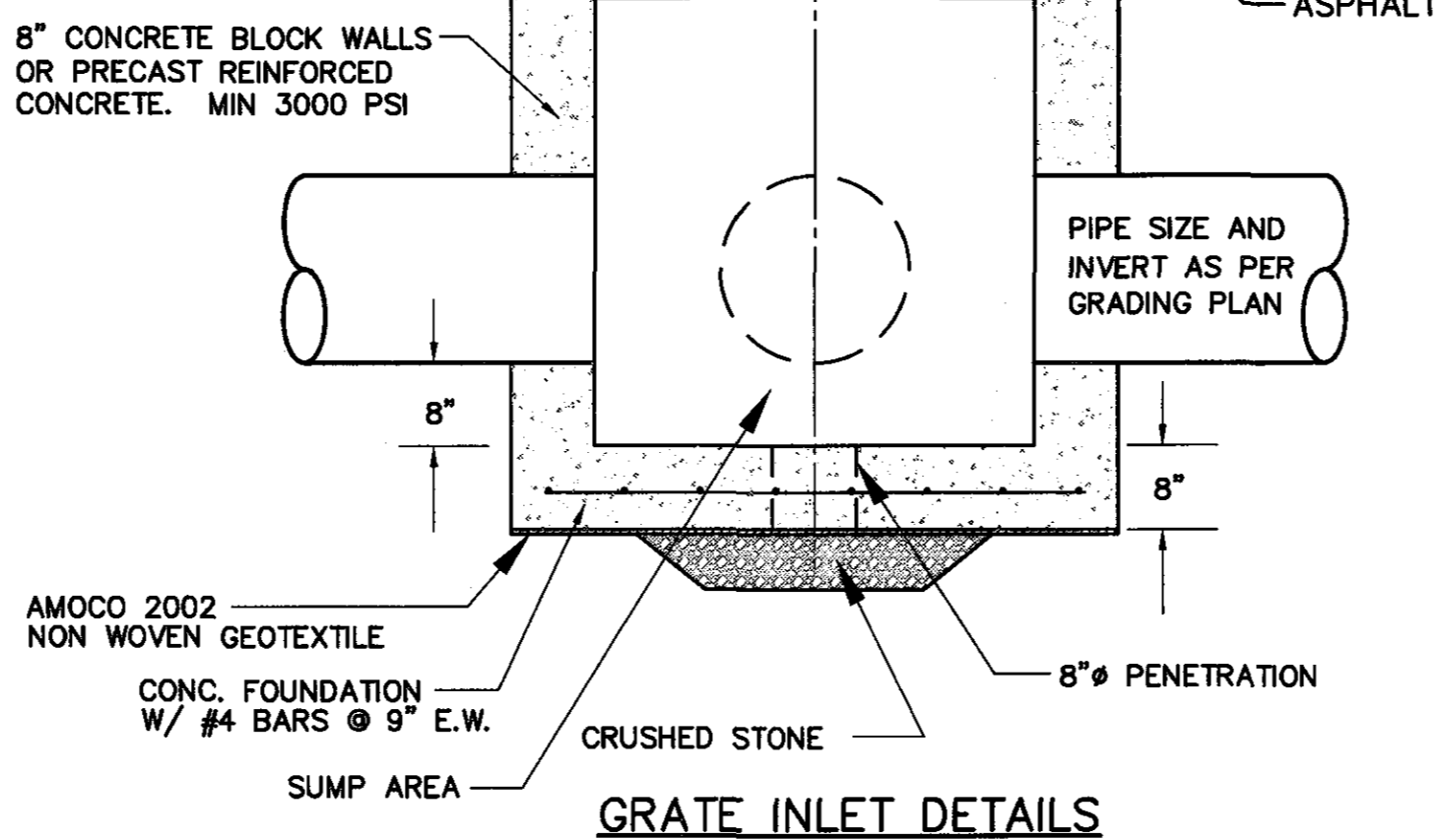
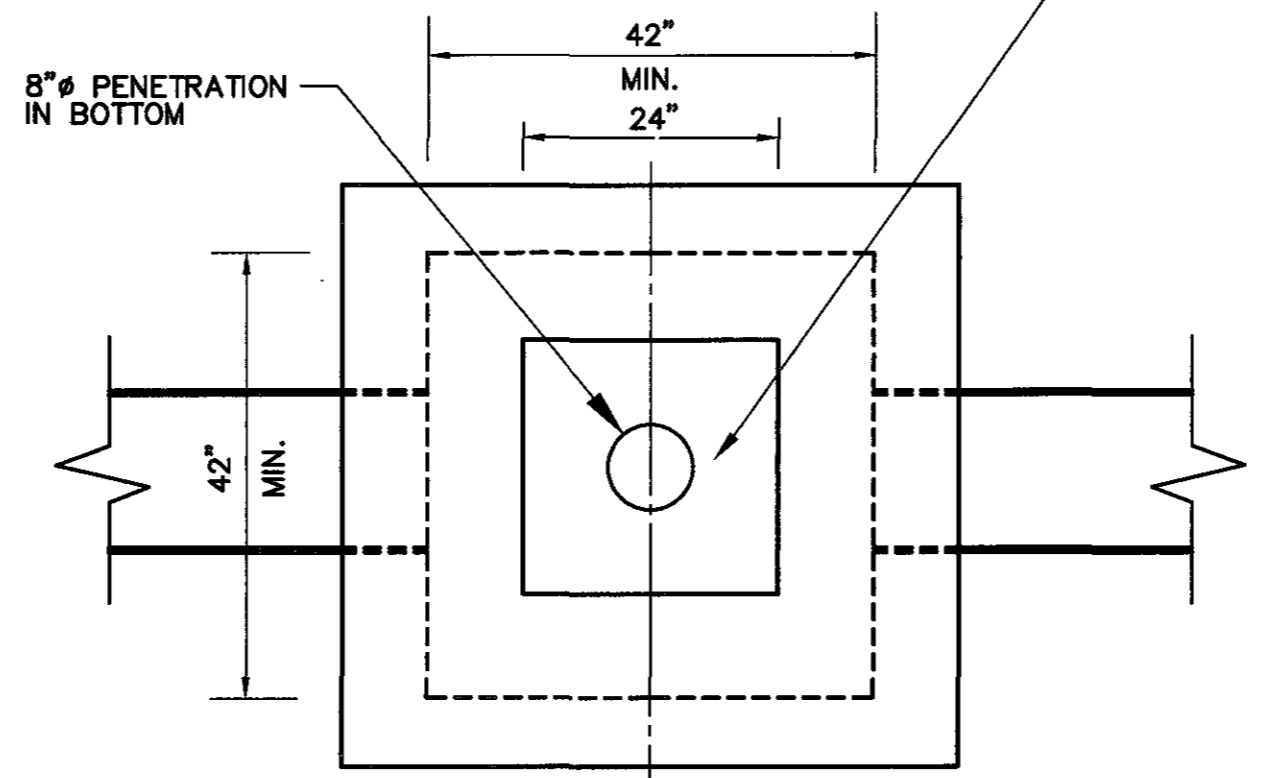


PARKING STRIPING SHALL BE DONE PER THE REQUIREMENTS OF ALDOT ITEM 701-A SOLID WHITE CLASS 1, TYPE B, 4" WIDE STRIPES. MATERIALS AND CONSTRUCTION REQUIREMENTS OF 701-A SHALL BE ADHERED TO. HANDICAPPED PARKING SPACES SHALL BE STRIPED IN SOLID BLUE, WITH ACCESS AISLES STRIPED AT TWO FEET ON CENTER AND STANDARD HANDICAPPED SYMBOLS.



NOTE: ALL CURBING SHALL BE CONSTRUCTED WITH CONSTRUCTION JOINTS AT A MAXIMUM SPACING OF 10 FEET. EXPANSION JOINTS SHALL BE SPACED AT 20 FOOT INTERVALS. ADDITIONAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH ALDOT STANDARD SPECIFICATIONS.

U.S.FOUNDRY 4132-6235 INLET FRAME AND GRATES (HD LOADING, WT. 315# FLOW AREA 225 S.I.) OR APPROVED EQUAL.



NO.	REVISION	DATE	ENGR.



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 POST OFFICE BOX 1872
 FOLEY, ALABAMA 36536
 ENGINEERS • SURVEYORS
 LAND PLANNERS
 TEL (251) 970-2422
 FAX (251) 970-2425
 hmrfoley@nmengineers.com



CONSTRUCTION DETAILS SAN CARLOS CONDOMINIUMS EAST BEACH DEVELOPMENT, L.L.C.			
SCALE N.T.S.	DATE MAY, 2006	DRAWN BY C.S.C.	CHECKED BY
1272-CONS-DTL G1005-1272-30.02			SHEET 6 OF 13

UTILITY PLAN NOTES

1. THE CONTRACTOR SHALL NOTIFY THE LOCAL JURISDICTIONAL INSPECTOR 24 HOURS BEFORE THE BEGINNING OF EACH PHASE OF CONSTRUCTION.
2. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMIT SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
3. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS HE DISCOVERS IN THE PLAN.
4. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE.
5. THE CONTRACTOR SHALL BE REQUIRED TO USE THE ONE-CALL CENTER TELEPHONE NUMBER (800)292-8525, FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS, HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. CONTRACTOR TO CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE.
7. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBING CURBING, PAVING, AND COMPACTED SUBGRADE.
8. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATION. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES.
9. FIRE HYDRANT AND WATER MAINS TO BE INSTALLED AND UNDER PRESSURE BEFORE ANY COMBUSTIBLE CONSTRUCTION IS STARTED.
10. THIS SITE TO BE SERVED BY THE LOCAL UTILITIES BOARD.
11. UNLESS DUCTILE IRON PIPE IS USED, MINIMUM PIPE COVER FOR SANITARY SEWER SHALL BE 3 FEET.
12. ALL MANHOLES WITHIN THE 100-YEAR FLOOD PLAIN SHALL HAVE BOLT-DOWN COVERS WITH WATER TIGHT SEALS.
13. NEOPRENE COUPLINGS WITH STAINLESS STEEL BAND AND SHEAR RINGS ARE REQUIRED FOR JOINING DIFFERENT TYPES OF SANITARY SEWER PIPES.
14. ALL SANITARY SEWER CONSTRUCTION MUST CONFORM TO THE STANDARD REQUIREMENTS OF THE LOCAL UTILITIES BOARD.
15. LOW PRESSURE AIR TESTING REQUIRED FOR ALL SANITARY SEWER SYSTEMS. THIS TEST MUST MEET ALL REQUIREMENTS AS OUTLINED IN ASTM C-828-80 OR CURRENT REVISION.
16. CONTRACTOR TO FIELD VERIFY LOCATION AND INVERT OF SANITARY SEWER FOR CONNECTION TO EXISTING OR PROPOSED SEWER SYSTEM.
17. ALL PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE.
18. ALL STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO VISIBLE BENDS AT JOINTS.
19. ALL WATER LINES SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF THE LOCAL UTILITIES BOARD. CONTACT THE LOCAL UTILITIES BOARD BEFORE TAPPING EXISTING WATER MAIN AND CONNECTING TO SEWER LINE.
20. THE WATER AND SEWER SYSTEM IN THE PUBLIC RIGHT-OF-WAY WILL BECOME THE PROPERTY OF THE LOCAL UTILITIES BOARD UPON COMPLETION.

21. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
22. ALL STORM DRAINAGE INLET STRUCTURES SHALL HAVE METAL FRAME AND COVER FOR ACCESS.
23. ALL UTILITIES MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE LOCAL UTILITIES BOARD.

SITE NOTES

1. ALL CONCRETE SHALL BE CLASS A, 3,000 PSI AT 28 DAYS COMPRESSIVE STRENGTH WITH A MAXIMUM SLUMP OF 4" UNLESS NOTED OTHERWISE. ALL EXPOSED CONCRETE TO HAVE A FINE BROOM FINISH.
2. ALL MATERIALS SHALL BE NEW.
3. ALL DIMENSIONS ARE FACE OF CURB AND FACE OF BUILDING OR AS NOTED.
4. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, PART VI, SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
5. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL CONSTRUCTION.

GRADING & DRAINAGE NOTES

1. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
2. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER AND DETENTION FACILITIES ARE CONSTRUCTED.
3. ALL SEDIMENT CONTROL DEVICES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
4. ALL SLOPES SHALL BE STABILIZED AS SOON AS POSSIBLE.
5. COMPACTION OF THE BACK FILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACK FILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED AT OR NEAR OPTIMUM MOISTURE. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. ALL FILL MATERIAL TO BE UTILIZED ON THE PROJECT SHALL BE FREE OF ORGANIC OR OTHERWISE DELETERIOUS MATERIALS AND COMPACTED TO MINIMUM DRY DENSITIES CORRESPONDING TO 95% OF MAXIMUM DRY DENSITY AS OBTAINED BY STANDARD PROCTOR, ASTM D698 AND AT LEAST 98% OF STANDARD PROCTOR WITHIN 1 FOOT BELOW PAVEMENT SUBGRADE. FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER WILL BE REQUIRED BY THE LOCAL JURISDICTIONAL INSPECTOR.
7. MAXIMUM SLOPE OF EMBANKMENT SHALL BE 3.0 FEET HORIZONTAL TO 1.0 FOOT VERTICAL.

8. PROPOSED CONTOUR INTERVALS ARE AS LABELED. ALL PROPOSED CONTOURS ARE FINISHED GRADE.
9. THE CONTRACTOR WILL INSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS IN AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE AT ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
10. EXCESS EARTH CUT MATERIAL, IF ANY, SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE APPROVED TO BE PLACED ON SITE BY THE OWNER.
11. THE CONTRACTOR SHALL PROVIDE ANY EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
12. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.

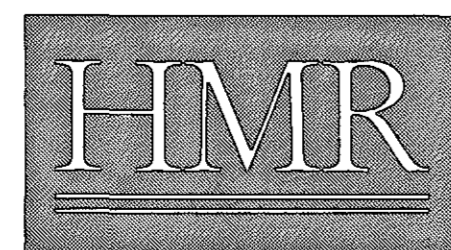
SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL DRAINAGE SWALES MUST BE GRASSED AND RIP-RAP MUST BE PLACED AS REQUIRED TO CONTROL EROSION.
2. SILT FENCE MUST MEET THE REQUIREMENTS OF ALL LOCAL JURISDICTIONAL AGENCIES.
3. DISTURBED AREAS SHALL BE VEGETATED AFTER CONSTRUCTION.
4. ADDITIONAL EROSION CONTROL MEASURES OR SILT BARRIERS TO BE PLACED AS SHOWN AND/OR DIRECTED BY THE PROJECT ENGINEER AND/OR LOCAL JURISDICTIONAL INSPECTOR.
5. WHEN ANY CONSTRUCTION BORDERS A DRAINAGE COURSE:
 - A. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY BUILDING OR OTHER EXCAVATION SPOIL DIRT, CONSTRUCTION TRASH OR DEBRIS, ETC., FROM THE DRAINAGE AREA SHOWN HEREON IN AN EXPEDITIOUS MANNER AS CONSTRUCTION PROGRESSES.
 - B. THE CONTRACTOR HEREBY AGREES TO STOP ALL WORK AND RESTORE THESE AREAS IMMEDIATELY UPON NOTIFICATION BY THE LOCAL JURISDICTIONAL INSPECTOR AND/OR PROFESSIONAL ENGINEER.
6. FOR ALL CONSTRUCTION ALONG AND/OR ACROSS WATERWAYS, BANK PROTECTION AND STABILIZATION SHALL BE REQUIRED AS PER LOCAL JURISDICTIONAL EROSION LAWS.
7. ALL CONSTRUCTION MUST CONFORM TO LOCAL JURISDICTIONAL STANDARDS. NOTIFY THE LOCAL JURISDICTIONAL INSPECTOR 24 HOURS PRIOR TO CONSTRUCTION.
8. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED. CONSTRUCTION ENTRANCE PADS SHALL BE INSTALLED BY THE CONTRACTOR AT CONSTRUCTION ACCESS POINTS PRIOR TO LAND DISTURBANCE.
9. A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROGRESS.
10. CONSTRUCT SILT FENCE ALONG THE DOWNSTREAM SIDE OF ALL PROPOSED FILL CONSTRUCTION.

11. EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
12. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. CONTRACTOR SHALL CLEAN OUT ALL SEDIMENT PONDS WHEN REQUIRED BY ENGINEER OR LOCAL JURISDICTIONAL INSPECTOR. CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
13. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT IS WITHIN 12" OF THE TOP OF THE SILT FENCE UTILIZED FOR EROSION CONTROL IN THE DETENTION POND. SILT SHALL BE REMOVED WHEN A DEPTH OF 18" HAS ACCUMULATED AT THE WEIR.
14. ALL EASEMENTS DISTURBED MUST BE DRESSED AND GRASSED TO CONTROL EROSION IN ACCORDANCE WITH EASEMENT PLATS PRIOR ACCEPTANCE.
15. SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.
16. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
17. TREE PROTECTION AND EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE & MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
18. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER AND DETENTION FACILITIES ARE CONSTRUCTED.
19. ALL SEDIMENT CONTROL DEVICES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
20. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONSTRUCTION PHASES PERMIT.
21. ALL SLOPES SHALL BE STABILIZED AS SOON AS POSSIBLE.
22. GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED WITH GRASS IN KIND. IN AREAS OF INDECIPHERABLE GRASSES-USE FESCUE.
23. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM REQUIRED MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL DEVICES TO ENSURE THEIR FUNCTION AT ALL TIMES.
24. THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT FROM THE DETENTION POND UPON PROJECT COMPLETION.

NOTE: THE NOTES HEREIN SHALL NOT SUPERCEDE THOSE ON OTHER DRAWINGS.

NO.	REVISION	DATE	ENGR.



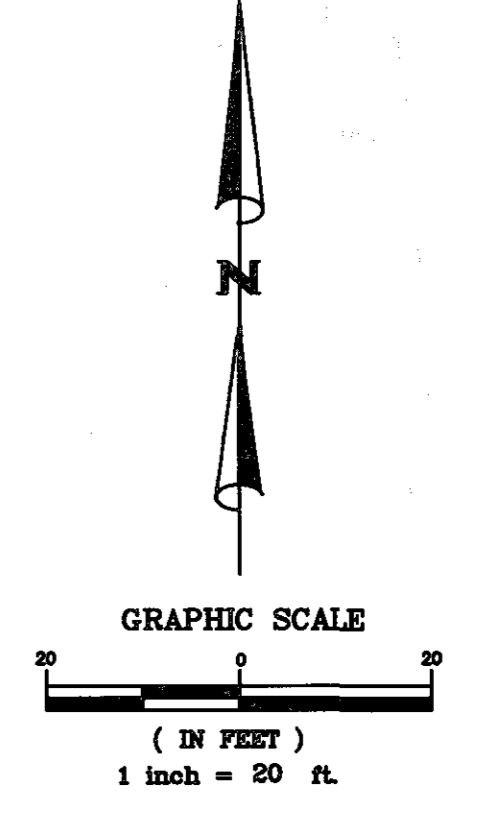
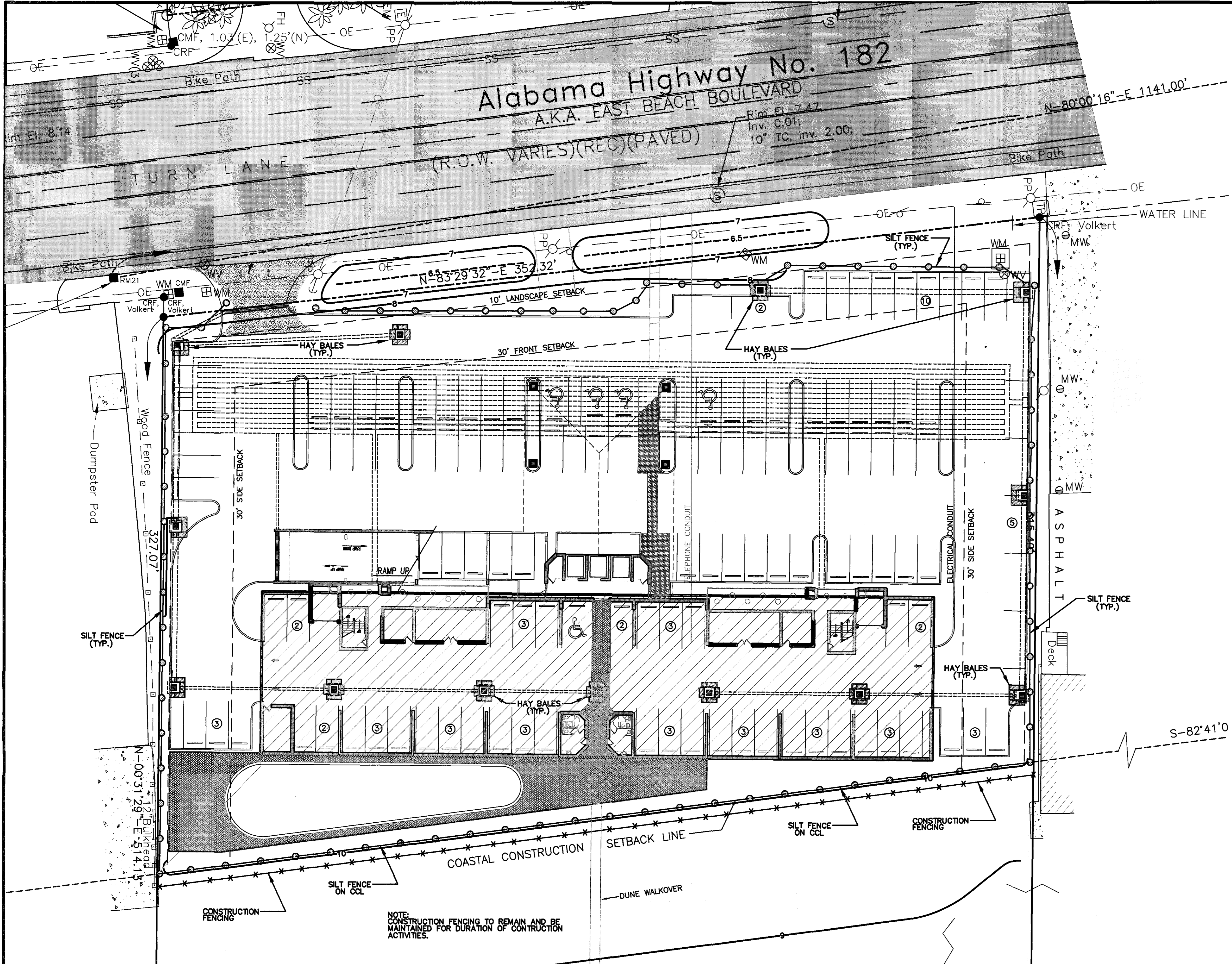
HUTCHINSON, MOORE & RAUCH, LLC
 POST OFFICE BOX 1872
 FOLEY, ALABAMA 36536
 ENGINEERS ♦ SURVEYORS
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 TEL (251) 970-2422
 FAX (251) 970-2425
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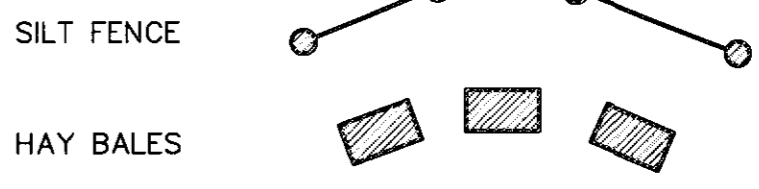
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 61005-1272-30.02

CIVIL CONSTRUCTION NOTES
 SAN CARLOS CONDOMINIUMS
EAST BEACH DEVELOPMENT, L.L.C.

SCALE N.T.S.	DATE MAY, 2006	DRAWN BY C.S.C.	CHECKED BY	SHEET 7 OF 13
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LEGEND



REFERENCE:
 SAHD SPECIAL AND STANDARD DRAWINGS
 1114 EC-665-B Suggested Temporary Erosion and Sedimentation Control Methods
 1116 EC-665-F Detail of Silt Fence

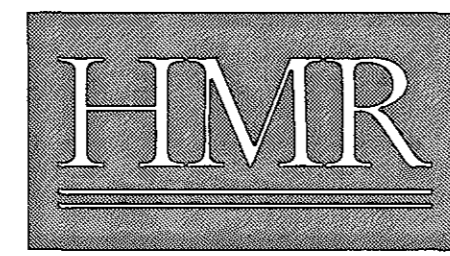
EROSION CONTROL NOTES

1. IMMEDIATELY PRIOR TO DISTURBANCE OF THE SITE THE CONTRACTOR SHALL INSTALL THE EROSION CONTROL ITEMS IN LOCATIONS INDICATED ON THE ATTACHED SCHEDULE, DRAWING AND AS APPROVED BY THE ENGINEER.
2. THE EROSION CONTROL ITEMS INSTALLED SHALL BE MAINTAINED BY THE CONTRACTOR THROUGH THE COURSE OF THE PROJECT.
3. THE CONTRACTOR WILL BE RESPONSIBLE FOR IDENTIFYING AND INSTALLING EROSION CONTROL ITEMS IN AREAS WHERE EROSION MAY BE ENCOUNTERED DURING PROJECT CONSTRUCTION.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THAT THE CONSTRUCTION OF THIS PROJECT AND THE EROSION/SEDIMENT FROM THE PROJECT ARE ADEQUATELY CONTROLLED AND DO NOT DAMAGE ADJACENT PROPERTIES.

CONSTRUCTION FENCING NOTES:

- 1.) THE CONSTRUCTION FENCING SHALL BE ERECTED PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE FENCE SHALL MAINTAINED FOR THE PROJECT DURATION.
- 2.) NO EQUIPMENT IS ALLOWED SOUTHWARD OF THE CONSTRUCTION FENCE EXCEPT DURING DEMOLITION ACTIVITIES.
- 3.) THE AREA SOUTH OF THE CONSTRUCTION FENCING SHALL REMAIN FREE FROM CONSTRUCTION DEBRIS.

NO.	REVISION	DATE	ENGR.

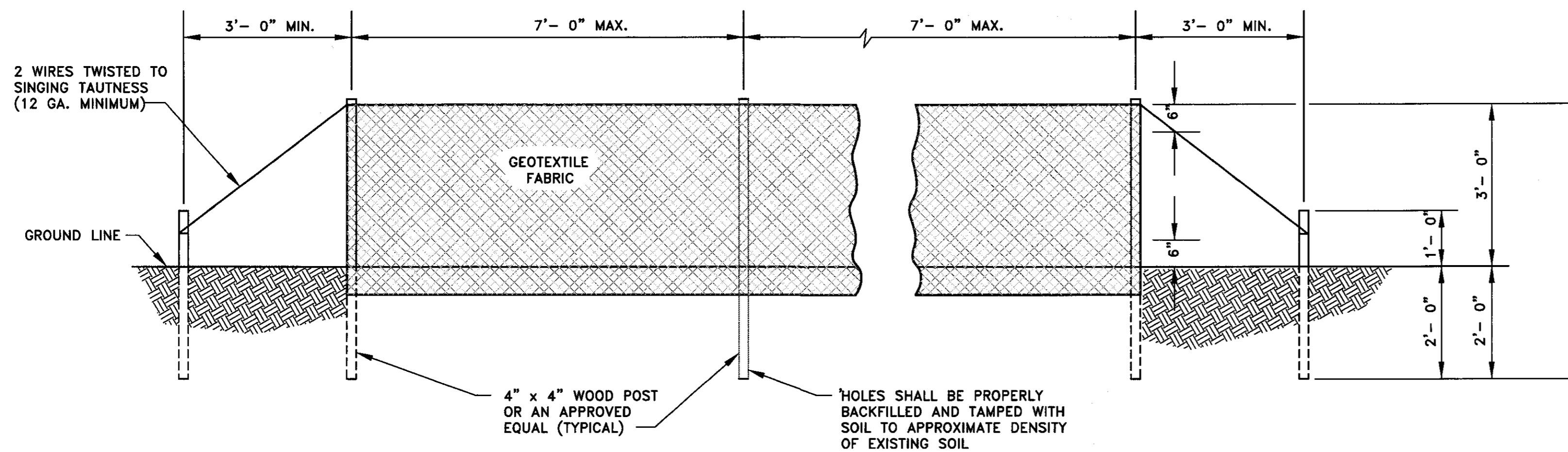


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 FOLEY, ALABAMA 36536
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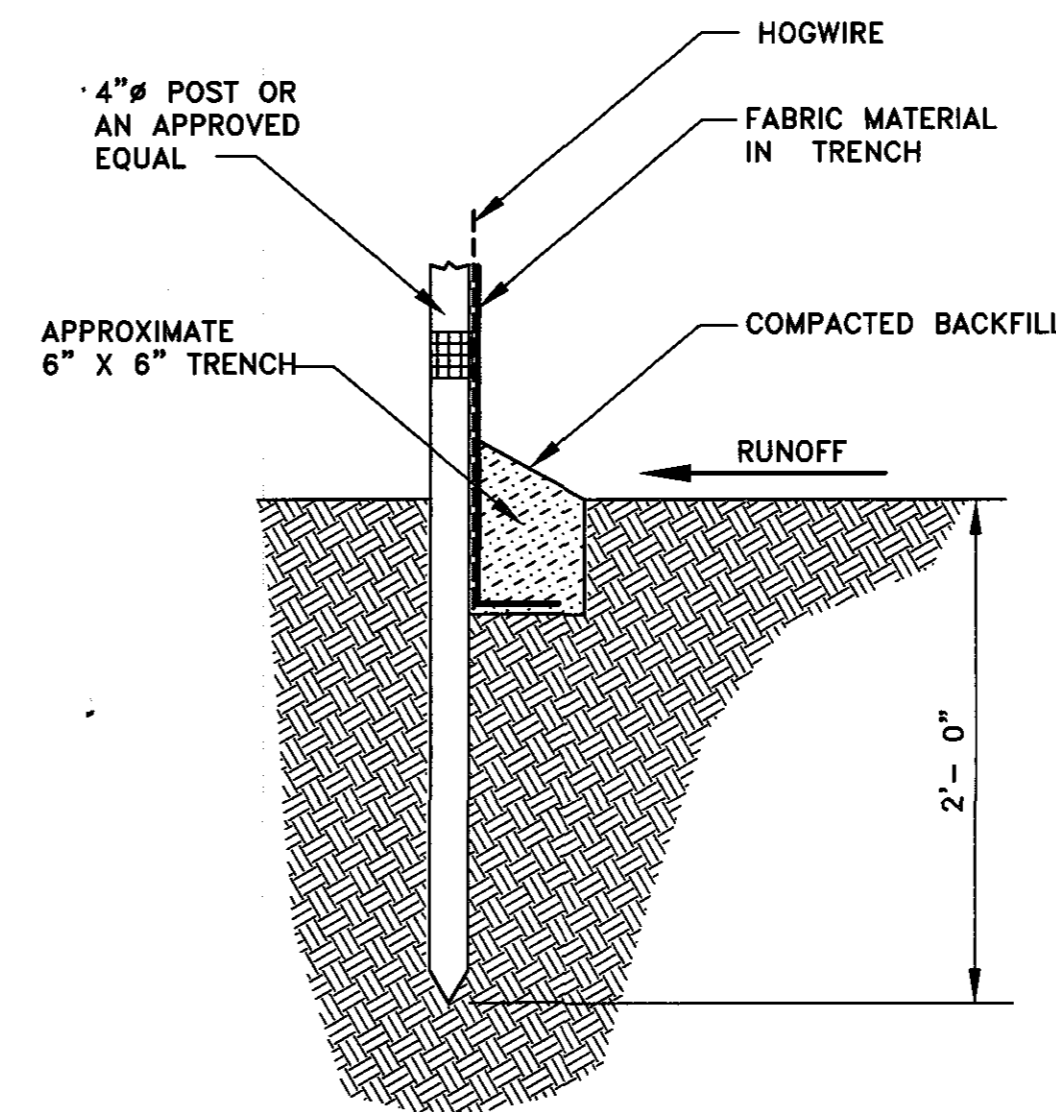


EROSION DWG
 1272-30.02

EROSION CONTROL PLAN			
SAN CARLOS CONDOMINIUMS			
EAST BEACH DEVELOPMENT, L.L.C.			
SCALE 1"=20'	DATE APRIL, 2006	DRAWN BY C.S.C.	CHECKED BY SHEET
			8 OF 13



SILT FENCE



SECTION

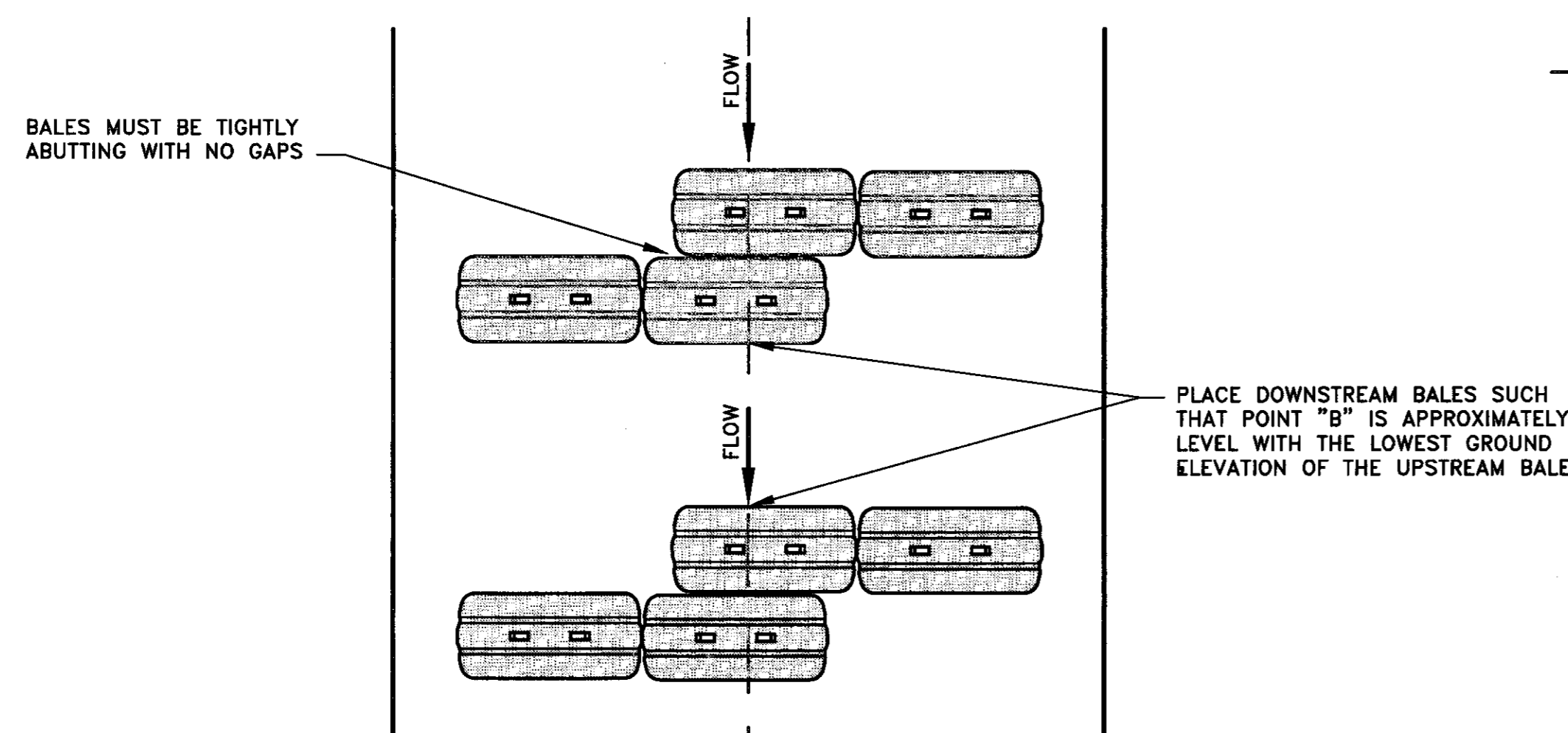
GENERAL NOTES

1. TYPE "A" SILT FENCE SHALL BE USED IN AREAS OF CONCENTRATED FLOW.
2. SILT FENCES ARE TEMPORARY EROSION CONTROL ITEMS THAT SHALL BE ERECTED OPPOSITE ERODIBLE AREAS SUCH AS NEWLY GRADED FILL SLOPES AND ADJACENT TO STREAMS AND CHANNELS.
3. SILT FENCE SHOULD BE PLACED WELL INSIDE PROPERTY BOUNDARY AND ALONG EDGE OF CLEARING LIMITS. THIS WILL ALLOW ROOM FOR A BACK-UP FENCE IF FIRST BECOMES FULL. SILT FENCES SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION OPERATION.
4. WHEREVER POSSIBLE, SILT FENCES SHALL BE CONSTRUCTED ACROSS A FLAT AREA IN THE SHAPE OF A HORSESHOE. THIS AIDS IN PONDING OF RUNOFF AND FACILITATES SEDIMENTATION.
5. AFTER THE CONSTRUCTION AREA IS STABILIZED AND EROSION ACTIVITY CURTAILED, SILT FENCES SHALL BE REMOVED.
6. RING FASTENERS USED TO SECURE GEOTEXTILES TO WOVEN WIRE SHALL BE 13 GA. (AMERICAN).
7. IF WOOD POSTS ARE USED, STAPLES FOR SECURING WOVEN WIRE TO POSTS SHALL BE NINE (9) GAUGE, GALVANIZED, 1 1/2" LONG, FIVE (5) PER POST @ APPROXIMATELY 1'-0" ON CENTER.
8. WOVEN WIRE TO BE 12 1/2 GAUGE (MINIMUM).

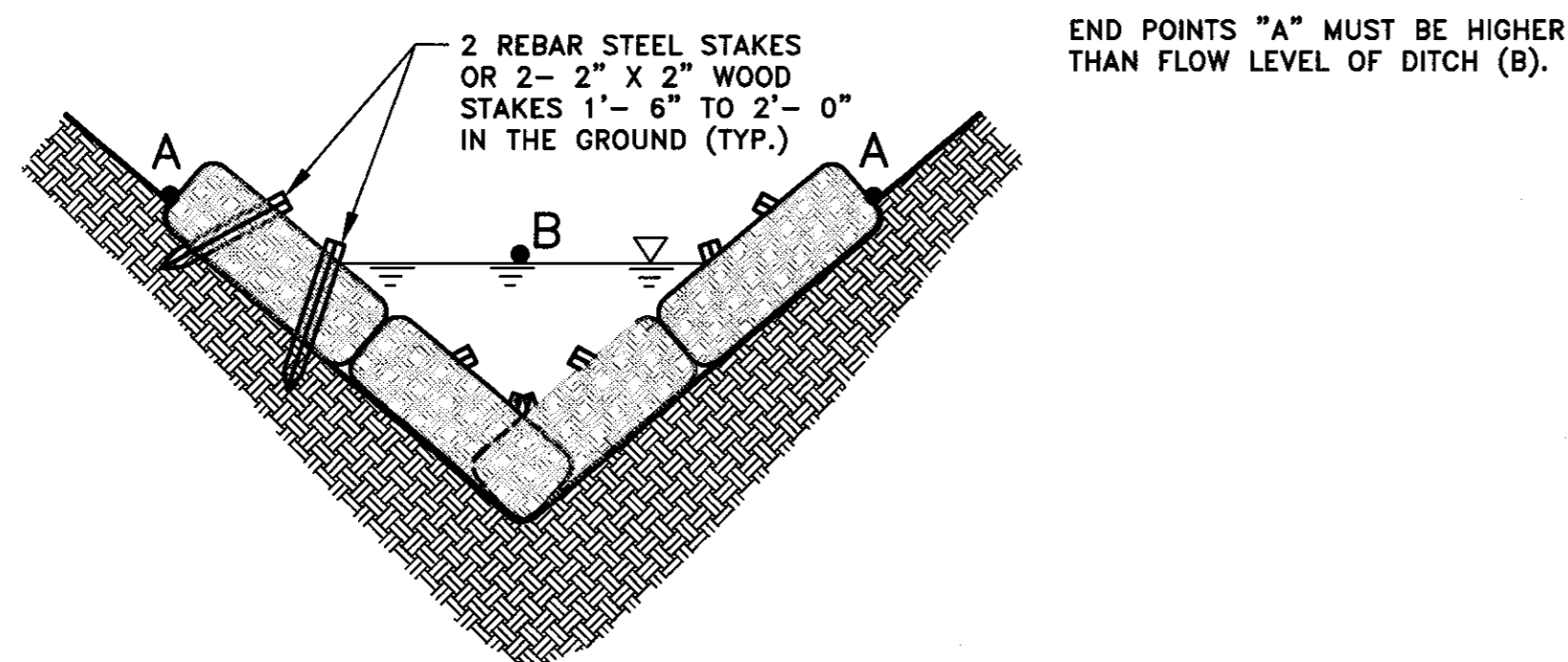
SPECIFICATIONS

CURRENT ALABAMA DEPARTMENT OF TRANSPORTATION

TYPICAL SILT FENCE INSTALLATION



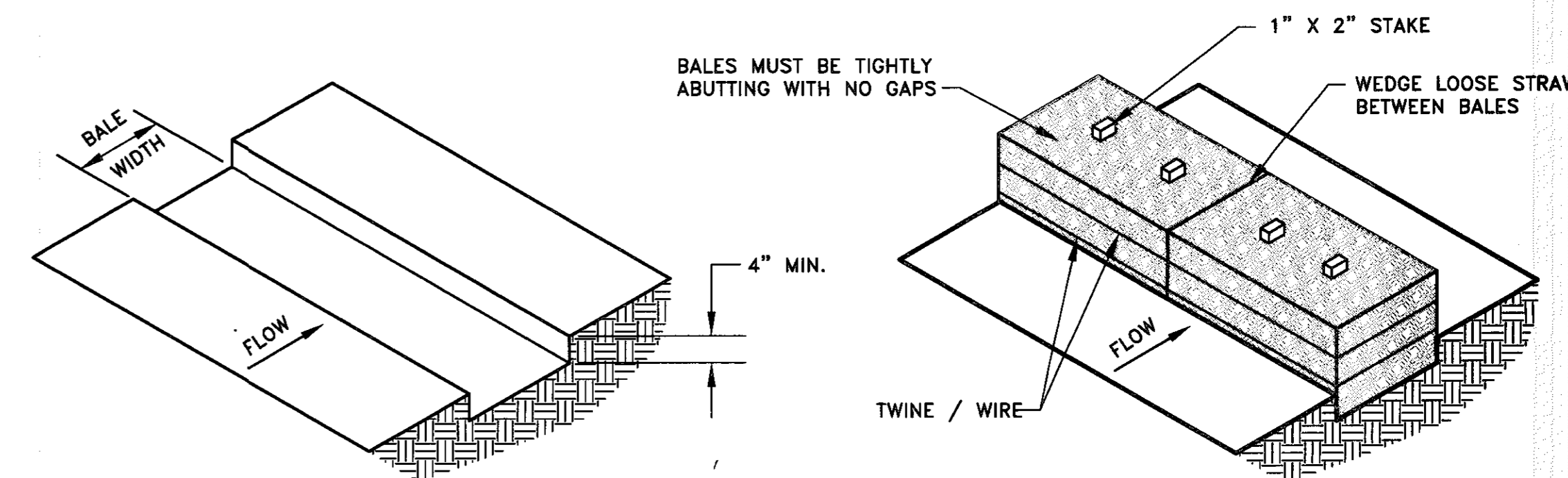
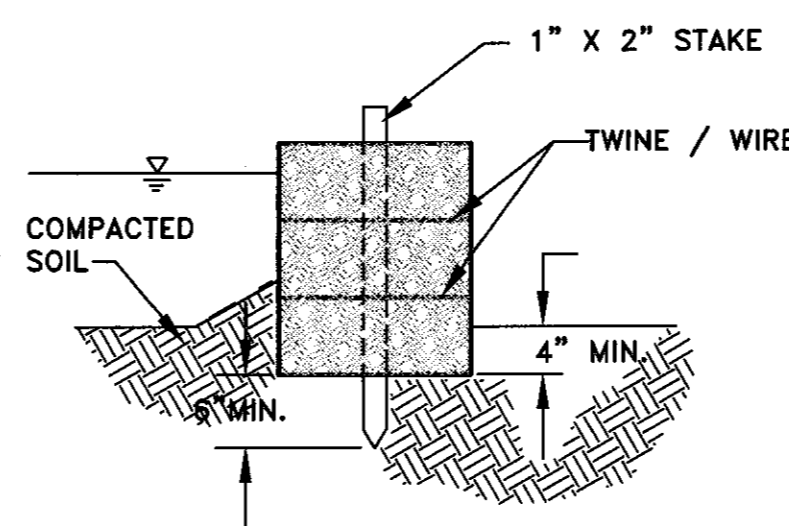
PLAN VIEW



SECTION

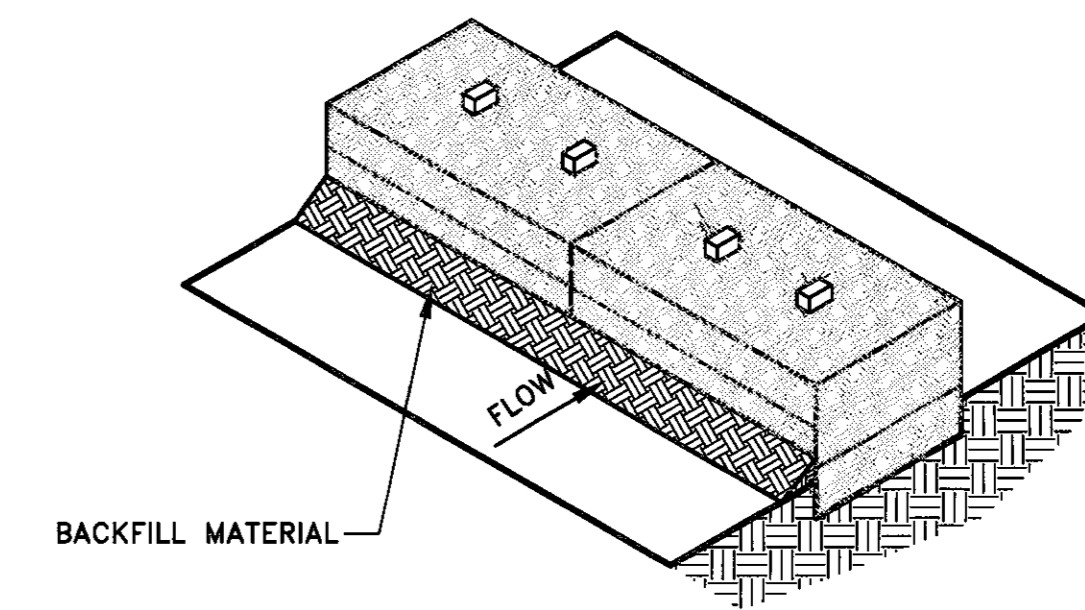
NOTE:

THE END POINTS OF HAYBALES PLACED IN DITCHES MUST BE HIGHER THAN THE WATER FLOW OF THE DITCH.



1. EXCAVATE THE TRENCH.

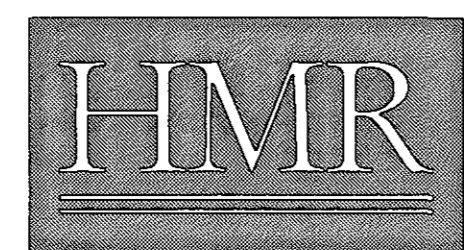
2. PLACE AND STAKE STRAW BALES.



3. BACKFILL AND COMPACT EXCAVATED SOIL.

TYPICAL STRAW BALE INSTALLATION

NO.	REVISION	DATE	ENGR.



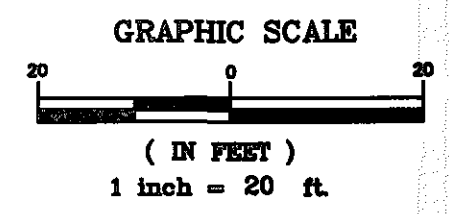
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 POST OFFICE BOX 1872
 FOLEY, ALABAMA 36536
 ENGINEERS & SURVEYORS
 LAND PLANNERS
 TEL (251) 970-2422
 FAX (251) 970-2425
 hmrfoley@hmengineers.com



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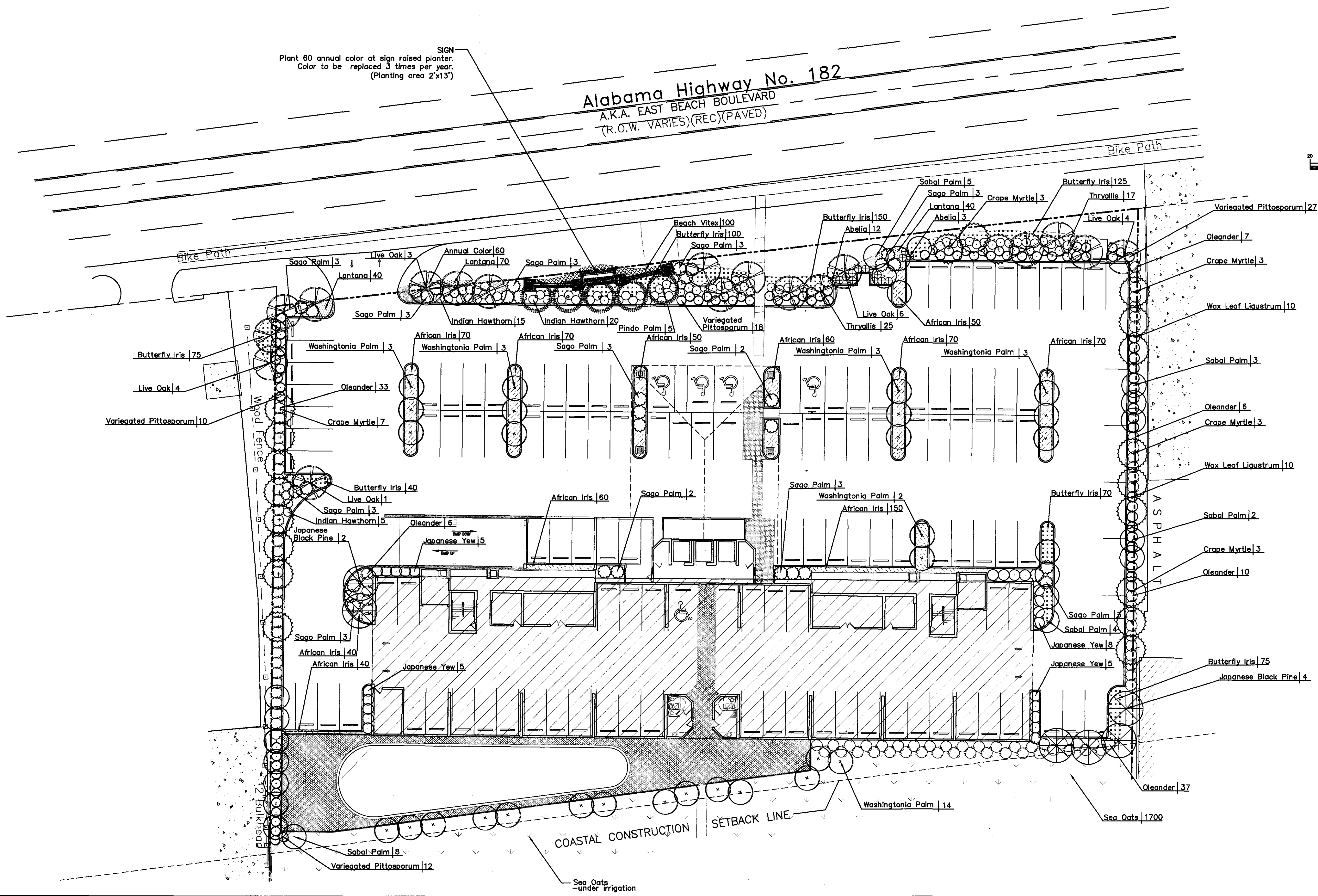
EROSION CONTROL DETAILS
 SAN CARLOS CONDOMINIUMS
EAST BEACH DEVELOPMENT, L.L.C.

SCALE	DATE	DRAWN BY	CHECKED BY	SHEET
N.T.S.	MAY, 2006	C.S.C.		9 OF 13



Alabama Highway No. 182
 A.K.A. EAST BEACH BOULEVARD
 (R.O.W. VARIES)(REC)(PAVED)

SIGN
 Plant 60 annual color at sign raised planter.
 Color to be replaced 3 times per year.
 (Planting area 2'x13')



NO.	REVISION	DATE	ENGR.



HUTCHINSON, MOORE & RAUCH, LLC
 2039 MAIN STREET
 DAPHNE, ALABAMA 36526
 ENGINEERS • SURVEYORS
 LAND PLANNERS
 TEL (251) 626-2626
 FAX (251) 626-6934
 daphne@hmengineers.com

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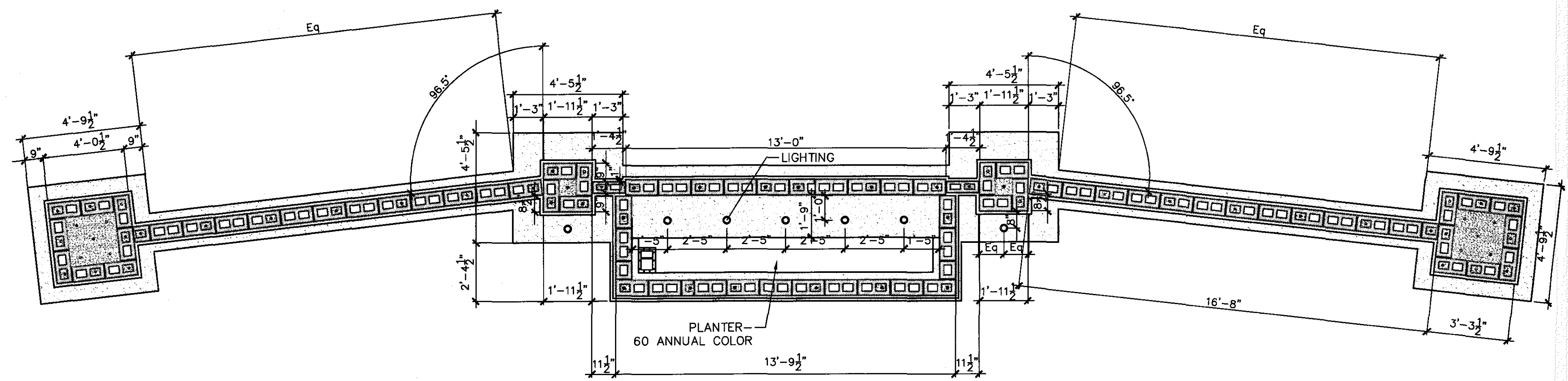
SAN CARLOS CONDOMINIUMS
 LANDSCAPE PLAN
HOLIDAY DEVELOPMENT, L.L.C.

SCALE 1"=20'	DATE JUNE 2006	DRAWN BY KDJ	CHECKED BY	SHEET 10 OF 13
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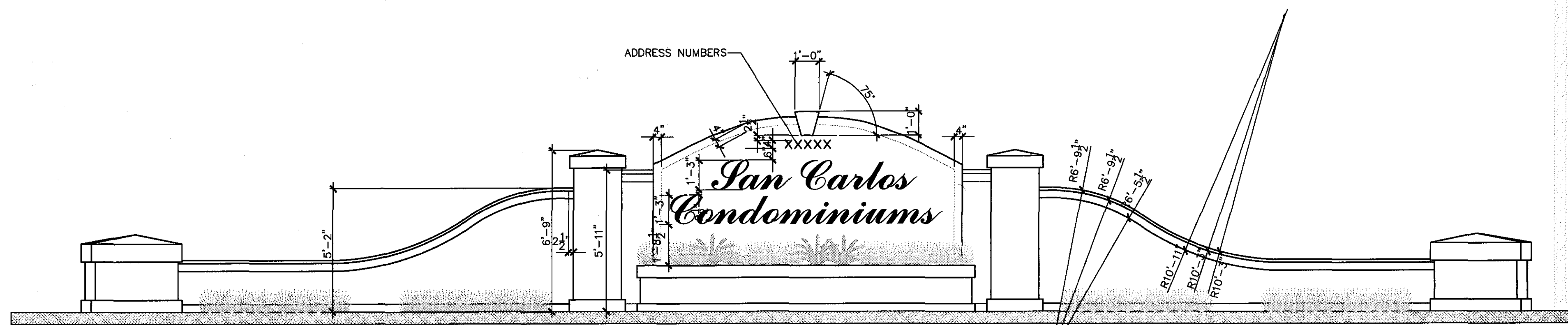
PLANT USE LIST				
QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES				
18	Quercus virginiana	Live Oak	10'-12' ht.	3" cal.
19	Lagerstroemia indica	Crape Myrtle - 'Watermelon Red'	8'-10' ht.	3 trunks min., 1" cal. per trunk
8	Sabal Palmetto	Sabal Palm	12'	
7	Sabal Palmetto	Sabal Palm	14'	
7	Sabal Palmetto	Sabal Palm	16'	
14	Washingtonia robusta	Washingtonia Palm	12'	
14	Washingtonia robusta	Washingtonia Palm	14'	
6	Pinus thunbergiana	Japanese Black Pine	6'-8' h.t.	
5	Butia capitata	Pindo Palm	6'-8' c.t.	Matching specimens
SHRUBS				
96	Nerium oleander	Oleander	42"-48 ht.	30"-36" spread
23	Podocarpus macrophyllus	Japanese Yew	4'-6' ht.	24" spread
67	Pittosporum tobira variegata	Variegated Pittosporum	5 gal., 36"-42" ht.	24" spread
34	Cycas revoluta	Sago Palm	15 gal.	
15	Abelia grandiflora	Abelia	5 gal.	
42	Thryallis glauca	Thryallis	3 gal.	short, compact plants
20	Ligustrum japonicum	Wax Leaf Ligustrum	3'-4' ht.	24" spread
40	Raphiolepis indica	Indian Hawthorn - 'Pink Snow'	3 gal.	
GROUND COVER				
100	Vitex rotundifolia	Beach Vitex	1 gal.	
635	Dietes bicolor	Butterfly Iris	1 gal.	12" o.c.
730	Dietes ssp	African Iris	1 gal.	12" o.c.
150	Lantana camara	Lantana - 'New Gold'	1 gal.	12" o.c.
1700	Uniola paniculata	Sea Oats	Bibs	
120	Annual color		4" pots	6" o.c.

NOTE:

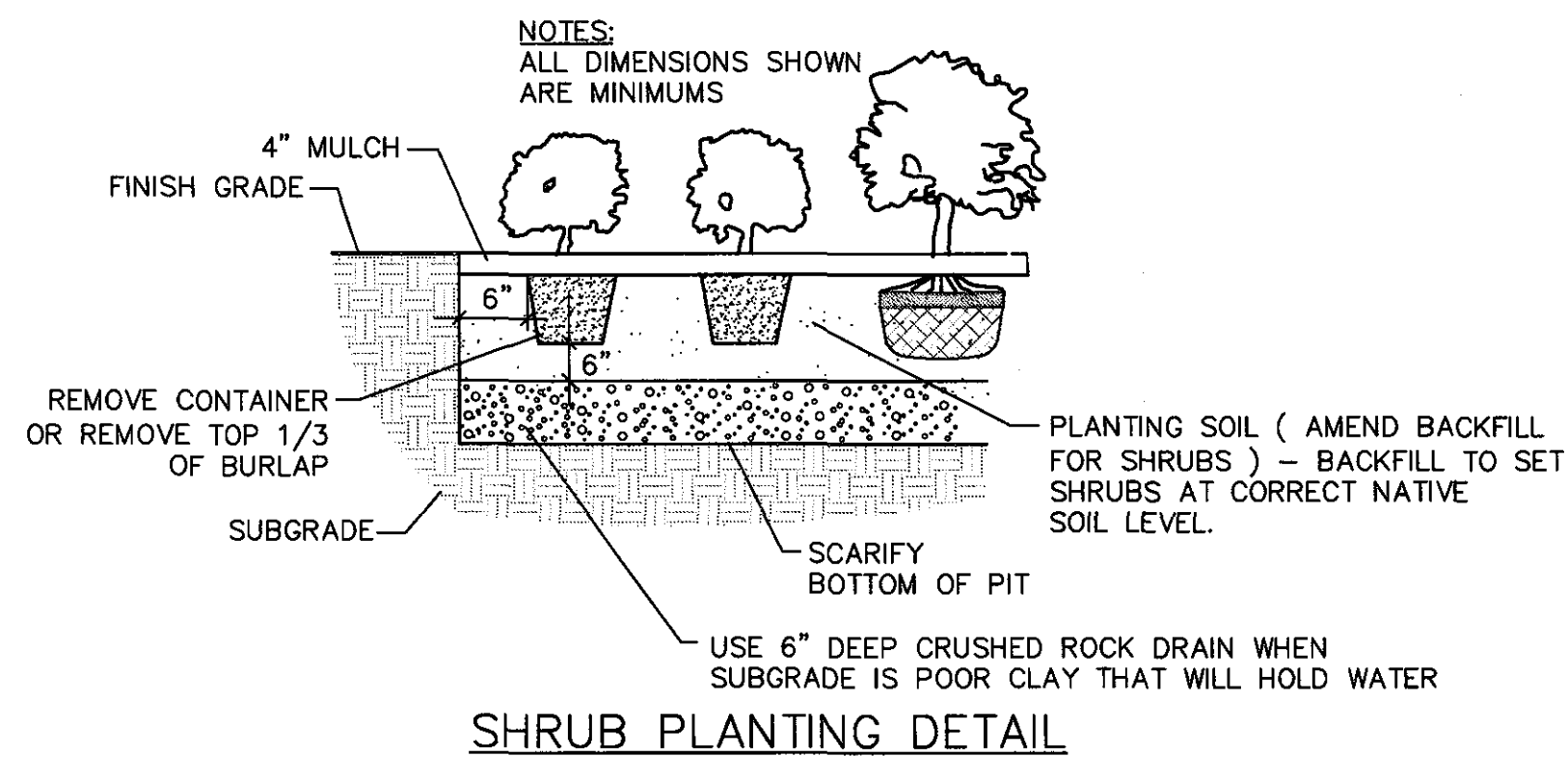
- Landscape contractor to install irrigation system to provide 100% coverage to all planted areas.
- Irrigation sleeves to be installed by general contractor during pre-construction phase.



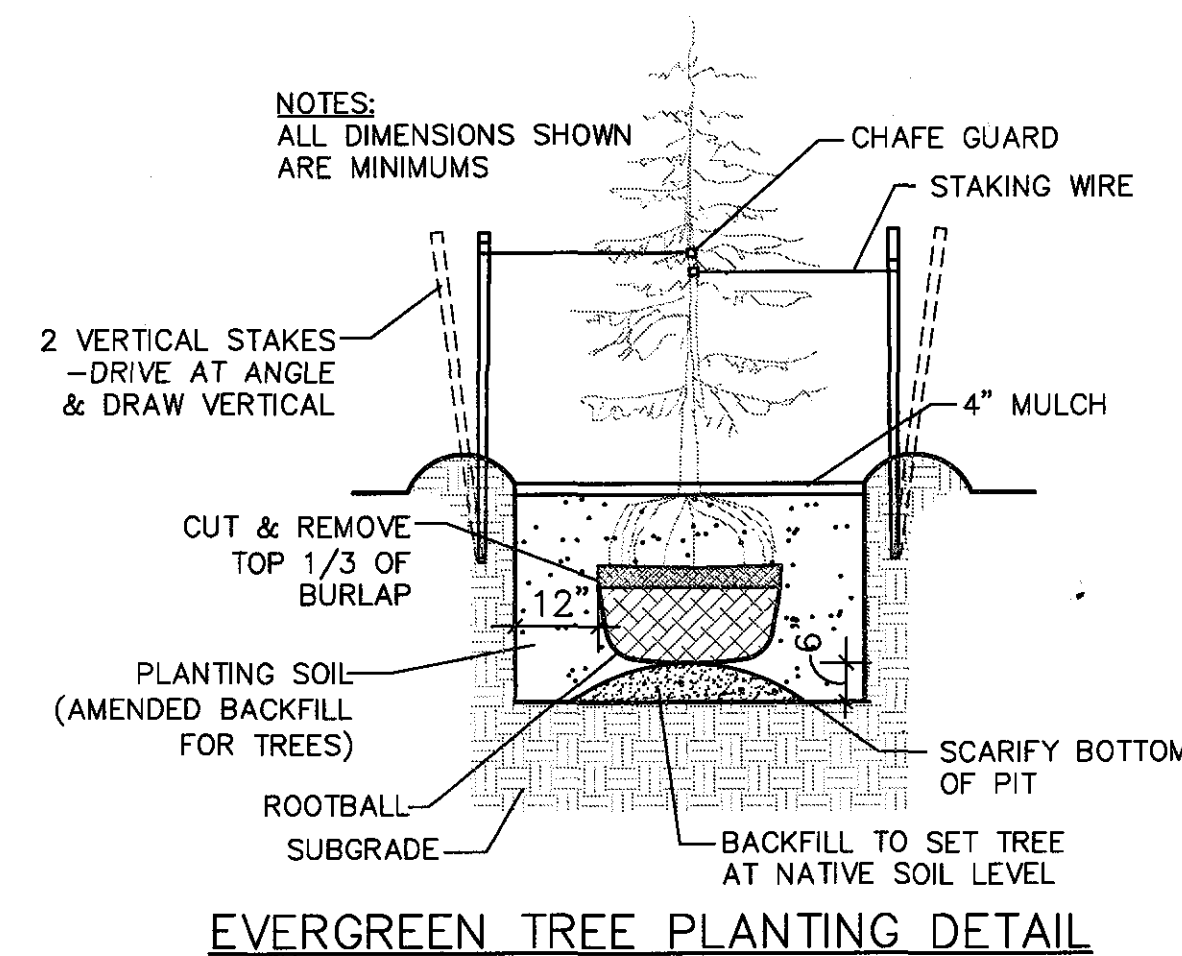
GARDEN WALL PLAN



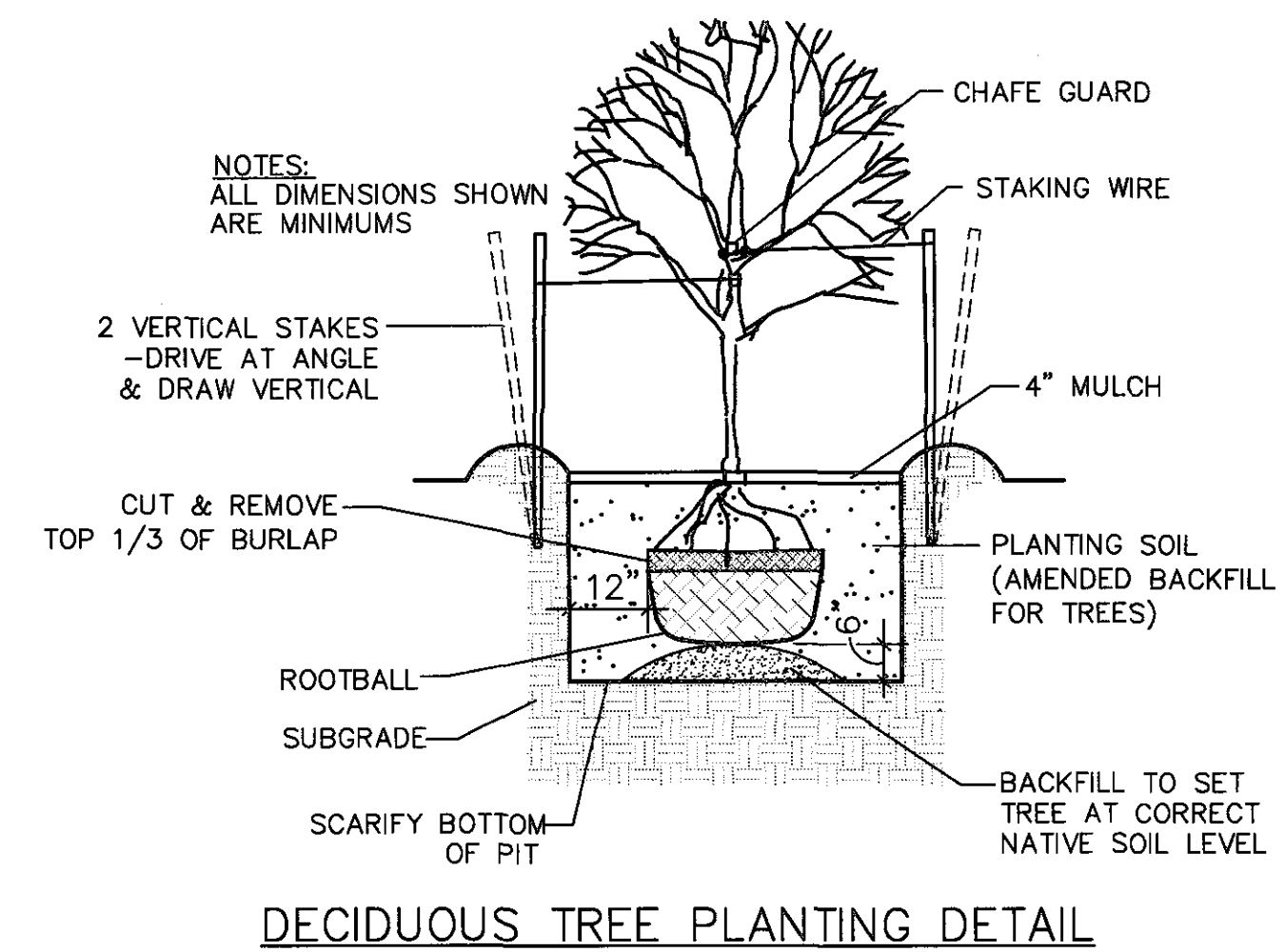
GARDEN WALL ELEVATION



SHRUB PLANTING DETAIL

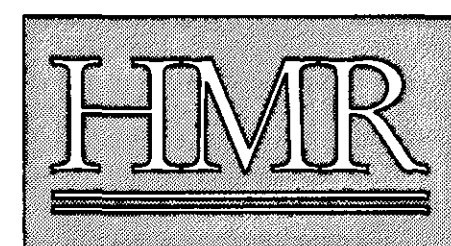


EVERGREEN TREE PLANTING DETAIL



DECIDUOUS TREE PLANTING DETAIL

NO.	REVISION	DATE	ENGR.

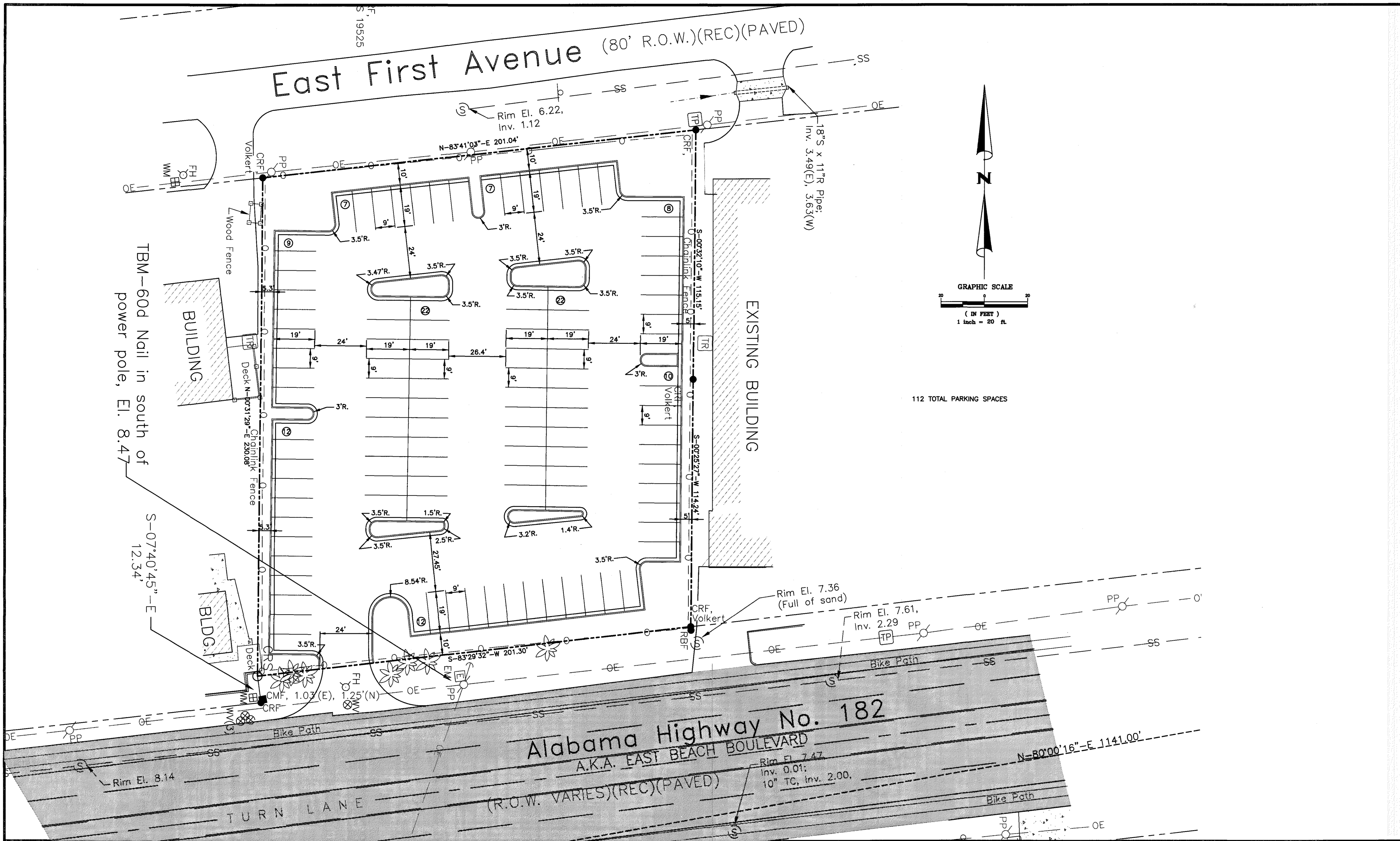


HUTCHINSON, MOORE & RAUCH, LLC
 2039 MAIN STREET
 DAPHNE, ALABAMA 36526
 ENGINEERS • SURVEYORS
 LAND PLANNERS
 TEL (251) 626-2626
 FAX (251) 626-6934
 daphne@hmrengineers.com

INDOOR-PLANT LIST
 61005-1272-30.05

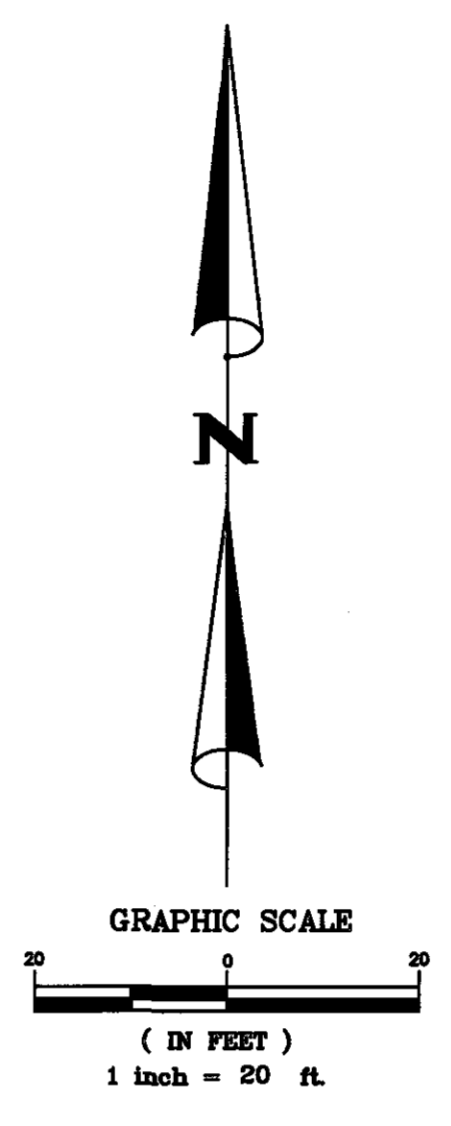
SAN CARLOS CONDOMINIUMS
 PLANT USE LIST AND DETAILS
HOLIDAY DEVELOPMENT, L.L.C.

SCALE	DATE	DRAWN BY	CHECKED BY	SHEET
NONE	JUNE 2006	KDJ		11 OF 13



TBM-60d Nail in south of power pole, El. 8.47

112 TOTAL PARKING SPACES



NO.	REVISION	DATE	ENGR.

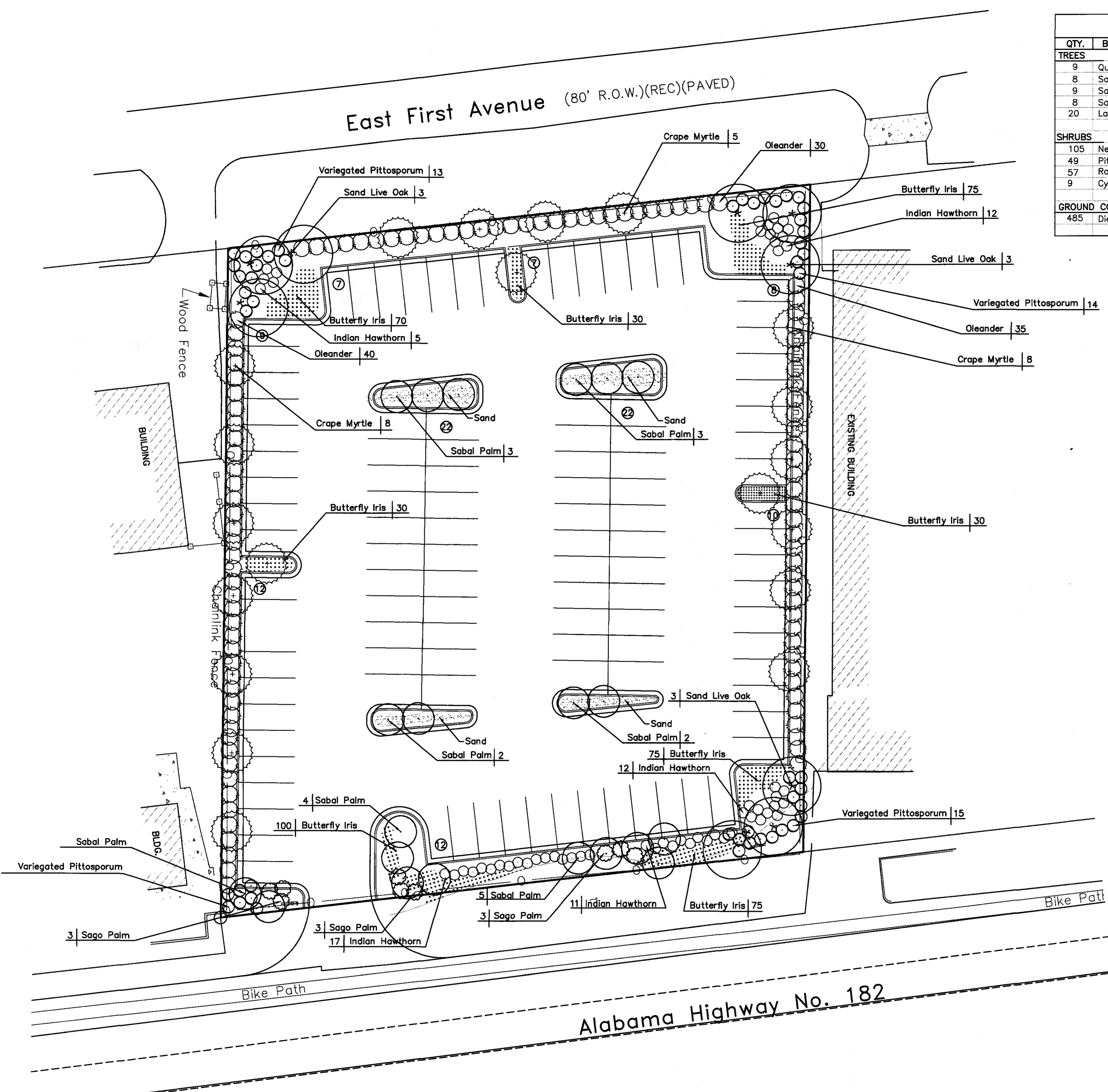


HUTCHINSON, MOORE & RAUCH, LLC
 POST OFFICE BOX 1872
 FOLEY, ALABAMA 36536
 ENGINEERS ♦ SURVEYORS
 LAND PLANNERS
 TEL (251) 970-2422
 FAX (251) 970-2425
 hmrfoley@hmengineers.com



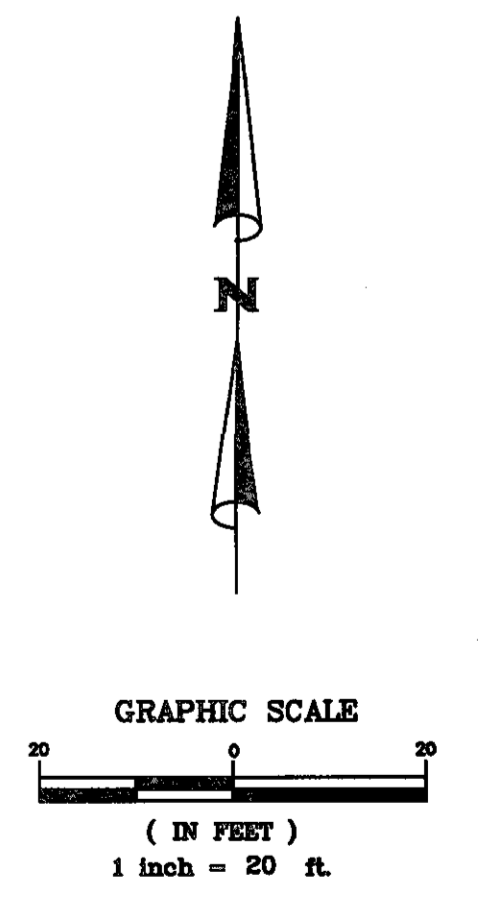
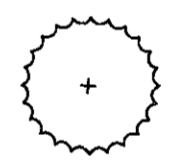
GEO-OFF SITE 61005-1272-30.02				PROPOSED OFF SITE GEOMETRIC PLAN SAN CARLOS CONDOMINIUMS			
SCALE 1"=20'				DATE MAY, 2006		DRAWN BY C.S.C.	
				CHECKED BY			
				SHEET 12 OF 13			

EAST BEACH DEVELOPMENT, L.L.C.

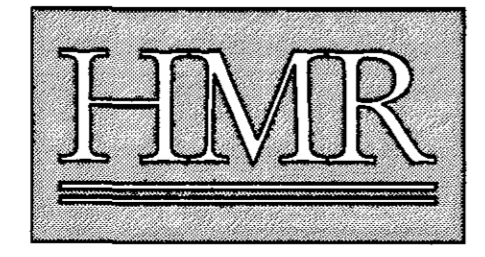


PLANT USE LIST				
QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES				
9	Quercus Virginiana Geminata	Sand Live Oak	10'-12' ht.	3" cal. measured 12" above ground at planting.
8	Sabal Palmetto	Sabal Palm	14' ct.	
9	Sabal Palmetto	Sabal Palm	12' ct.	
8	Sabal Palmetto	Sabal Palm	10' ct.	
20	Lagerstroemia indica	Crape Myrtle - 'Watermelon Red'	8'-10' ht.	3 trunks min., 1" cal per trunk
SHRUBS				
105	Nerium oleander	Oleander - 'Red'	5 Gal., Red	
49	Pittosporum tobira 'variegata'	Variegated Pittosporum	5 Gal.	
57	Raphiolepis indica	Indian Hawthorne 'Snow'	3 Gal.	
9	Cycas revoluta	Sago Palm	10 Gal.	
GROUND COVER				
485	Dietes bicolor	Butterfly Iris	1 Gal.	Plant 18" O.C.

- NOTE:**
- 7 Existing Sabal Palms to be transplanted to off site location and maintained under irrigation. After construction, transplant palms back to site and plant at appropriate locations. Landscape Architect and Designer to approve palms before planting.
 - Install irrigation system providing 100% head to head coverage of all planted areas, including Sea Oats. See sheet 10c for location and size of sleeves.
 - Mulch for top dressing to be pine straw, 6" thickness for trees and shrubs.
 - Mulch for groundcover areas to be pine bark, 3" thickness.



NO.	REVISION	DATE	ENGR.



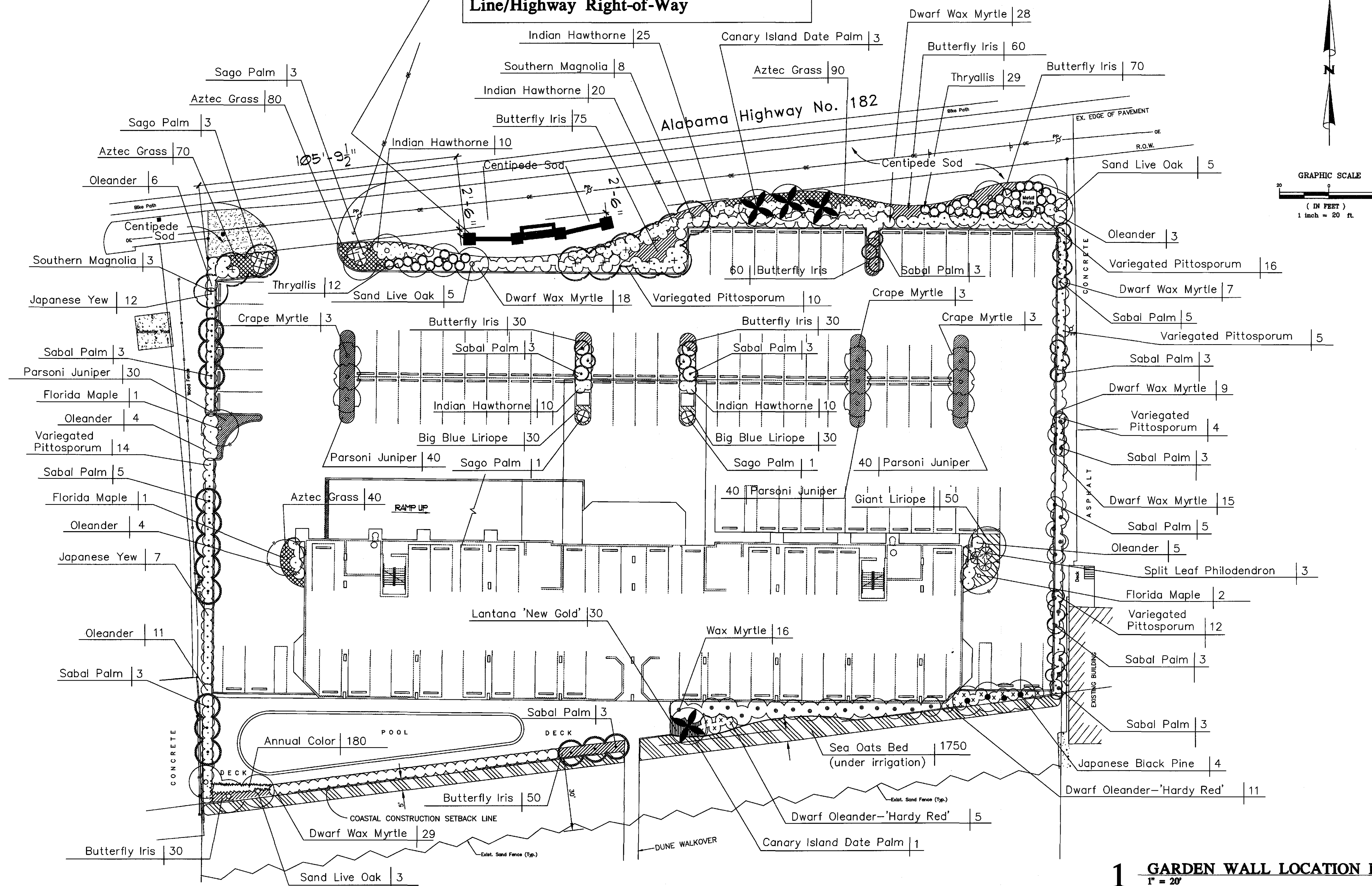
HUTCHINSON, MOORE & RAUCH, LLC
 2039 MAIN STREET
 DAPHNE, ALABAMA 36526
 ENGINEERS ♦ SURVEYORS
 LAND PLANNERS
 TEL (251) 626-2626
 FAX (251) 626-6934
 daphne@hmrengineers.com

1272-LANDSCAPE2.DWG
 6/10/06-1272-30.05

SAN CARLOS CONDOMINIUMS
 LANDSCAPE PLAN
HOLIDAY DEVELOPMENT, L.L.C.
 SCALE 1"=20' DATE JUNE 2006 DRAWN BY KDJ CHECKED BY SHEET 13 OF 13

Monumental Garden Wall/Sign

Note: North face of Garden Planter Wall shall be parallel with North Property Line/Highway Right-of-Way



Note: Prior to Monumental Garden Wall Sign Construction, confirm no modifications to landscaping plans and/or site grading & drainage plan.

"NEED NOT BE BUILT"

IF SHEET IS NOT 24"x36" THEN REDUCE SCALE BY HALF.



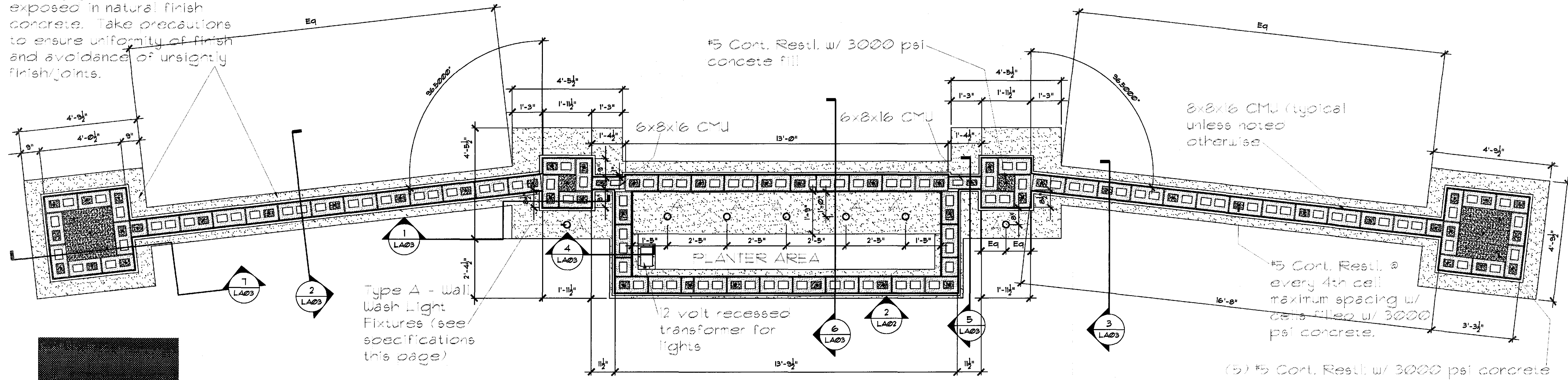
HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

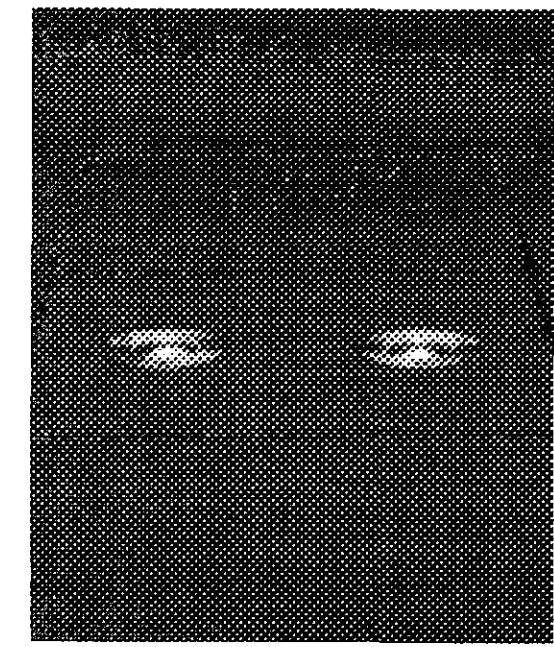
30 N. PALAFOX PENSACOLA, FLORIDA 32502

(850) 432-6011 FAX 435-9001 henry@hnrorris.com

Note: Top surface of footing/grade beams to be exposed in natural finish concrete. Take precautions to ensure uniformity of finish and avoidance of unsightly finish/joints.



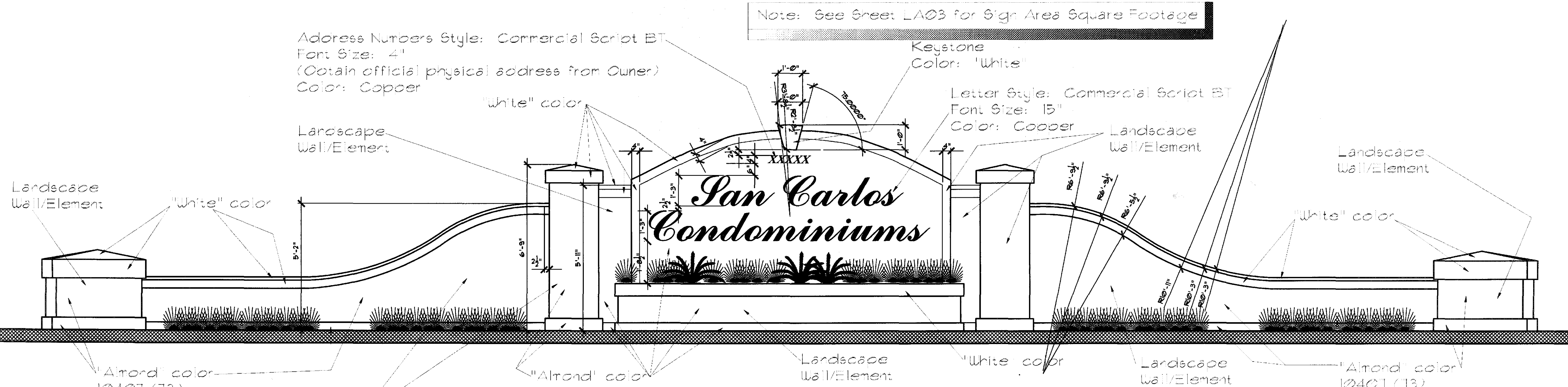
1 GARDEN WALL PLAN 1/2" = 1' - 0"



San Carlos - Exterior Monumental Garden Wall Sign - Lighting Schedule @ Garden Wall

Type	Prod Code	Light Source	Volt	Finish	Glass	Top Plate
A	WEEBEE	1/20w/MR11 GU4	12v	St. Stl.	Clear	Beveled

Louis Poulsen "WeeBee" complete with 45 deg louver and 45 deg prismatic wash lens used together with stainless steel anti-vandal screws.



2 GARDEN WALL ELEVATION 1/2" = 1' - 0"

San Carlos Condominiums Gulf Shores, Alabama

JOB NO.: 2004-08 CAD: kbc CHECKED: HNN DATE: 03/14/06 REVISIONS:

Garden Wall Plan & Elevation

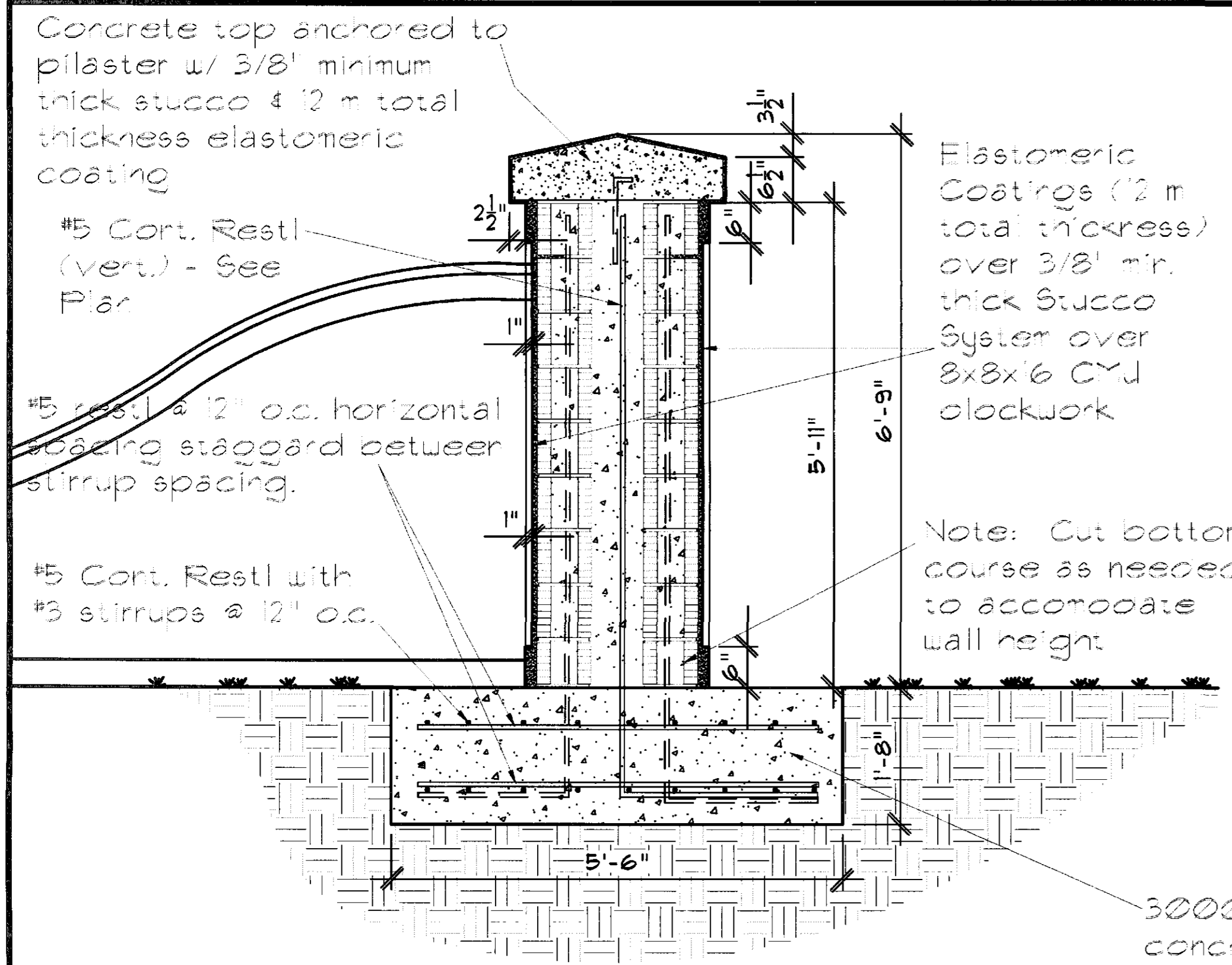
SHEET

LA02

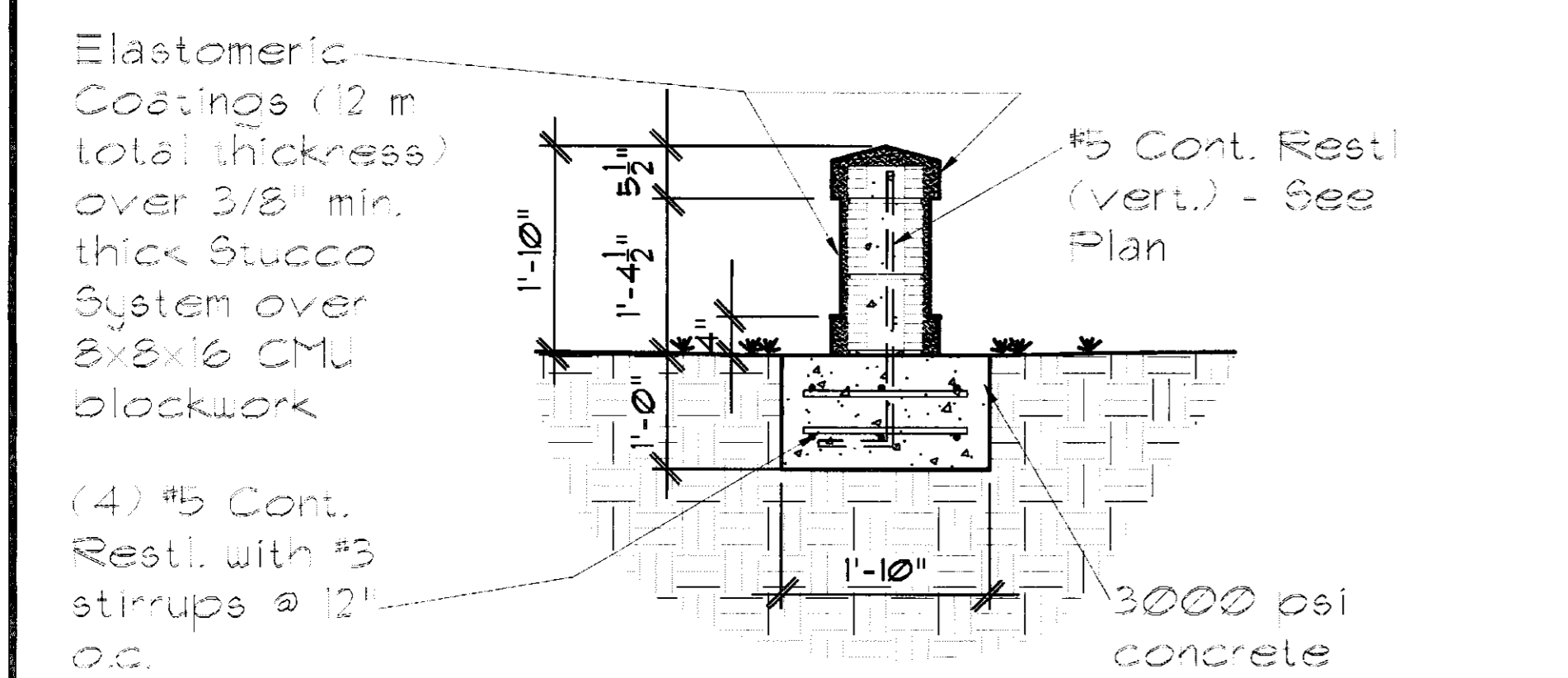
OF xxx

"NEED NOT BE BUILT"

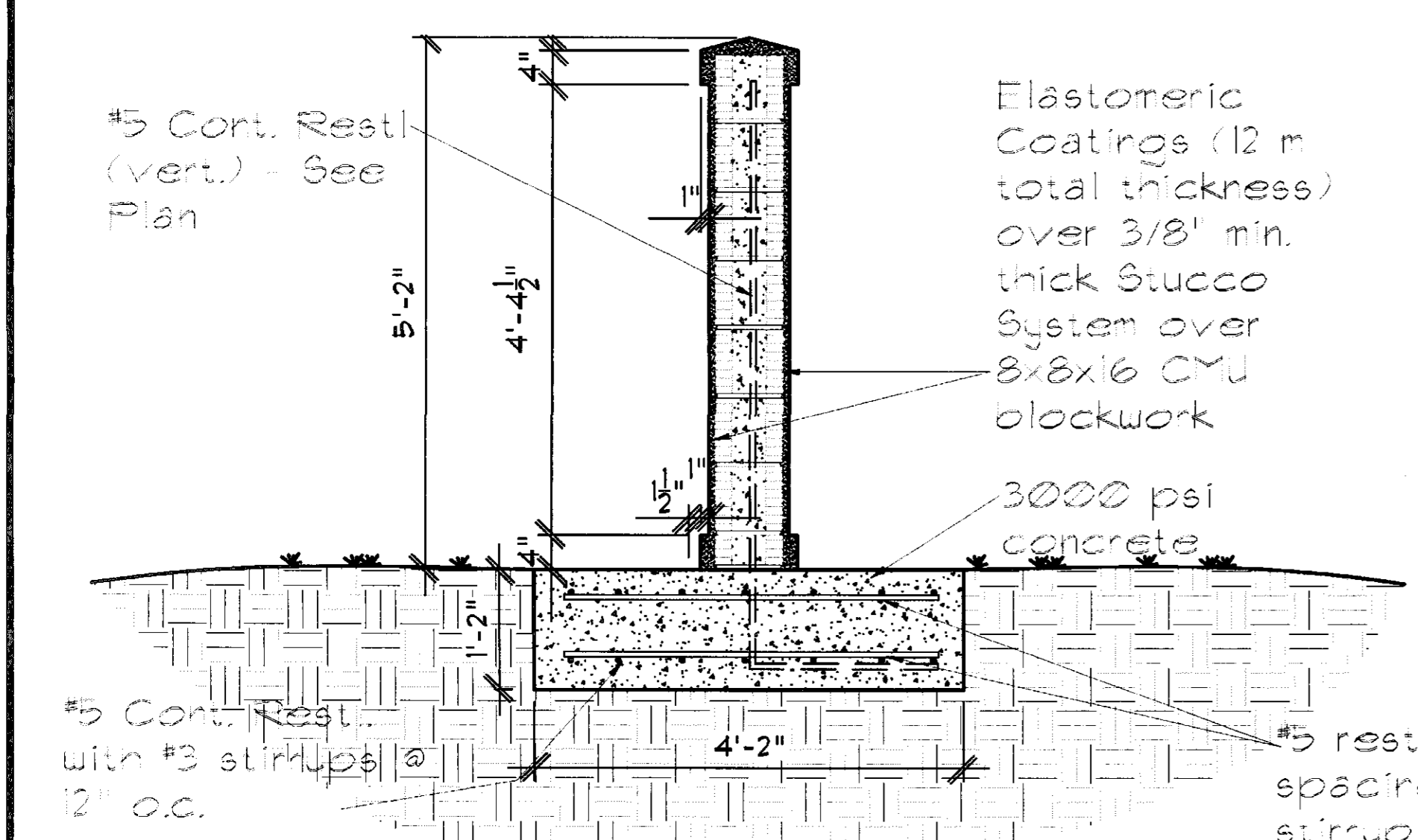
IF SHEET IS NOT 24"x36" THEN REDUCE SCALE BY HALF.



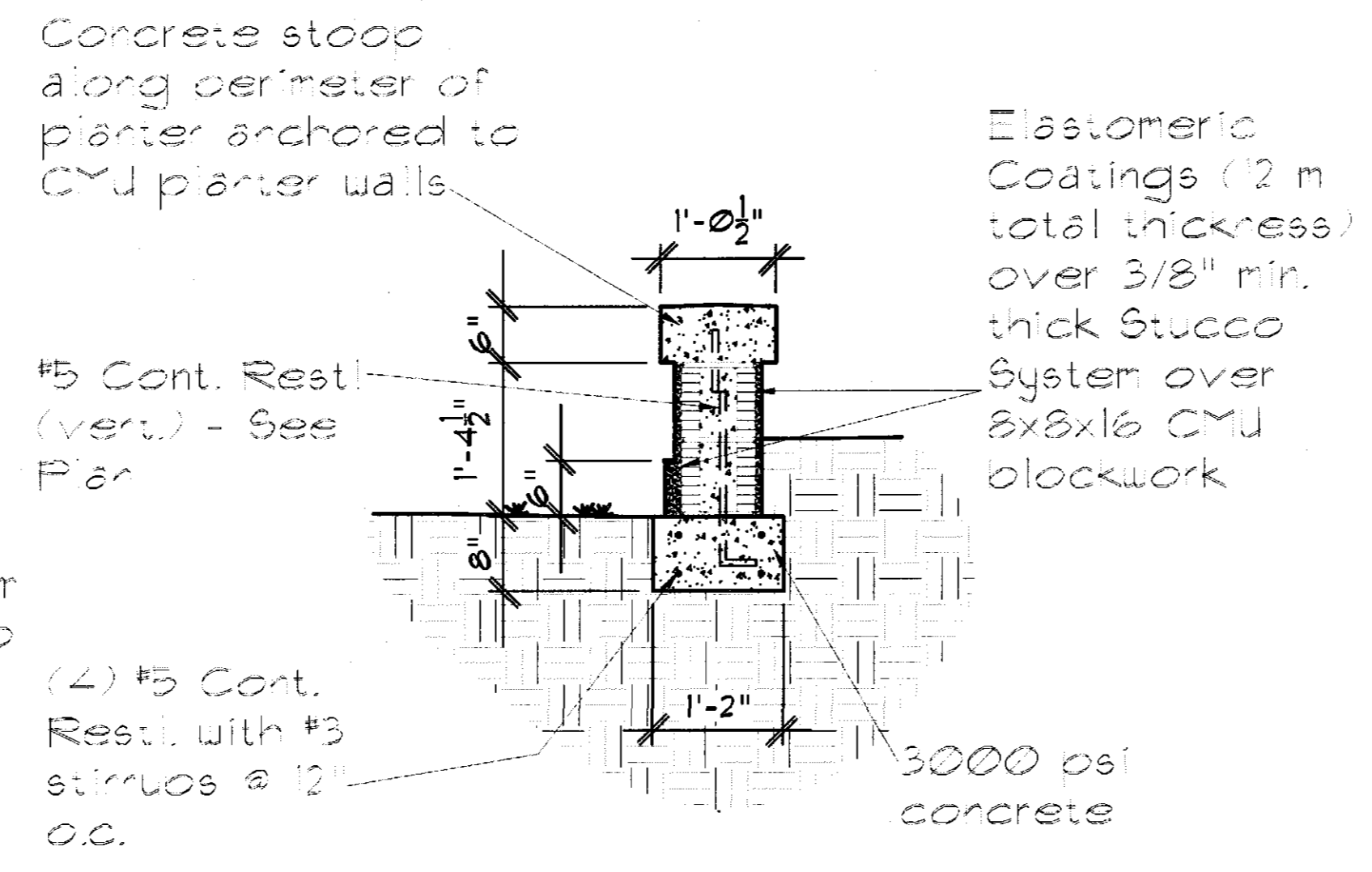
1 GARDEN WALL COLUMN SECTION/DETAIL
3/4" = 1' - 0"



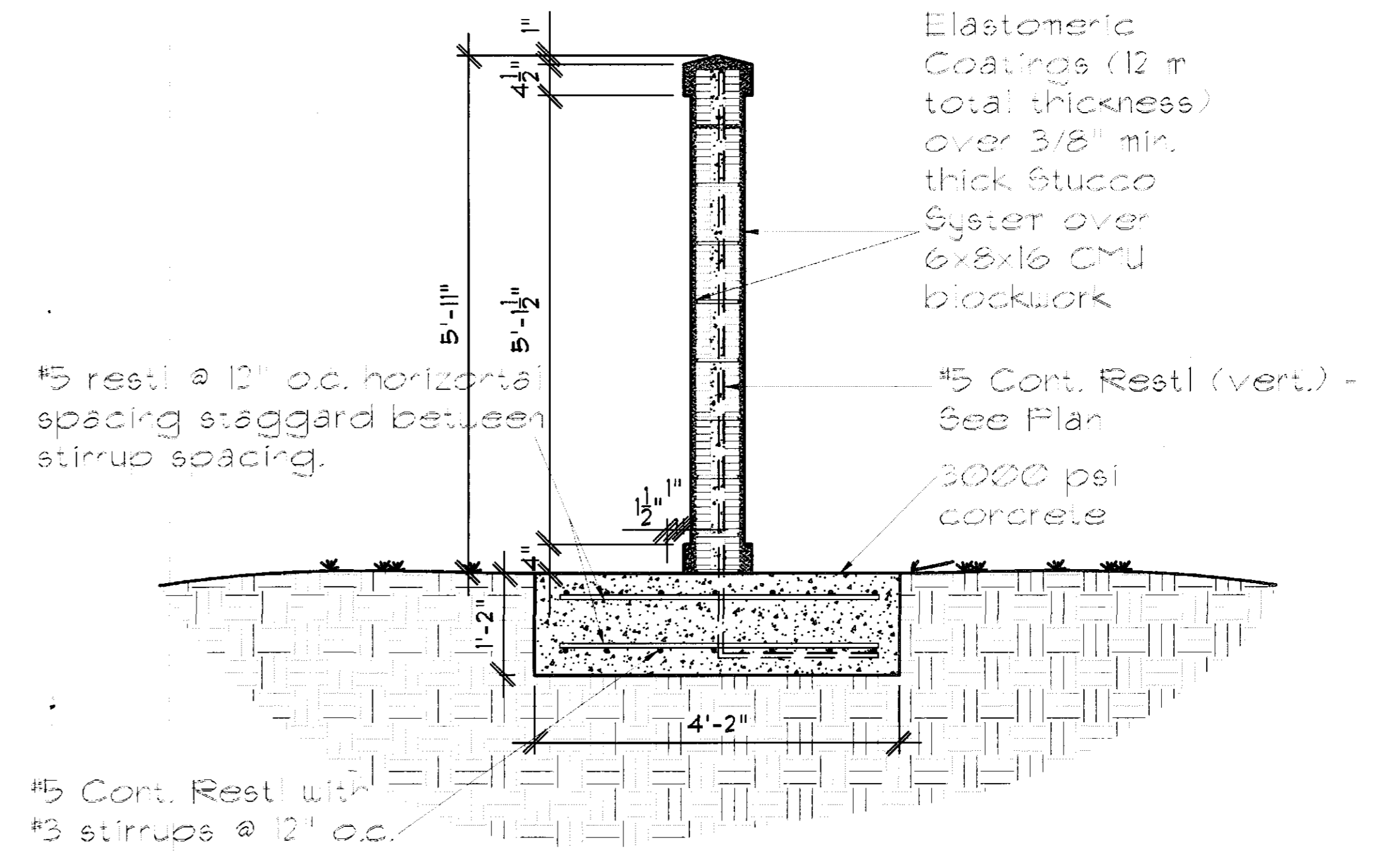
2 GARDEN WALL COLUMN SECTION/DETAIL
3/4" = 1' - 0"



3 GARDEN WALL COLUMN SECTION/DETAIL
3/4" = 1' - 0"

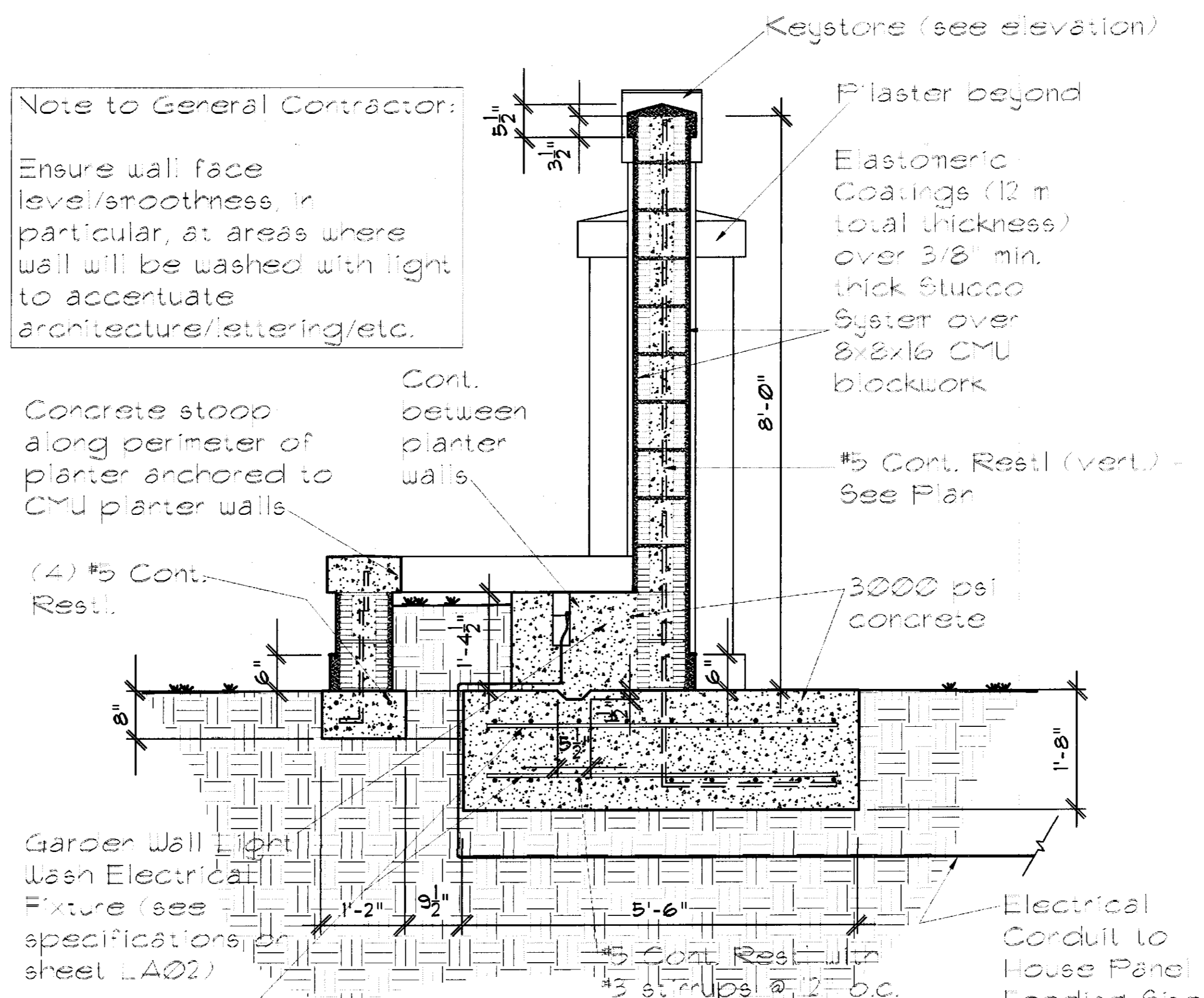


4 GARDEN WALL COLUMN SECTION/DETAIL
3/4" = 1' - 0"

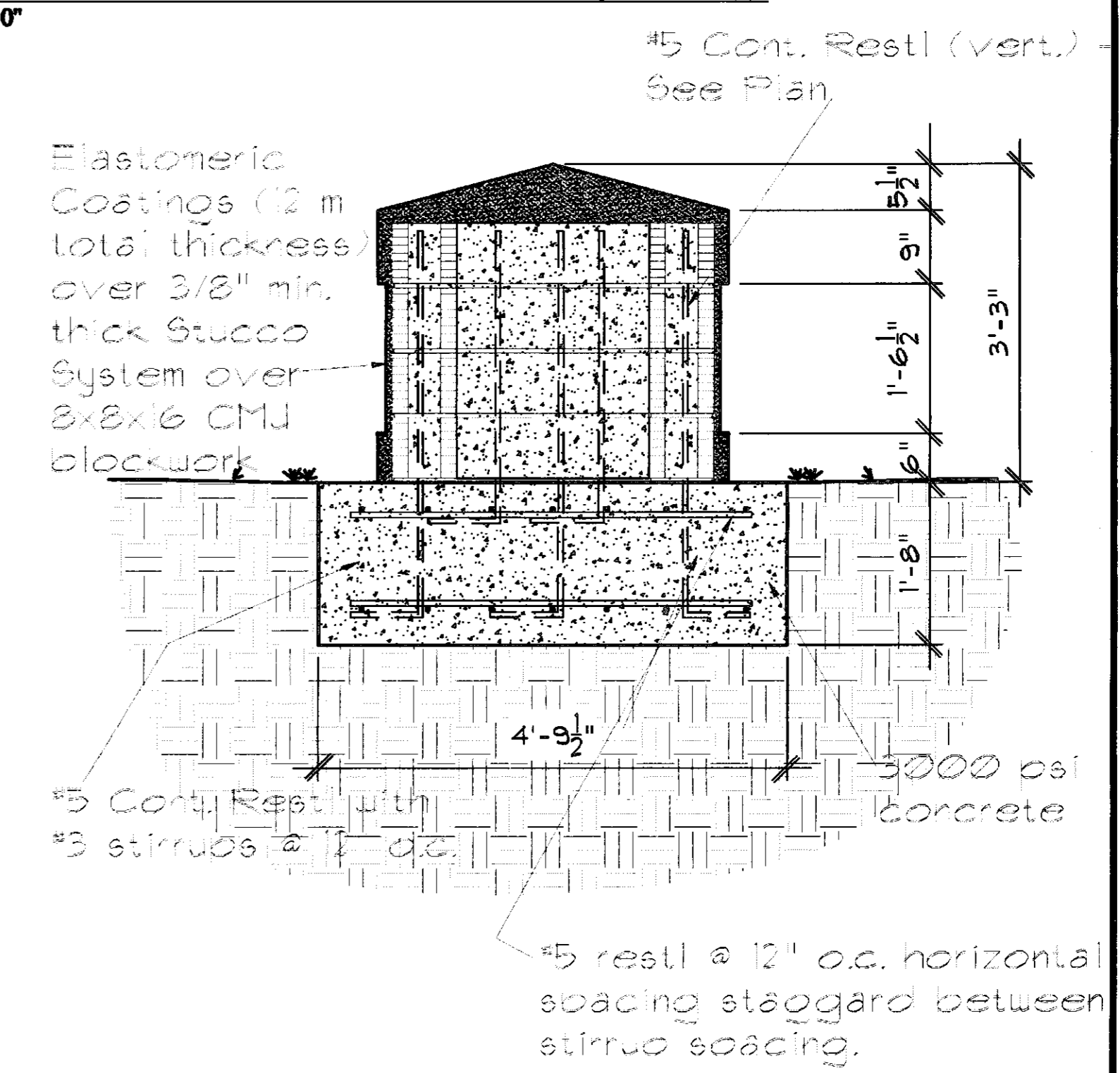


5 GARDEN WALL COLUMN SECTION/DETAIL
3/4" = 1' - 0"

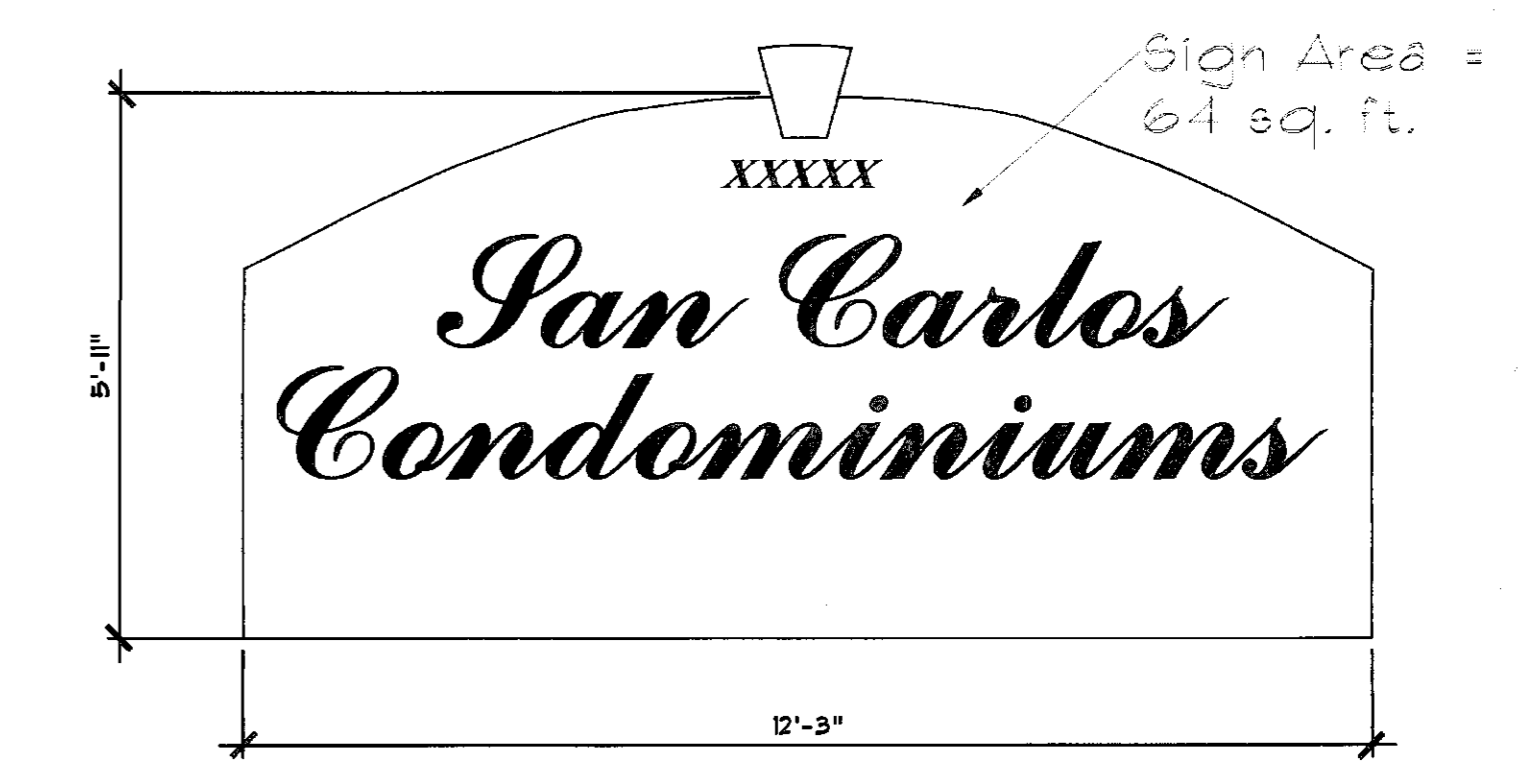
Note to General Contractor:
Ensure wall face level/smoothness, in particular, at areas where wall will be washed with light to accentuate architecture/lettering/etc.



6 GARDEN WALL COLUMN SECTION/DETAIL
3/4" = 1' - 0"



7 GARDEN WALL COLUMN SECTION/DETAIL
3/4" = 1' - 0"



8 SIGN AREA ELEVATION
1/2" = 1' - 0"

1 GARDEN WALL SIGN LUMINAIRE SCHEDULE

LUMINAIRE SCHEDULE

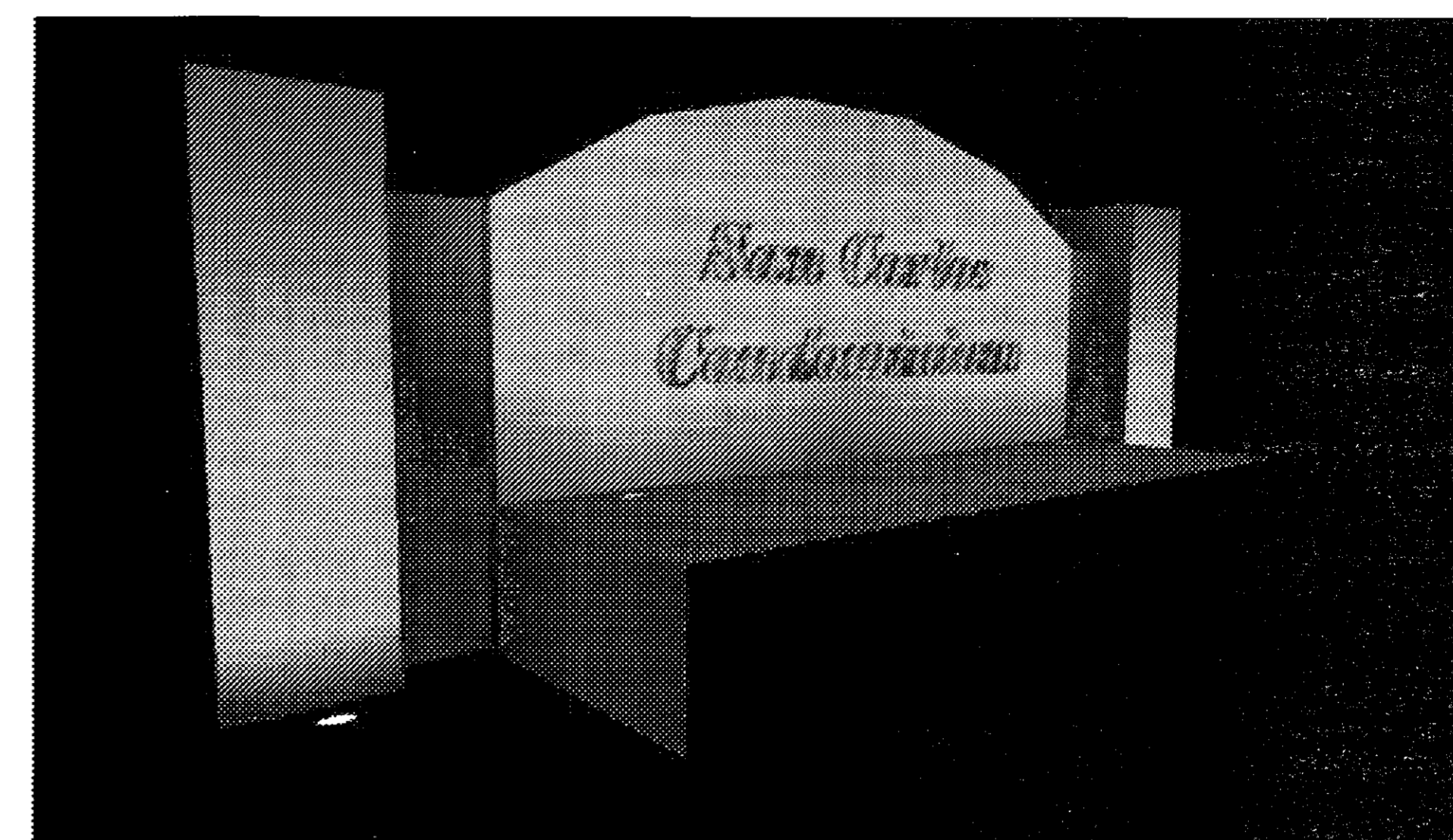
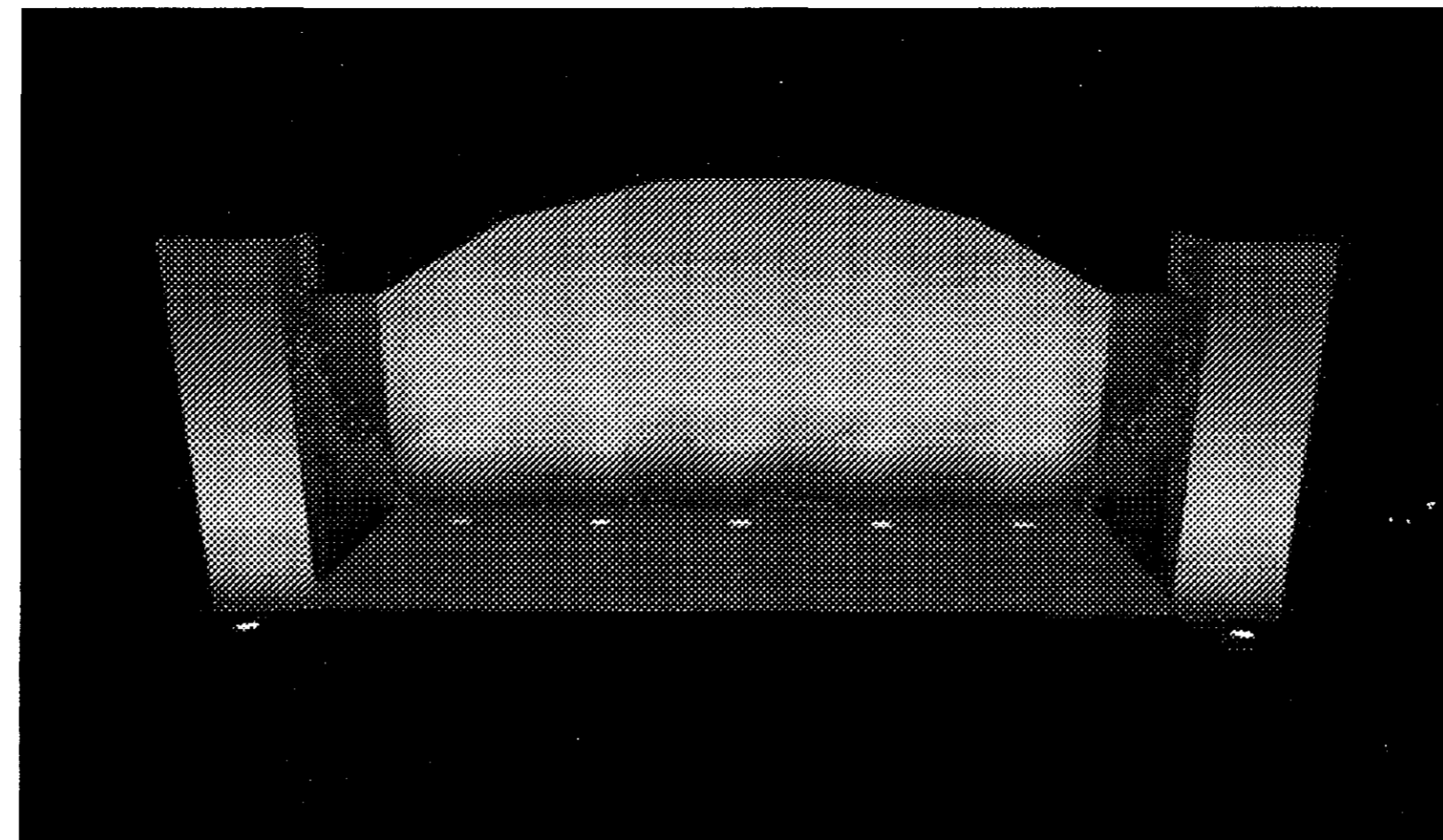
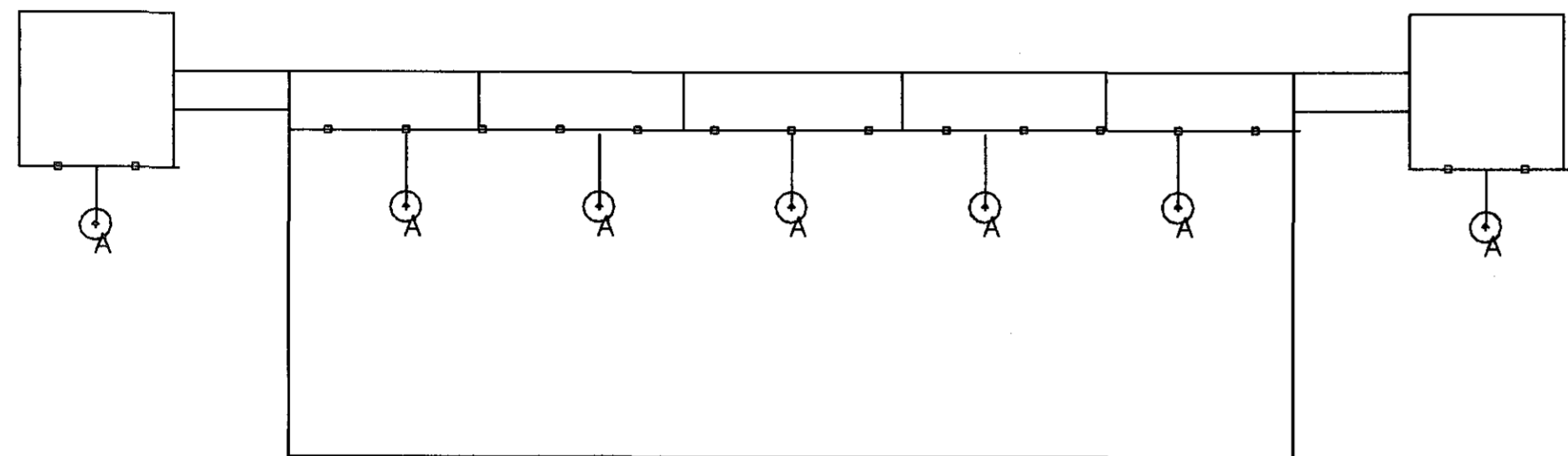
PROJECT: SAN CARLOS CONDOMINIUMS-GARDEN WALL SIGN

Symbol	Label	Description	LAMP	Lumens	LLF
⊙	A	Louis Poulsen#HEBEE-1/20W/AR11/12V/ST.ST./G./BEVELED/ASDEG LOUVER	20W MR11	400	0.850

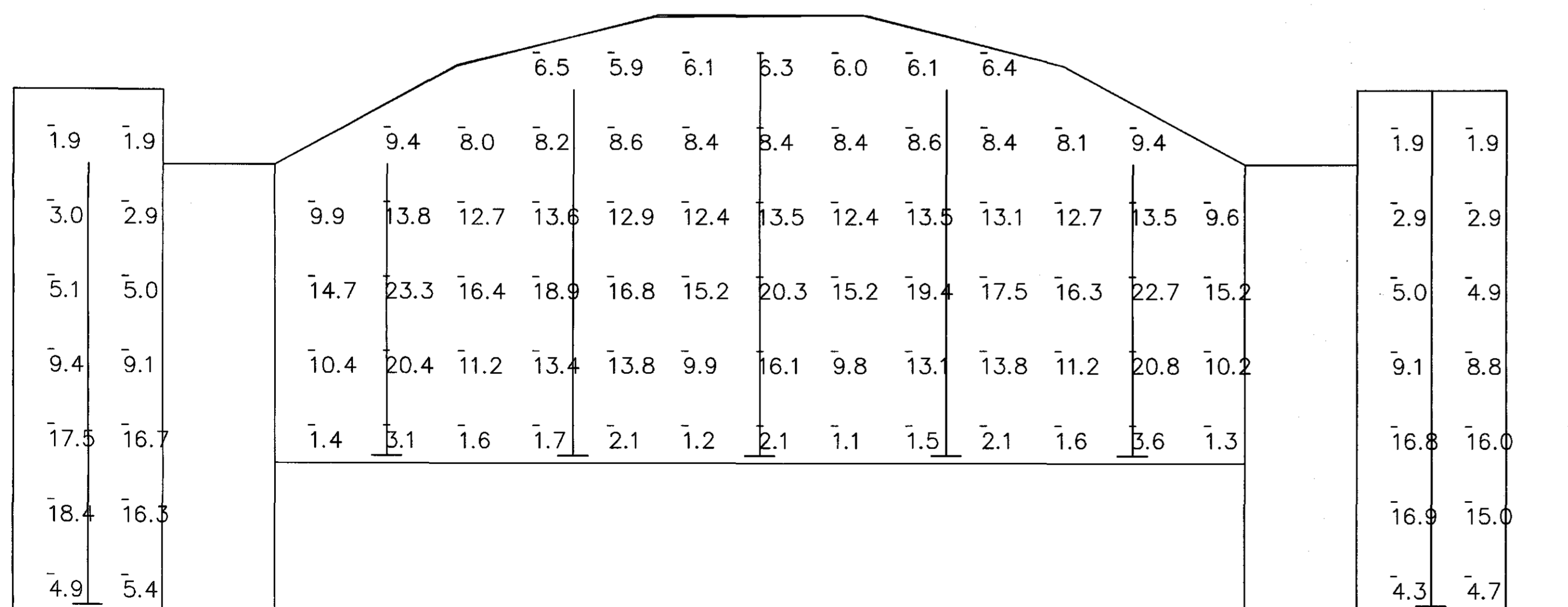
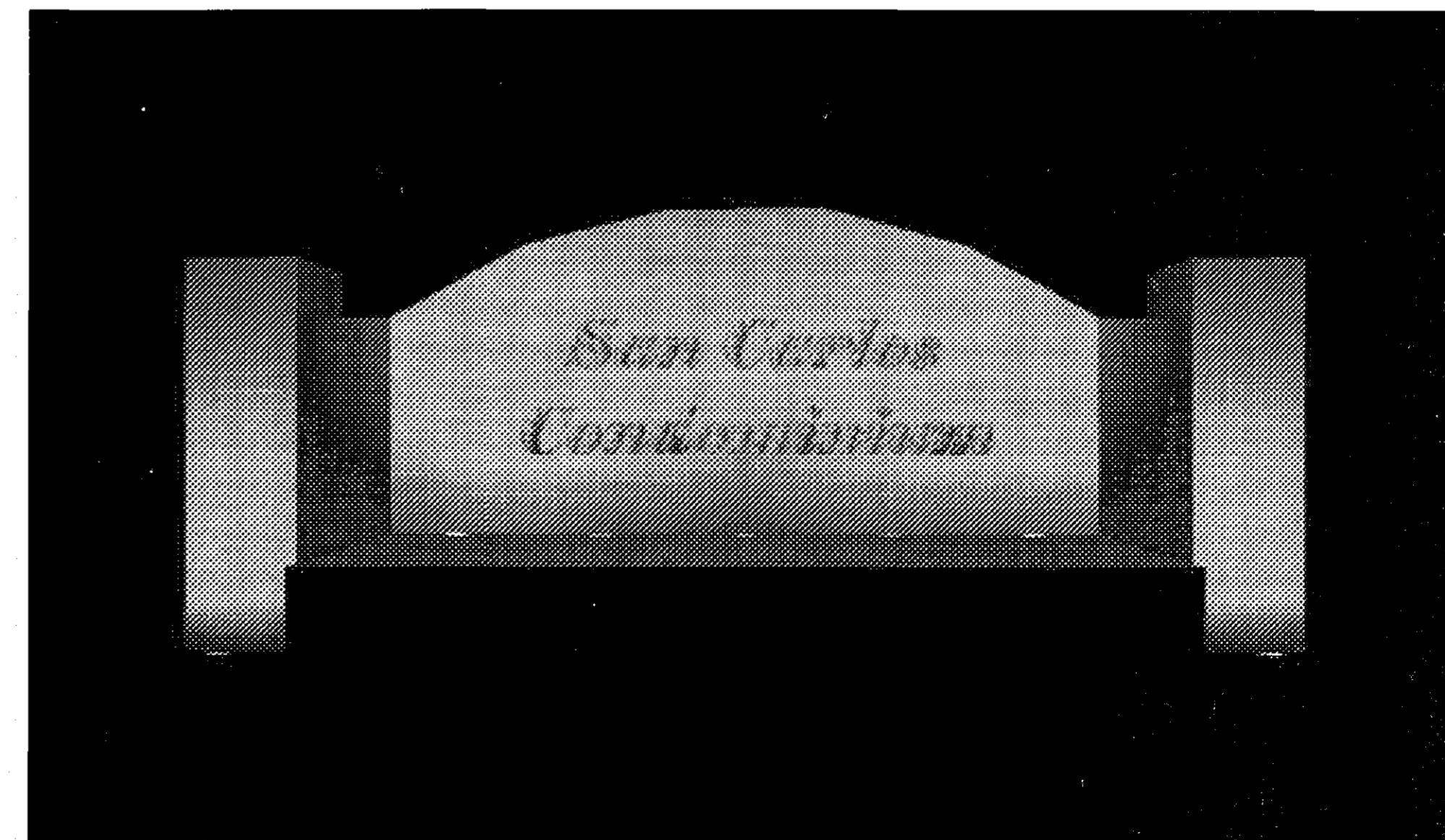
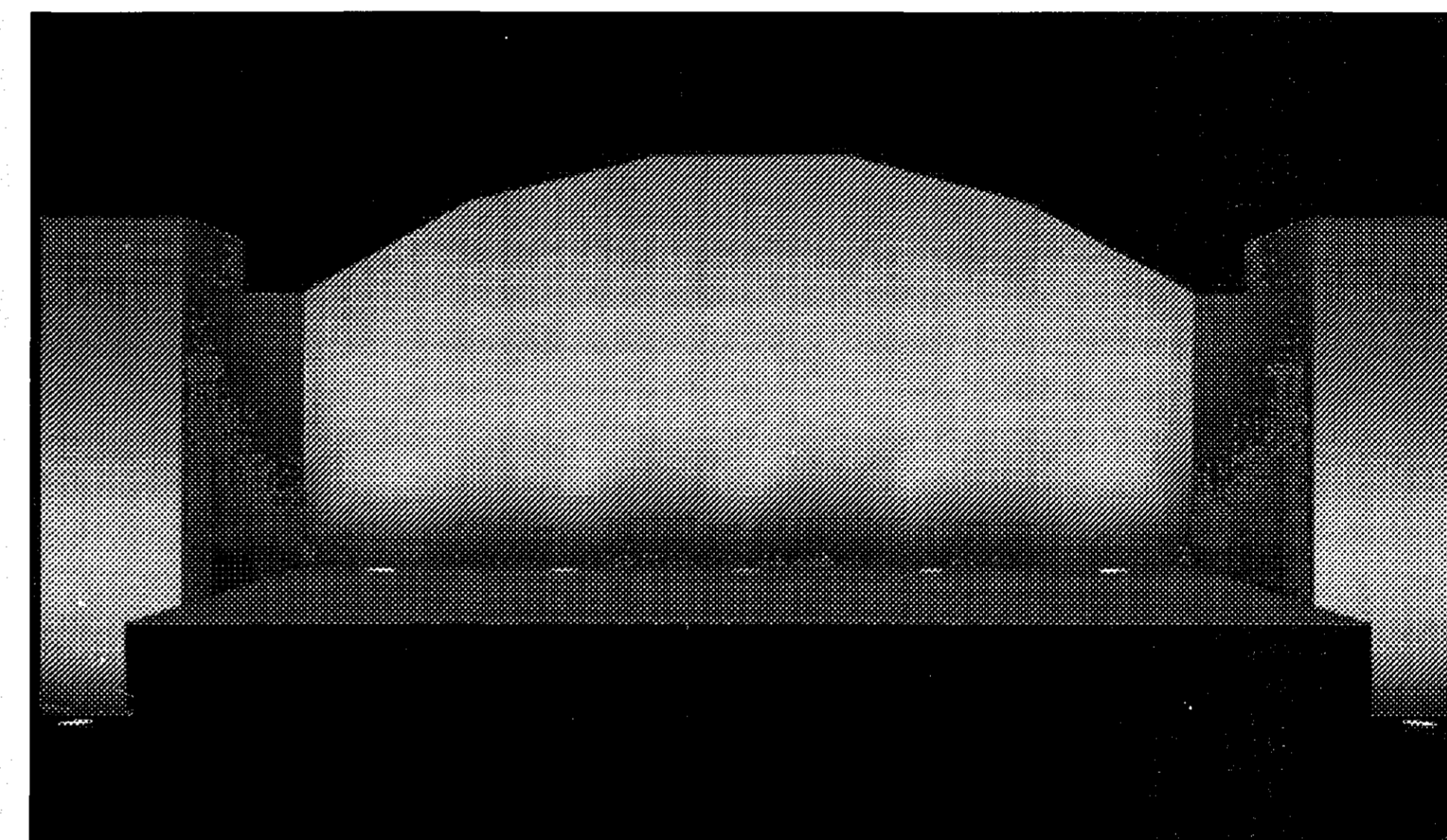
Numeric Summary

Project: All Projects

Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
SIGN_Side_Front	Illuminance	Fc	10.45	23.3	1.1	9.50	21.18
SIGN_2_Side_3	Illuminance	Fc	8.39	18.4	1.9	4.42	9.68
SIGN_2_1_Side_3	Illuminance	Fc	7.94	16.9	1.9	4.18	8.89



3 GARDEN WALL SIGN LUMINAIRE ISOVIEW



2 GARDEN WALL SIGN LUMINAIRE PROFILE

4 GARDEN WALL SIGN LUMINAIRE FRONT VIEW



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

30 N. PALAFOX PENSACOLA, FLORIDA 32502

(850) 432-6011 FAX 435-9001 henry@hnorris.com

San Carlos Condominiums
Gulf Shores, Alabama

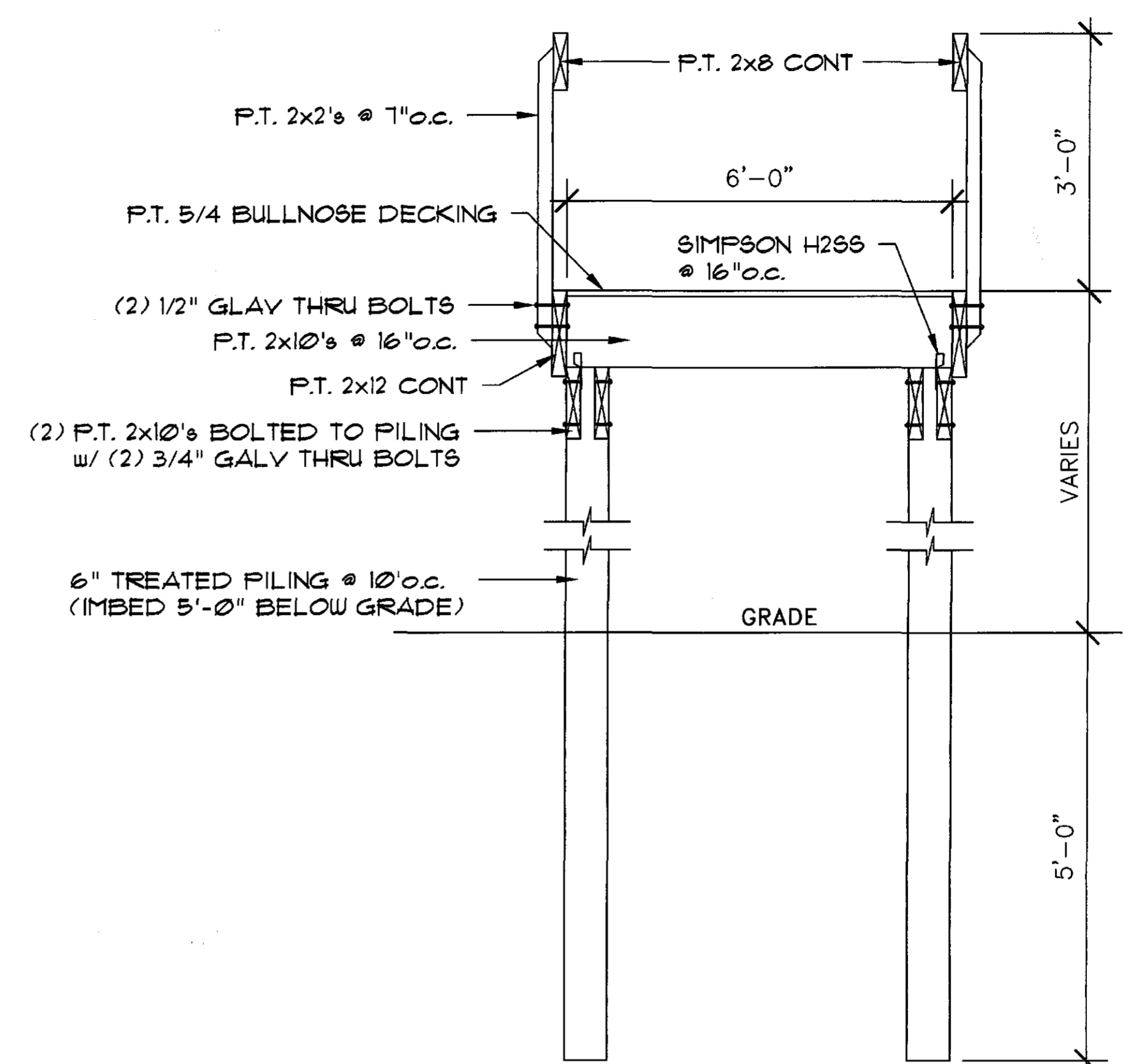
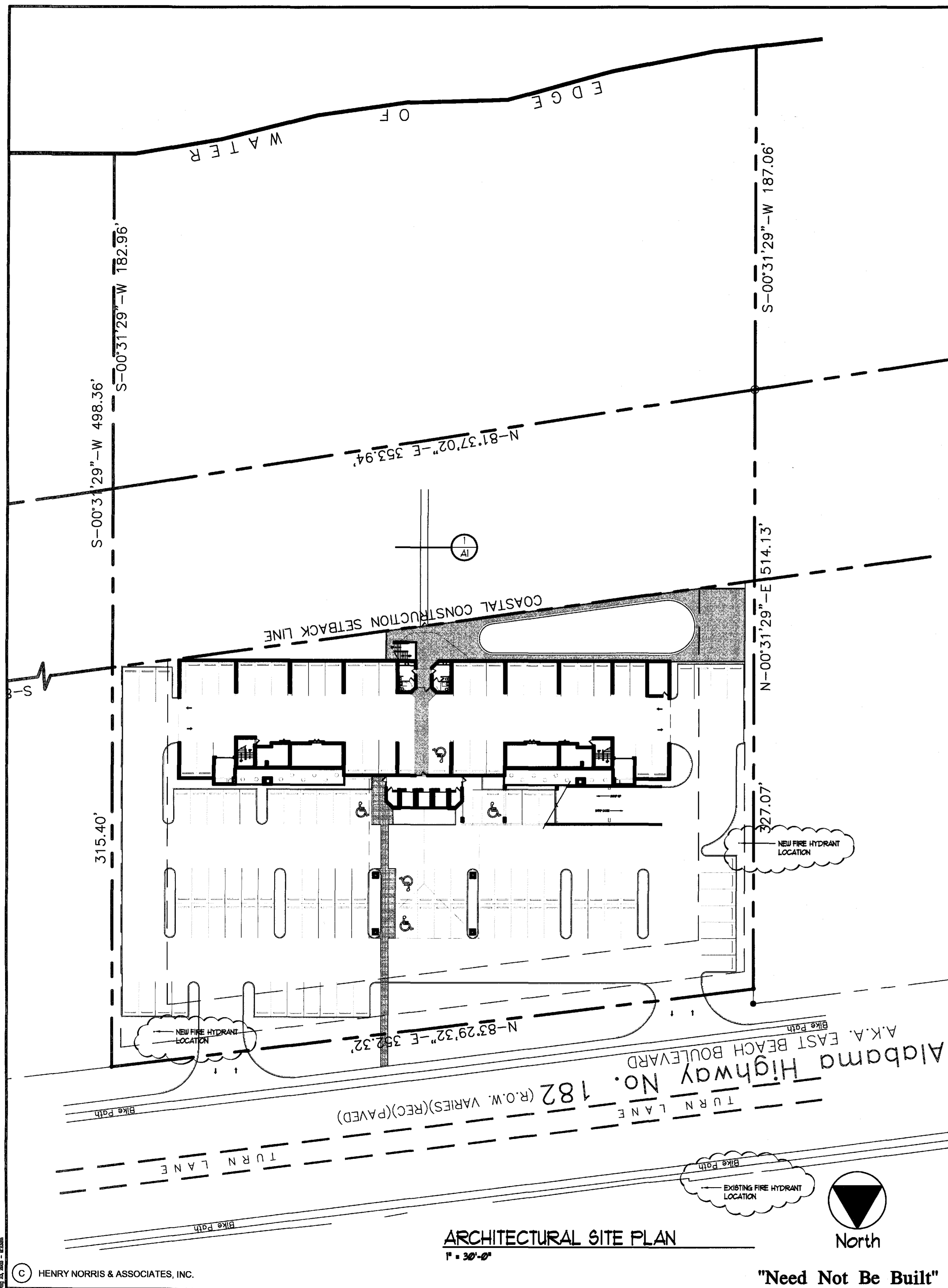
JOB NO.: 2004-08
CAD: kbc
CHECKED: HNN
DATE: 03/14/06
REVISIONS:

Garden Wall Sign Lighting Data

SHEET

LA04

OF xxx



1 DUNE WALKOVER DETAIL
3/16" = 1'-0"

Property Zoned

BTL Zoning - 3.44 Acres

Building Height

19 Stories (143 Unit Condominium)
 220'-0" Building Height Allowed based on
 45° Angle from 120'-0" ROW
 217'-0" Building Height Provided

Units

One Bedrooms Units = 0 Total
 Two Bedrooms Units = 32 Total
 Three Bedrooms Units = 108 Total
 Four Bedrooms Units = 2 Total
 Commercial Unit = 1 Total
 Total Units Provided = 143 Units

Parking

275 Parking spaces Required
 127 Parking spaces Provided @ North Property
 161 Parking spaces Provided @ South Property
 Total Parking Spaces Provided = 288 spaces

0 One Bedrooms @ 1.6/unit	=	0 spaces
32 Two Bedrooms @ 1.6/unit	=	51 spaces
108 Three Bedrooms @ 2.0/unit	=	216 spaces
2 Four Bedrooms @ 2.0/unit	=	4 spaces
1 Commercial Unit @ 2.0/unit	=	4 spaces

Total Parking Spaces Required = 275 spaces

ARCHITECTURAL SITE PLAN
1" = 30'-0"



"Need Not Be Built"



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

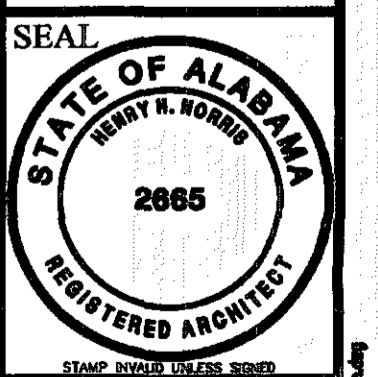
30 N. PALAFOX
PENSACOLA, FLORIDA 32501

(850) 432-6011
FAX 435-9001

Architectural Site Plan

San Carlos Condominium
Gulf Shores, Alabama

JOB NO.: 200301
 CAD: Rlan
 CHECKED: HN
 DATE: 5/21/04
 REVISIONS:



SHEET

A1
OF 40



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

30 N. PALAFOX
PENSACOLA,
FLORIDA 32501

(850) 432-6011
FAX 435-9001

Building
Plans

San Carlos Condominium
Gulf Breeze, Alabama

JOB NO.: 200301

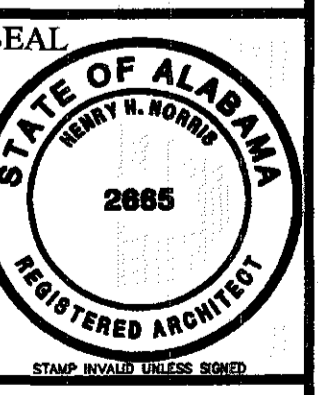
CAD: R1man

CHECKED: HN

DATE: 5/21/04

REVISIONS:

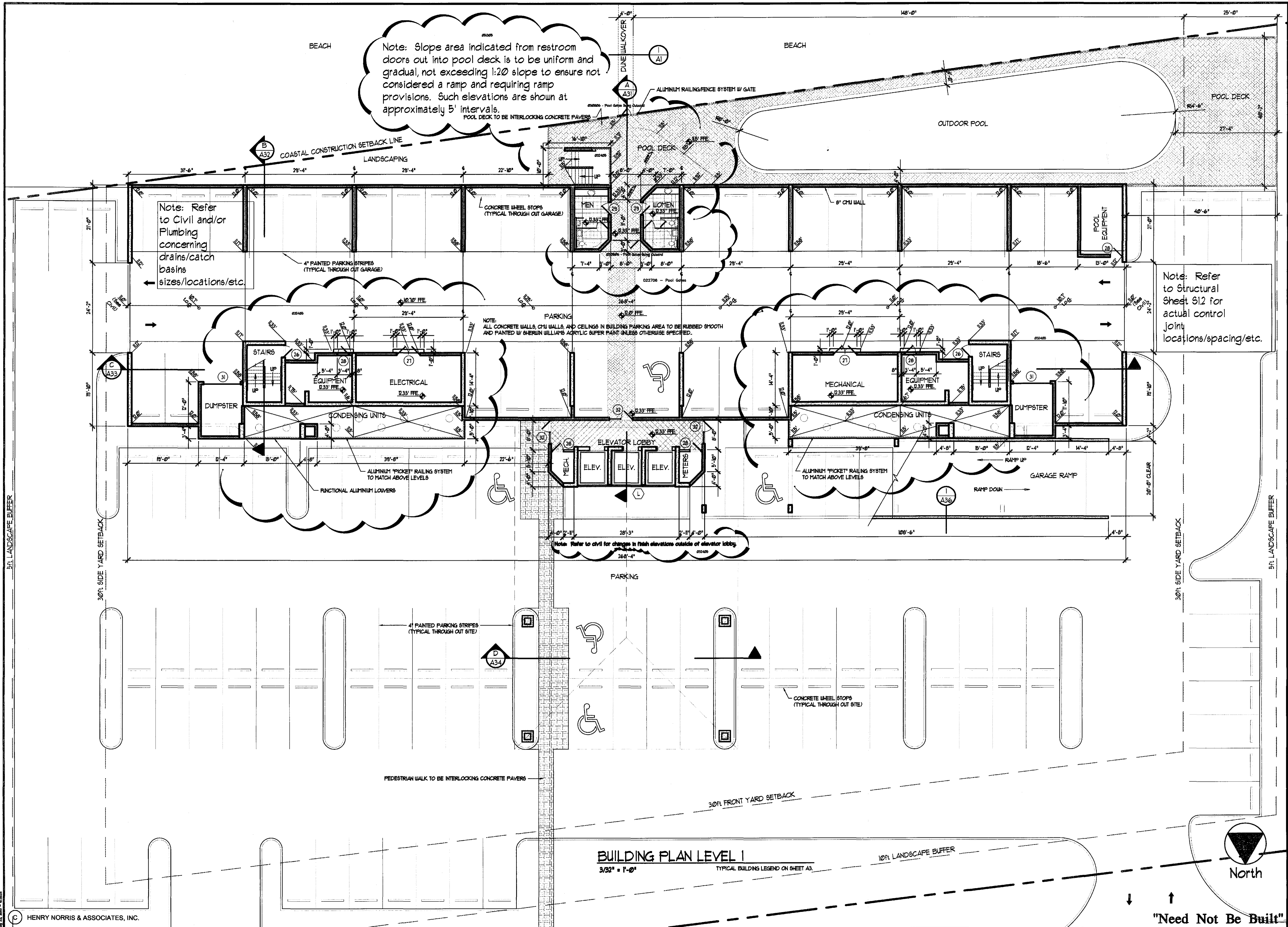
- 027005 - Spot Elevations
- 030405 - Generator Room/Pool No. change
- 027005 - Spot Elevations
- 027100 - Pool Gates
- 026000 - Pool Gates Railing Cleared

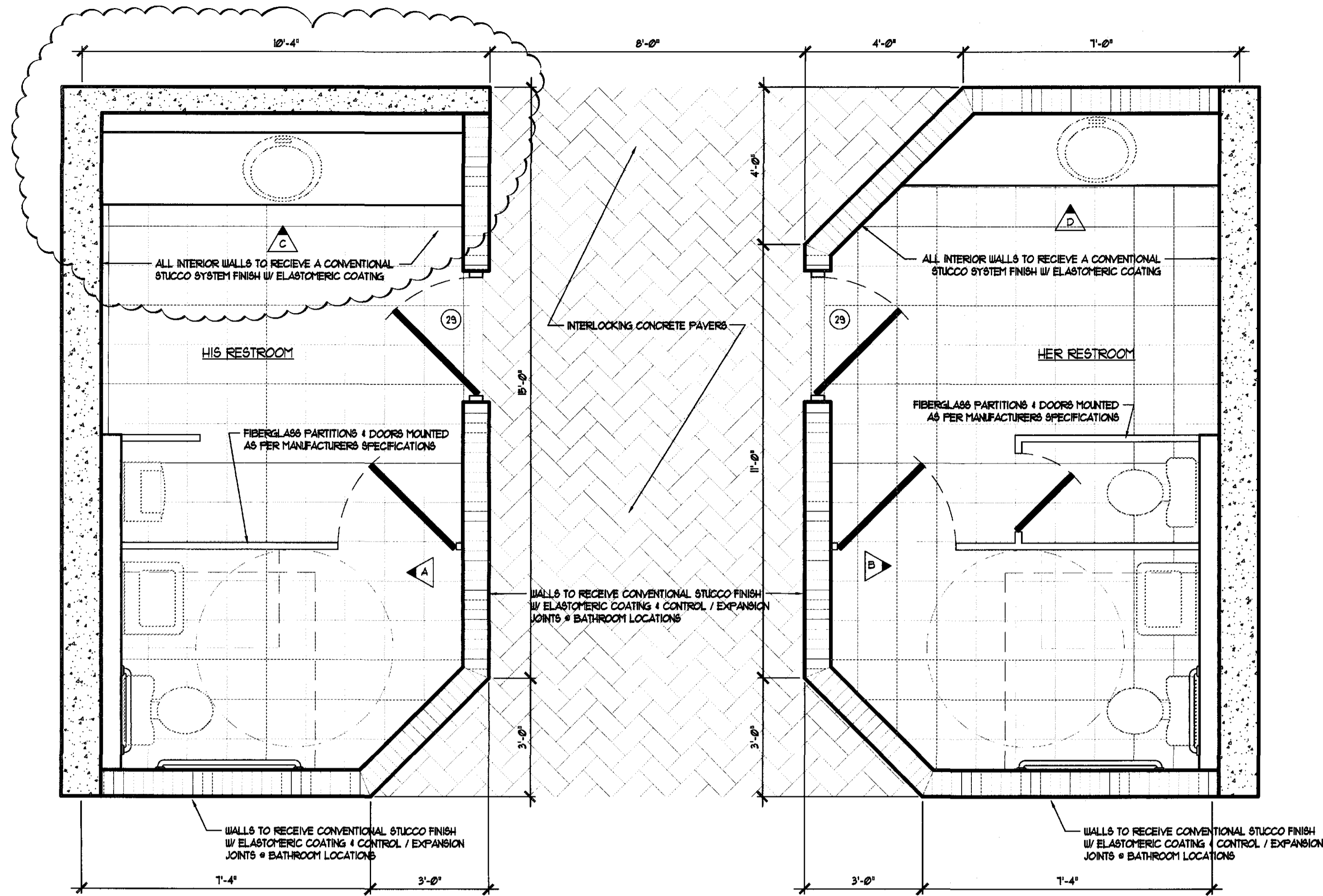


SHEET

A2

OF 40





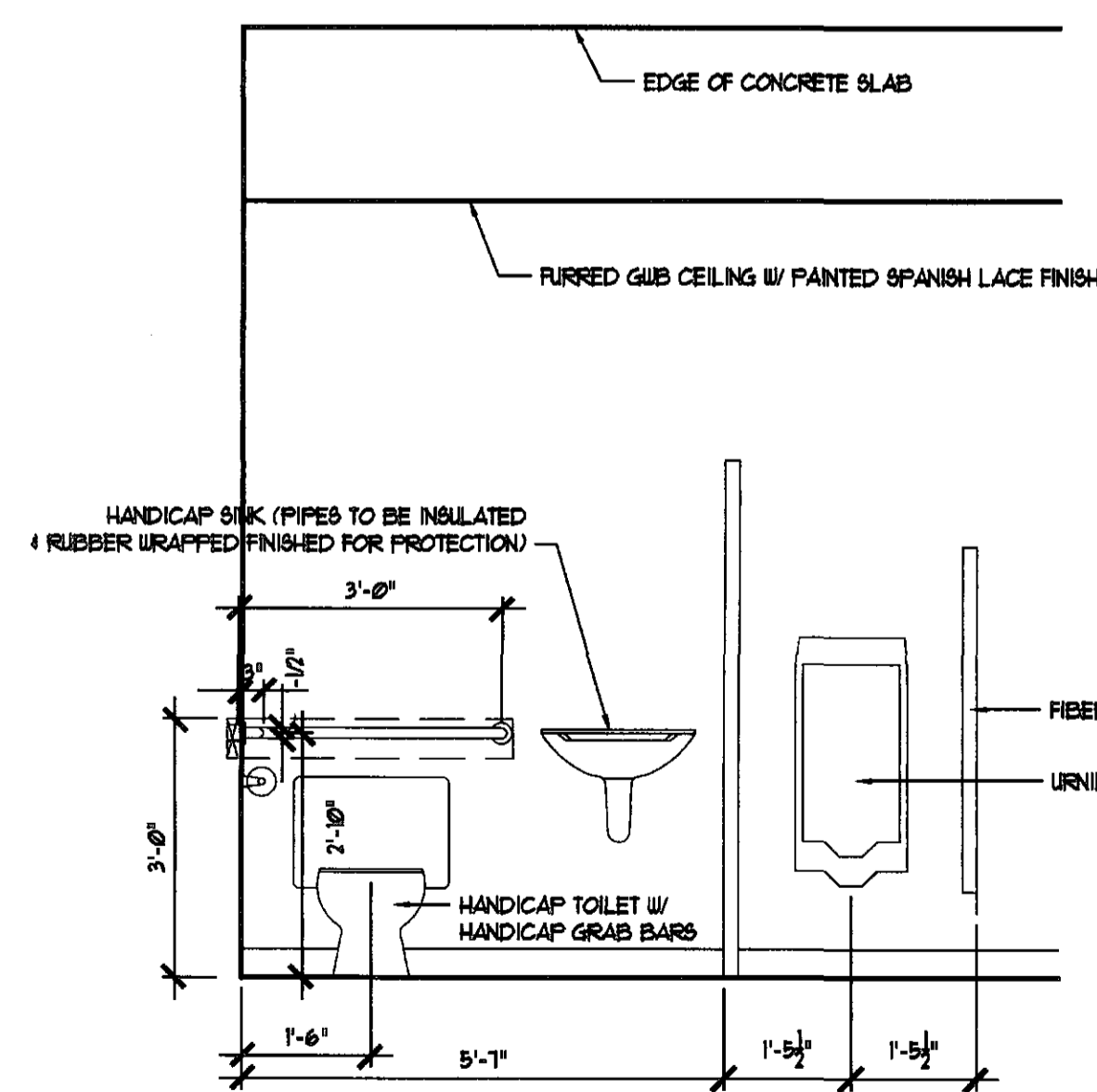
LEGEND

- ① DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
- Ⓐ DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
- ▲ DENOTES INTERIOR ELEVATION SYMBOL
- DENOTES LIMITS OF CEILING FURRDOWNS. MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
- DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23)
- DENOTES CONCRETE SHEAR WALL. FINISH UNIT INTERIOR CONCRETE SHEAR WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- DENOTES CONCRETE WALL. FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- DENOTES CONCRETE MASONRY UNIT WALL. FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- DENOTES UNIT TYPICAL EXTERIOR WALL. 6" GALV STEEL STUDS (GAUGE VARIES PENDING BUILDING LEVEL) W/ 1 LAYER OF 5/8" FIRE RATED EXTERIOR GYPSUM WALL BOARD EXT FACE OF STUD. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED. INTERIOR FACE TO RECEIVE 1 3/8" TYPE "X" FIRE RATED GYPSUM WALL BOARD.
- DENOTES UNIT TYPICAL INTERIOR WALL. 3 3/8" 20 GA. GALV STEEL STUDS @ 16"OC W/ 1 LAYER OF 1/2" GYPSUM WALL BOARD EACH FACE OF STUD.

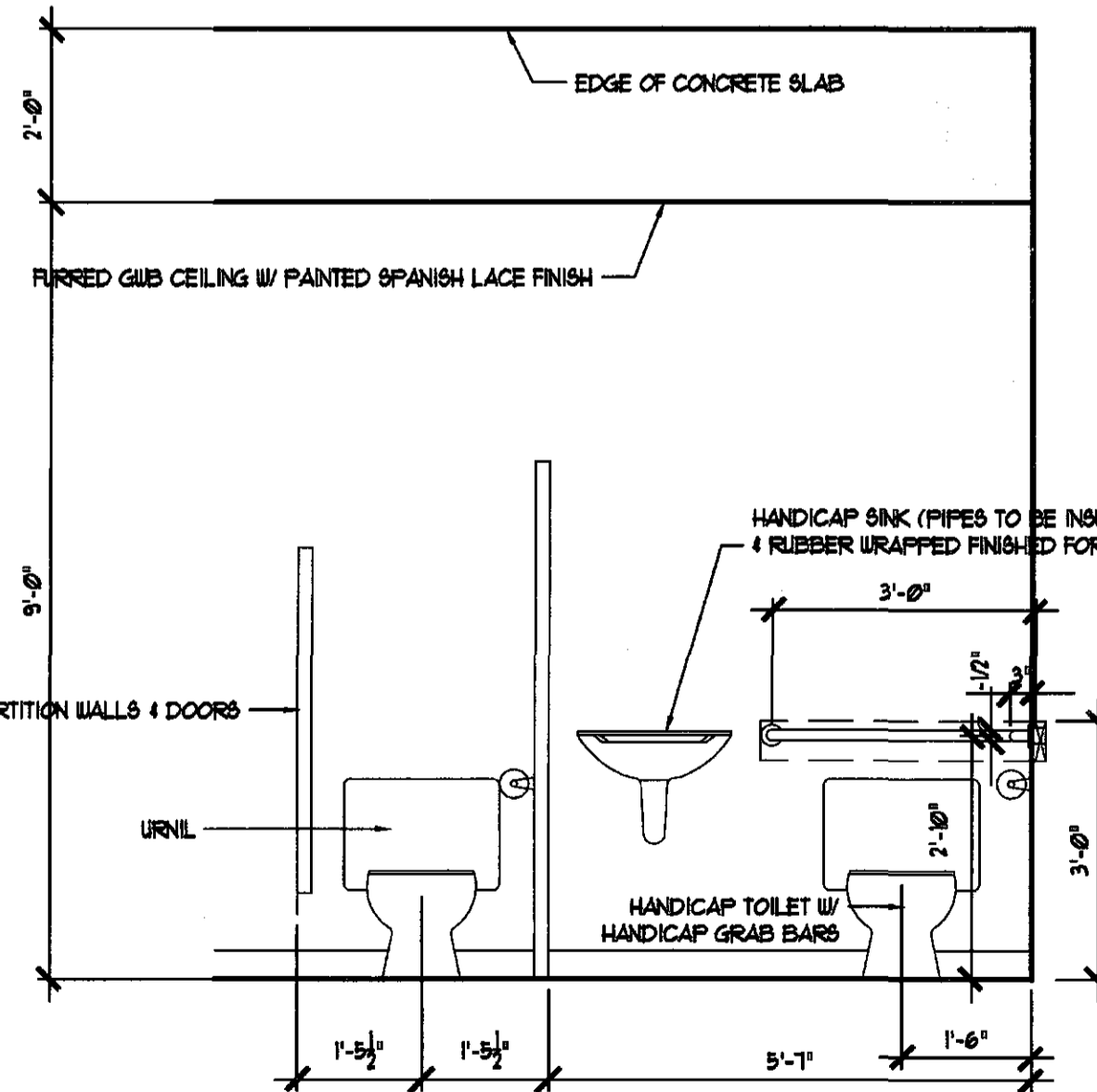
ENLARGED RESTROOMS FOR OUTDOOR POOL

1/2" = 1'-0"

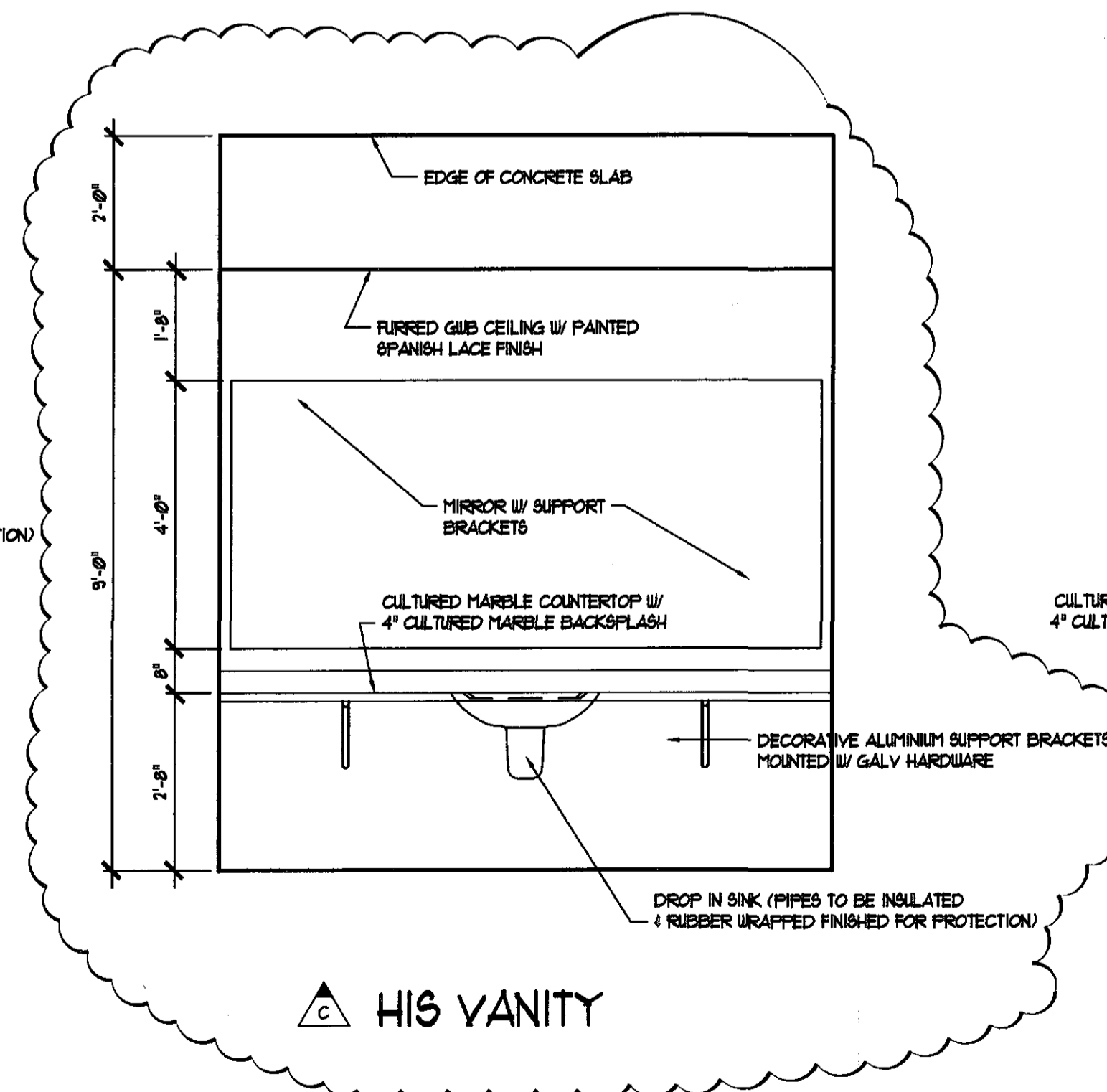
NOTE:
SEE SHEET A6 FOR MORE ACCESSIBILITY DETAILS AND DIMENSIONS.



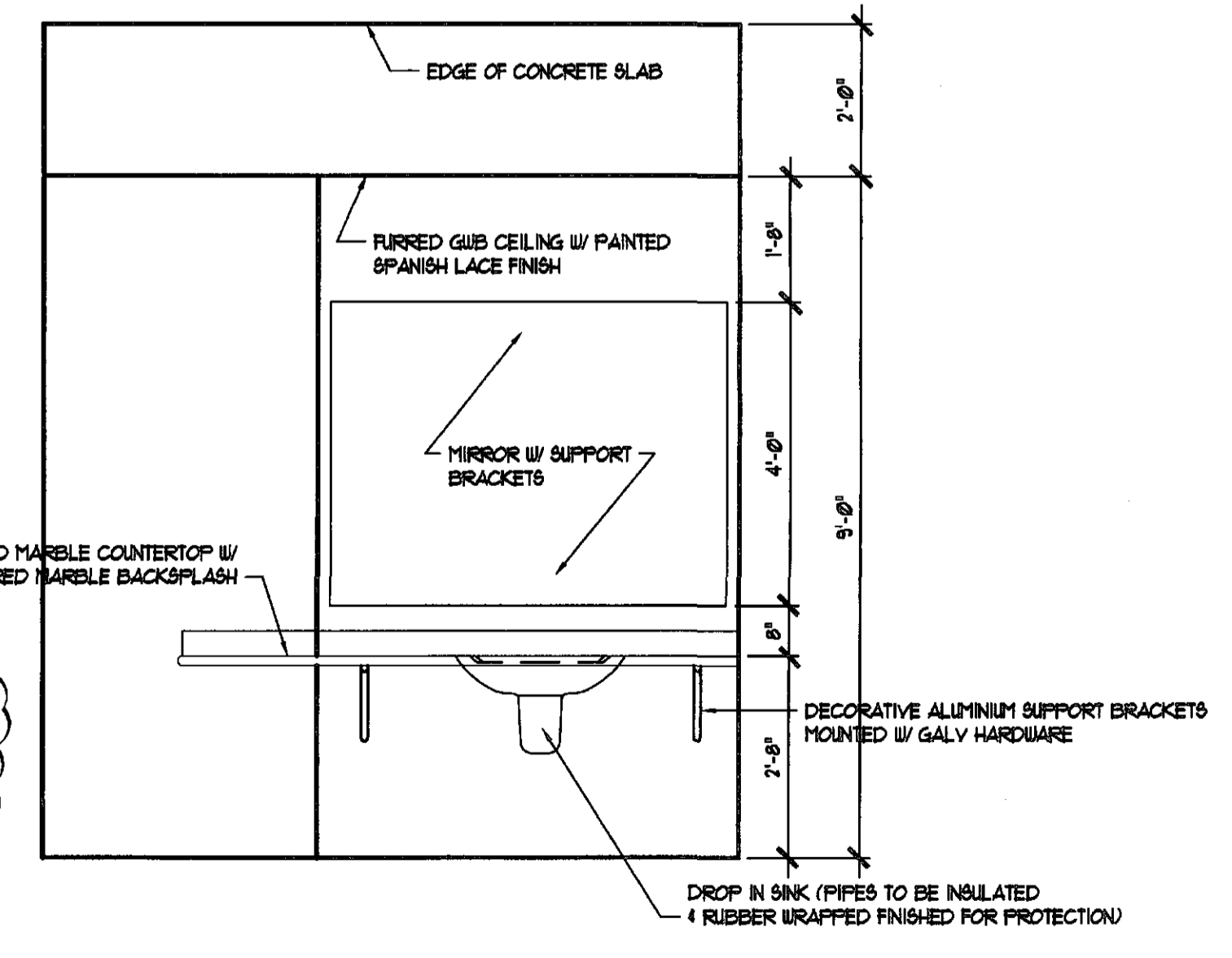
▲ HIS RESTROOM



▲ HER RESTROOM



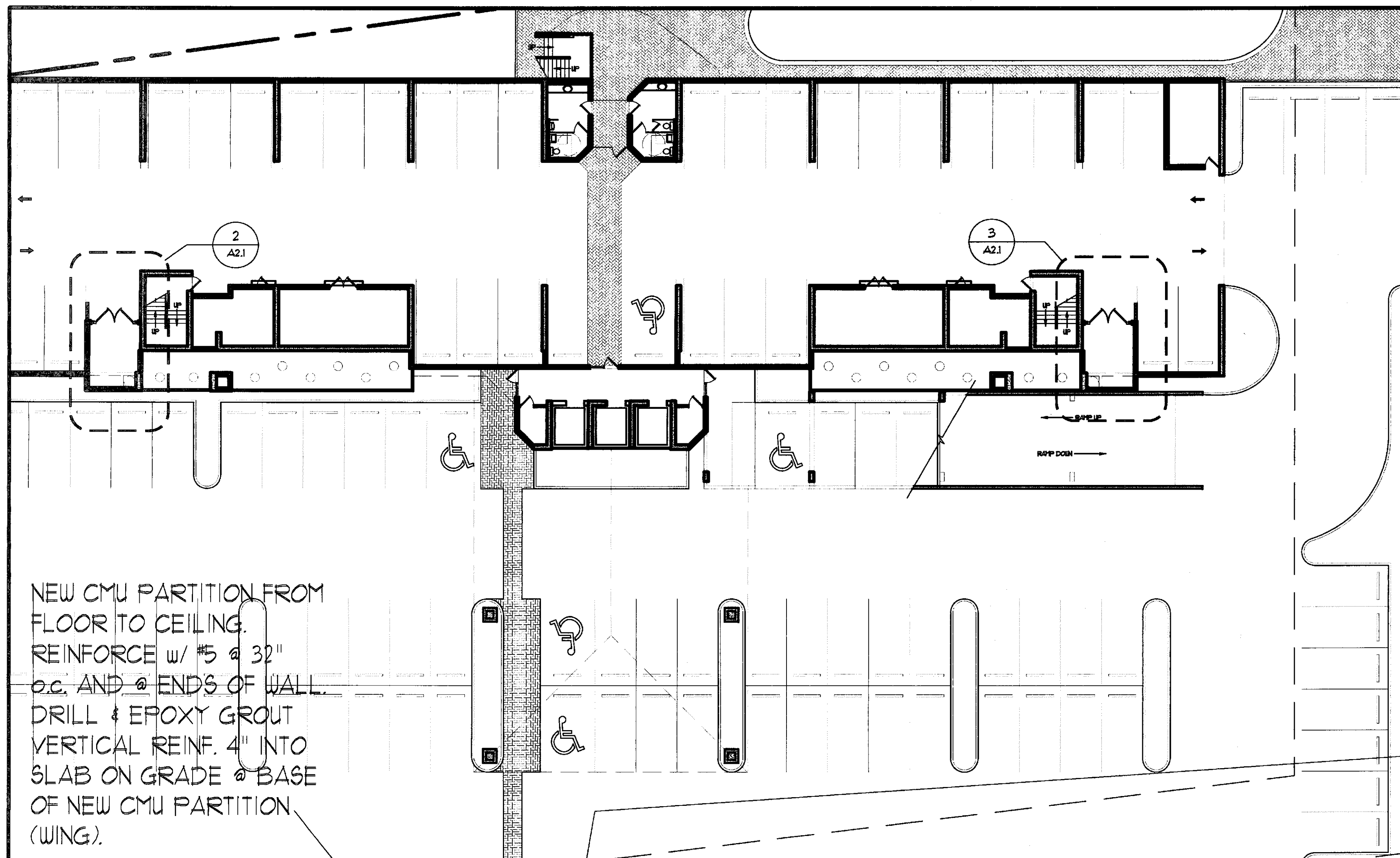
▲ HIS VANITY



▲ HER VANITY

INTERIOR ELEVATIONS @ OUTDOOR POOL RESTROOM

1/2" = 1'-0"



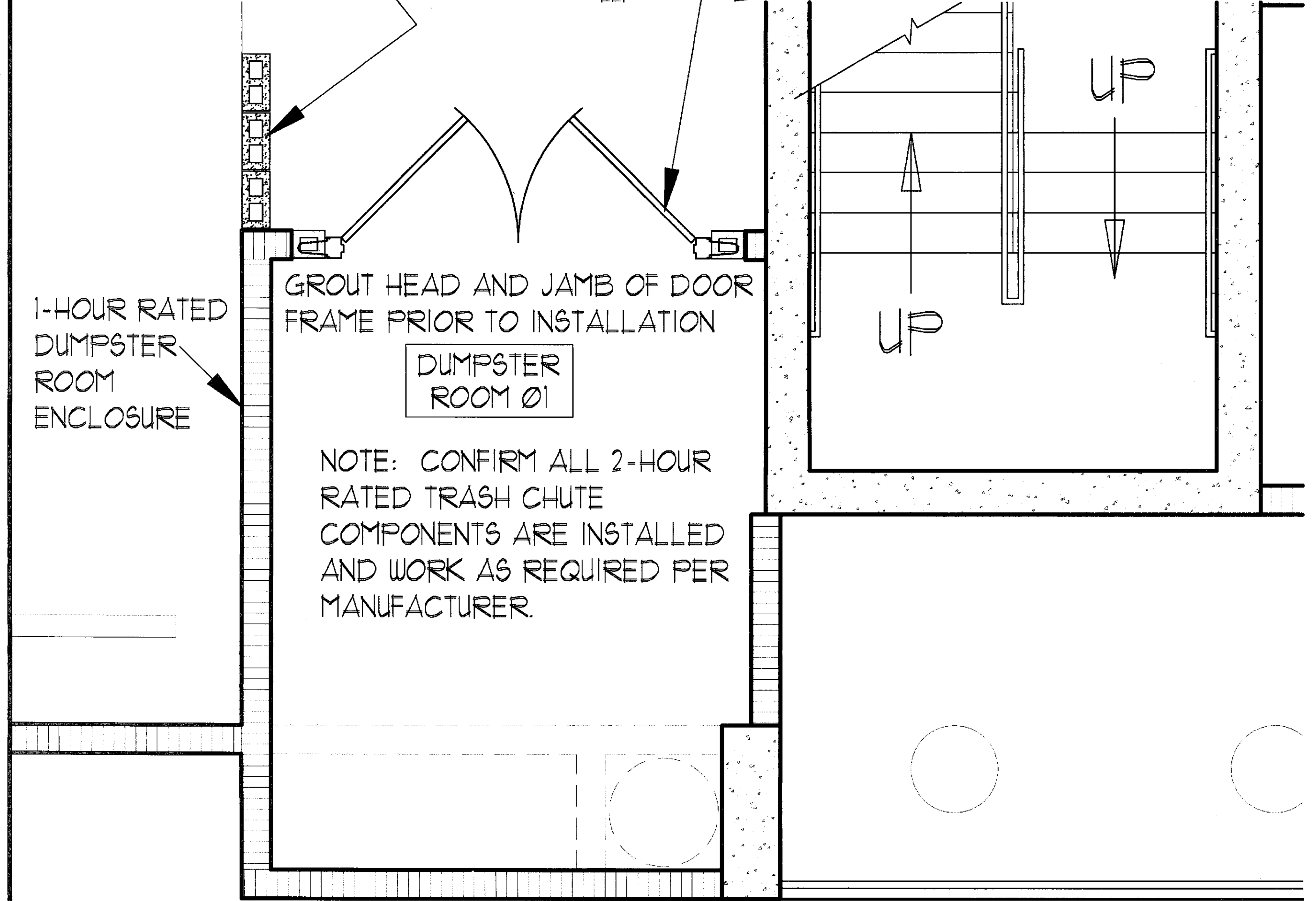
1 GROUND LEVEL FLOOR PLAN

1/16" = 1' - 0"

NOTE: SEE ATTACHED 8.5 X 11 LINTEL AND MASONRY ANCHORAGE DRAWING FROM JOE DEREUIL ASSOCIATES, LLC DATED 011807.

- 01.) REMOVE EXISTING OVERHEAD DOOR AND FRAME.
- 02.) FURNISH/INSTALL MASONRY LINTEL, JAMB MASONRY AND ADDITIONAL CMU PARTITION PER STRUCTURAL DRAWINGS.
- 03.) FURNISH/INSTALL NEW 45 MINUTE FIRE RATED PR4'-0" X 7'-0" CECO MEDALLION FIRE DOOR/FRAME ASSEMBLY (OR APPROVED EQUAL).
- 04.) FURNISH/INSTALL 2.5 PAIR PER DOOR LEAF EXTRA HEAVY DUTY HINGES.
- 05.) FURNISH/INSTALL EXTRA HEAVY DUTY DOOR CLOSURES. FURNISH/INSTALL FUSIBLE LINK HOLD OPEN DEVICE ON DOORS.
- 06.) FURNISH/INSTALL LEVER TYPE HARDWARE EACH SIDE OF DOORS FOR BOTH ACCESS AND EXITING.
- 07.) CAULK & PAINT DOORS, FRAMES AND ADJACENT NEW CONSTRUCTION MATERIALS TO MATCH EXISTING SURROUNDING FINISHES.

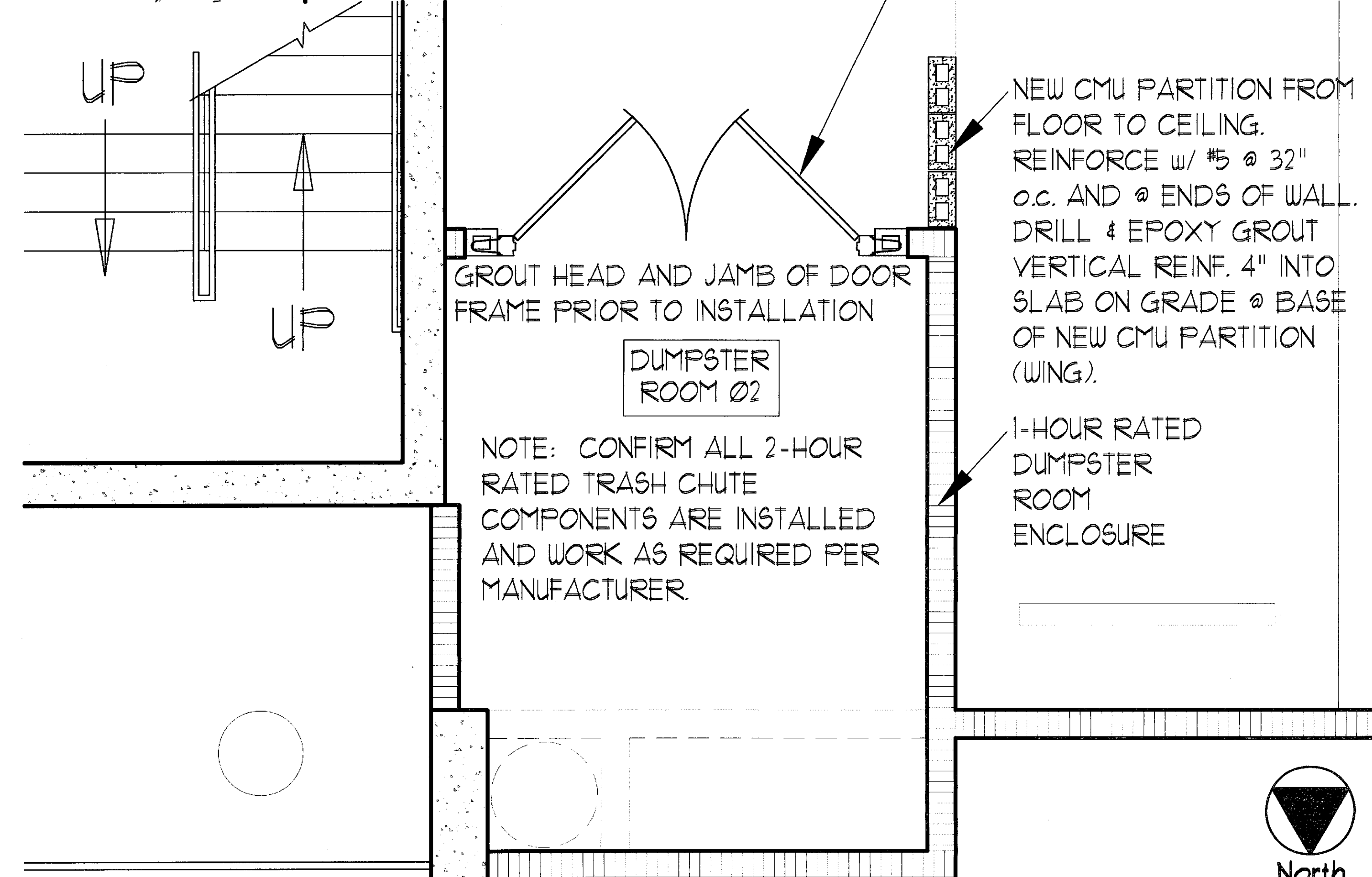
NEW CMU PARTITION FROM FLOOR TO CEILING. REINFORCE w/ #5 @ 32" o.c. AND @ ENDS OF WALL. DRILL & EPOXY GROUT VERTICAL REINF. 4" INTO SLAB ON GRADE @ BASE OF NEW CMU PARTITION (WING).



2 WEST END DUMPSTER ROOM 01 PLAN

1/4" = 1' - 0"

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3 EAST END DUMPSTER ROOM 02 PLAN

1/4" = 1' - 0"

"Need Not Be Built"



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ARCHITECTURE & ENVIRONMENTAL DESIGN

30 N. PALAFOX PENSACOLA, FLORIDA 32501

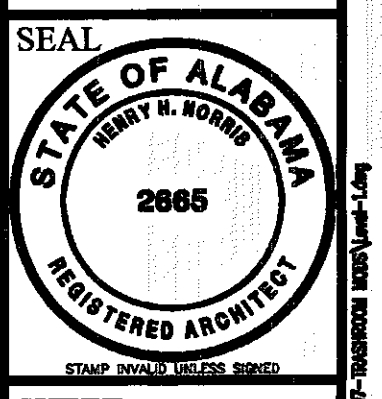
(850) 432-6011 FAX 435-9001

Building Plans

San Carlos Condominium

Gulf Breeze, Alabama

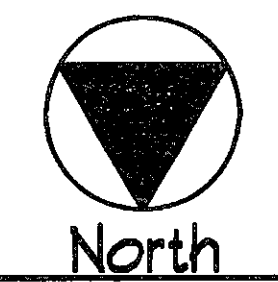
JOB NO.: 200301
 CAD: KBC
 CHECKED: HN
 DATE: 011807
 REVISIONS:



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HENRY
NORRIS &
ASSOC., INC.

ARCHITECTURE &
ENVIRONMENTAL
DESIGN

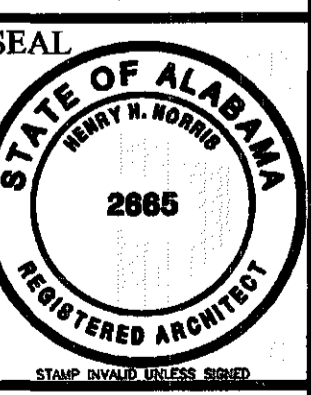
30 N. PALAFOX
PENSACOLA,
FLORIDA 32501

(850) 432-6011
FAX 435-9001

Building
Plans

San Carlos Condominium
Gulf Breeze, Alabama

JOB NO.: 200301
CAD: RMan
CHECKED: HN
DATE: 5/21/04
REVISIONS:



SHEET

A3

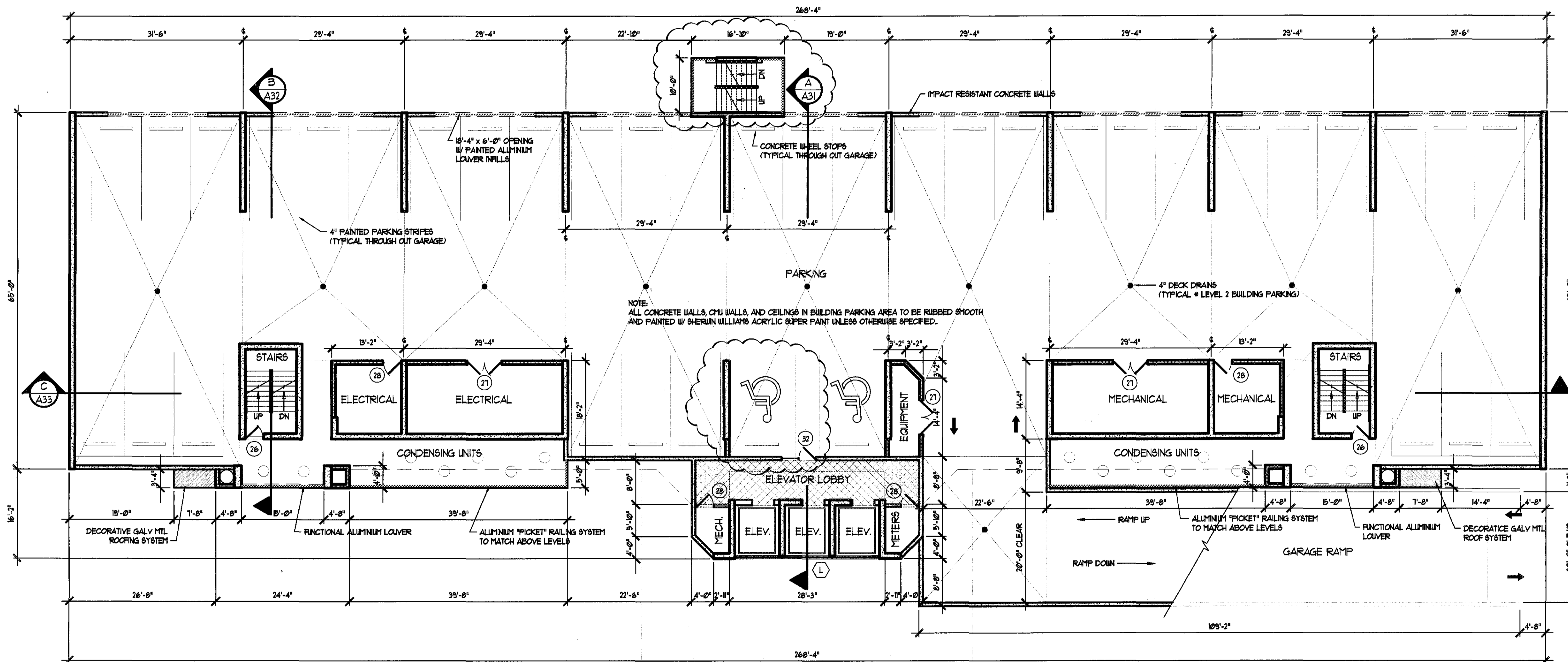
OF 40

LEGEND

- DENOTES CONCRETE SHEAR WALL.
FINISH UNIT INTERIOR CONCRETE SHEAR WALL $\frac{1}{2}$ " GYPSUM WALL BOARD OVER $1 \frac{1}{2}$ " GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE $\frac{1}{2}$ " CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- DENOTES CONCRETE WALL.
FINISH UNIT INTERIOR CONCRETE WALL $\frac{1}{2}$ " GYPSUM WALL BOARD OVER $1 \frac{1}{2}$ " GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE $\frac{1}{2}$ " CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- DENOTES CONCRETE MASONRY UNIT WALL.
FINISH UNIT INTERIOR CONCRETE WALL $\frac{1}{2}$ " GYPSUM WALL BOARD OVER $1 \frac{1}{2}$ " GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE $\frac{1}{2}$ " CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- DENOTES UNIT TYPICAL EXTERIOR WALL.
6" GALV STEEL STUDS (GAUGE VARIES PENDING BUILDING LEVEL) $\frac{1}{2}$ " LAYER OF $\frac{5}{8}$ " FIRE RATED EXTERIOR GYPSUM WALL BOARD EXT FACE OF STUD. FINISH EXTERIOR SIDE $\frac{1}{2}$ " CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED. INTERIOR FACE TO RECEIVE $1 \frac{1}{2}$ " TYPE "X" FIRE RATED GYPSUM WALL BOARD.
- DENOTES UNIT TYPICAL INTERIOR WALL.
3 $\frac{3}{8}$ " 20 GA. GALV STEEL STUDS @ 16"OC $\frac{1}{2}$ " LAYER OF $\frac{1}{2}$ " GYPSUM WALL BOARD EACH FACE OF STUD.

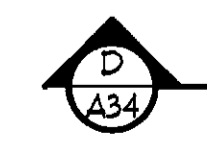
- DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
- DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
- DENOTES INTERIOR ELEVATION SYMBOL
- DENOTES LIMITS OF CEILING FURRINGS.
MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
- DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23)

NOTE:
1. SEE STRUCTURAL ENGINEERING PLANS TO COORDINATE DIMENSIONS OF SHEAR & COLUMN WALL LOCATIONS.
2. EXTERIOR 6" GALV STUDS SHALL BE 14 GA. @ 16"OC FROM BUILDING LEVELS 1 THRU 5.
3. ALL VERTICAL CHASES TO BE 2 HOUR RATED ASSEMBLIES. (1 LAYER OF "SHAFTLINER" GUB EACH SIDE OF 3 $\frac{3}{8}$ " GALV MTL STUDS 16"OC).




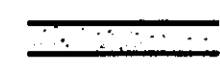

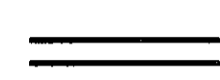

BUILDING PLAN LEVEL 2






3/32" = 1'-0"



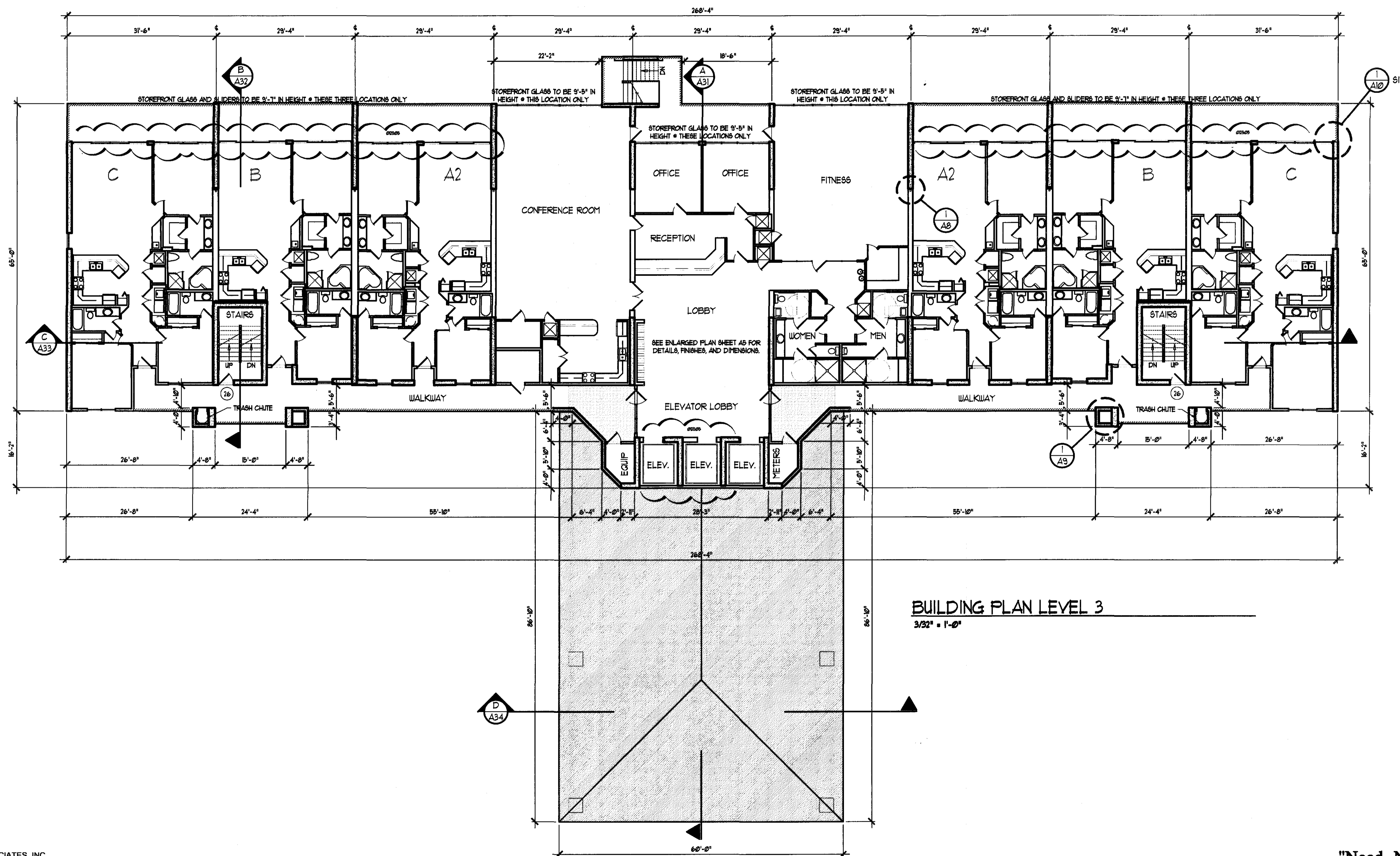
"Need Not Be Built"

LEGEND

-  DENOTES CONCRETE SHEAR WALL.
FINISH UNIT INTERIOR CONCRETE SHEAR WALL w/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24" OC. FINISH EXTERIOR SIDE w/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
-  DENOTES CONCRETE WALL.
FINISH UNIT INTERIOR CONCRETE WALL w/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24" OC. FINISH EXTERIOR SIDE w/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
-  DENOTES CONCRETE MASONRY UNIT WALL.
FINISH UNIT INTERIOR CONCRETE WALL w/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24" OC. FINISH EXTERIOR SIDE w/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
-  DENOTES UNIT TYPICAL EXTERIOR WALL.
6" GALV STEEL STUDS (GAUGE VARIES PENDING BUILDING LEVEL) w/ 1 LAYER OF 3/8" FIRE RATED EXTERIOR GYPSUM WALL BOARD EXT FACE OF STUD. FINISH EXTERIOR SIDE w/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED. INTERIOR FACE TO RECEIVE 1 3/8" TYPE "X" FIRE RATED GYPSUM WALL BOARD.
-  DENOTES UNIT TYPICAL INTERIOR WALL.
3 3/8" 20 GA. GALV STEEL STUDS @ 16" OC w/ 1 LAYER OF 1/2" GYPSUM WALL BOARD EACH FACE OF STUD.

-  DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
-  DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
-  DENOTES INTERIOR ELEVATION SYMBOL
-  DENOTES LIMITS OF CEILING FURRDOWNS.
MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
-  DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23)

NOTE:
 1. SEE STRUCTURAL ENGINEERING PLANS TO COORDINATE DIMENSIONS OF SHEAR & COLUMN WALL LOCATIONS.
 2. EXTERIOR 6" GALV STUDS SHALL BE 14 GA. @ 16" OC FROM BUILDING LEVELS 1 THRU 5.
 3. ALL VERTICAL CHASES TO BE 2 HOUR RATED ASSEMBLIES. (1 LAYER OF "SHAFTLINER" GWP EACH SIDE OF 3 3/8" GALV MTL STUDS @ 16" OC).



BUILDING PLAN LEVEL 3
 3/32" = 1'-0"



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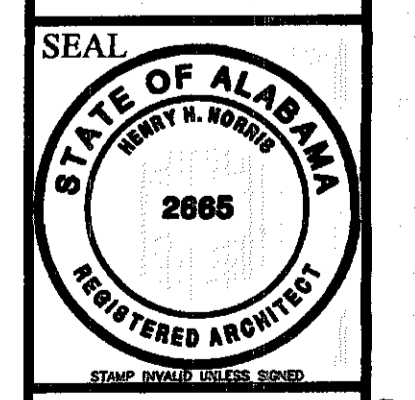
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 FAX 435-9001

Building Plans

San Carlos Condominium
 Gulf Shores, Alabama

JOB NO.: 200301
 CAD: RMan
 CHECKED: HN
 DATE: 5/21/04
 REVISIONS:

020405 - Rev to show TRACO slides and Elev. Structural not.



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 OF 40



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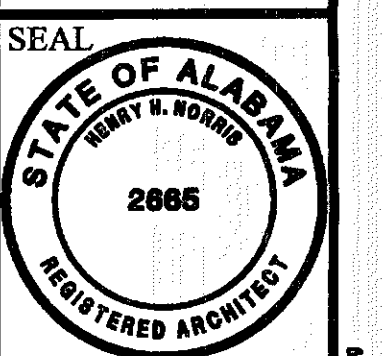
30 N. PALAFOX
PENSACOLA,
FLORIDA 32501

(850) 432-6011
FAX 435-9001

Enlarged
Plans

San Carlos Condominium
Gulf Shores, Alabama

JOB NO.: 200301
CAD: hbc
CHECKED: HN
DATE: 082206
REVISIONS:
modification to commercial
area - 082206

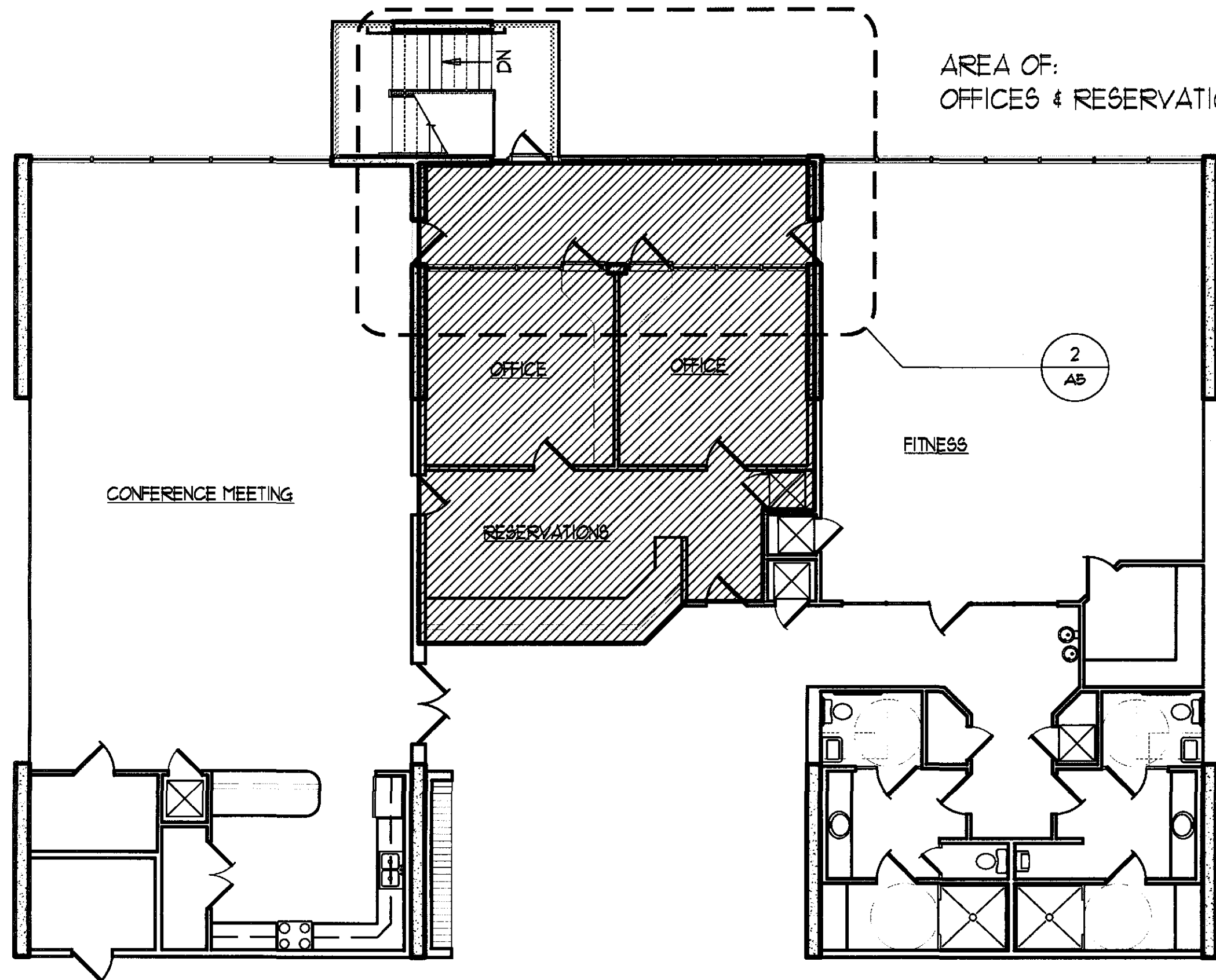


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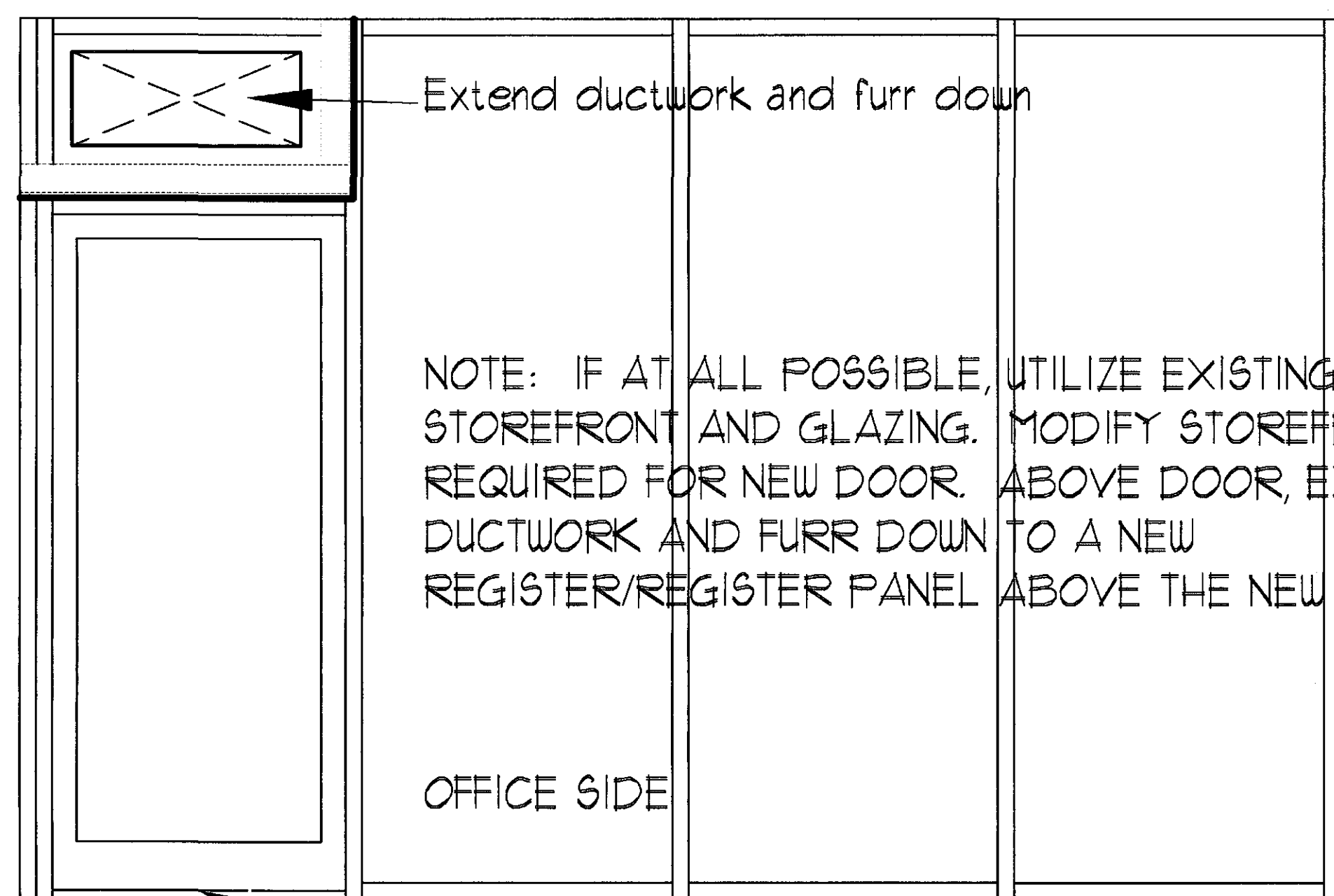
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OF 40

AREA OF:
OFFICES & RESERVATIONS - 981 SQ FT



1 ENLARGED MAIN LOBBY / FITNESS FLOOR PLAN
1/8" = 1'-0"



NOTE: IF AT ALL POSSIBLE, UTILIZE EXISTING STOREFRONT AND GLAZING. MODIFY STOREFRONT AS REQUIRED FOR NEW DOOR. ABOVE DOOR, EXTEND HVAC DUCTWORK AND FURR DOWN TO A NEW REGISTER/REGISTER PANEL ABOVE THE NEW DOORS

OFFICE SIDE

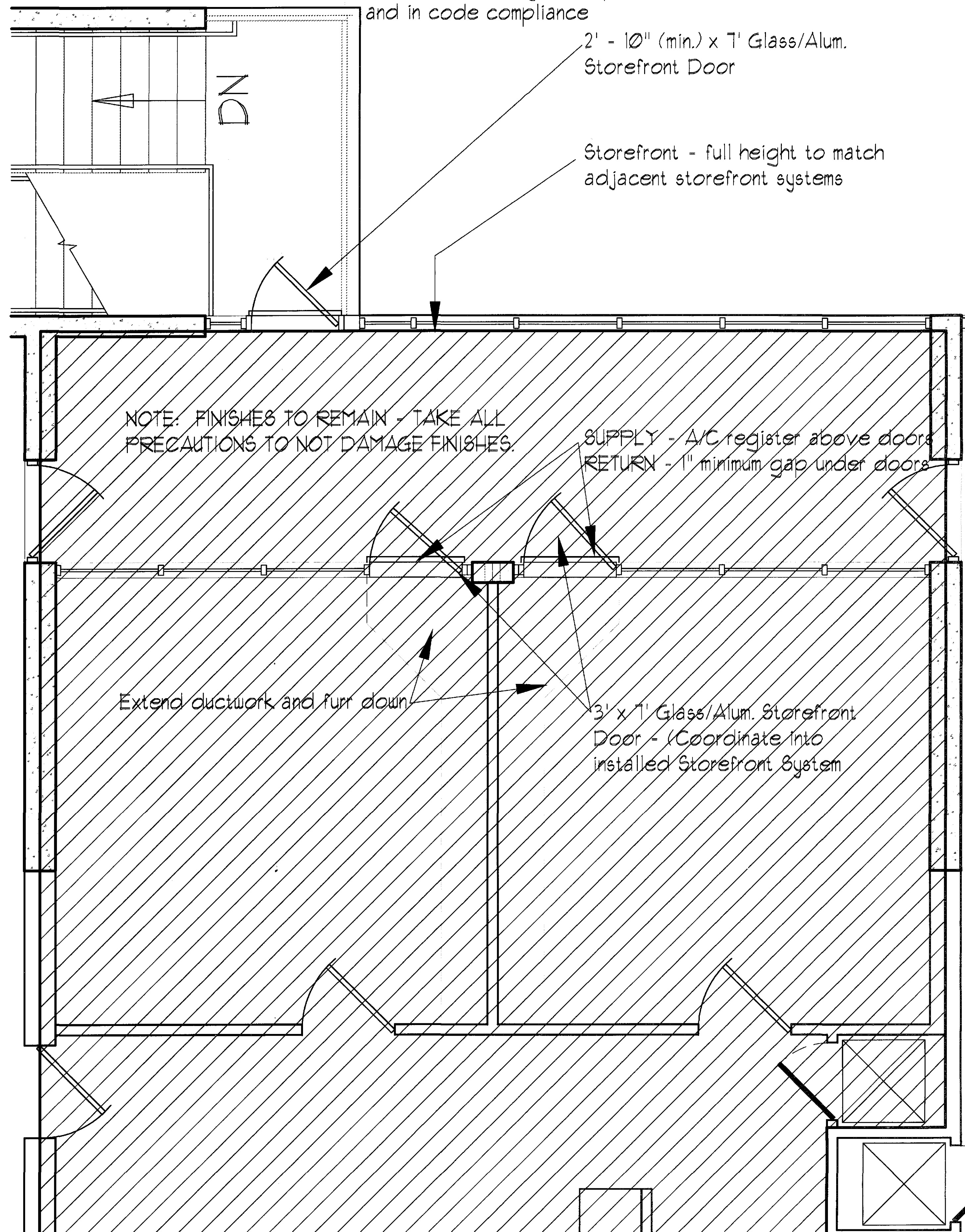
1" MINIMUM GAP UNDER DOOR FOR RETURN AIR FLOW

3 STOREFRONT ELEVATION
3/4" = 1'-0"

Rework handrailing as required and in code compliance

2' - 10" (min.) x 7' Glass/Alum. Storefront Door

Storefront - full height to match adjacent storefront systems



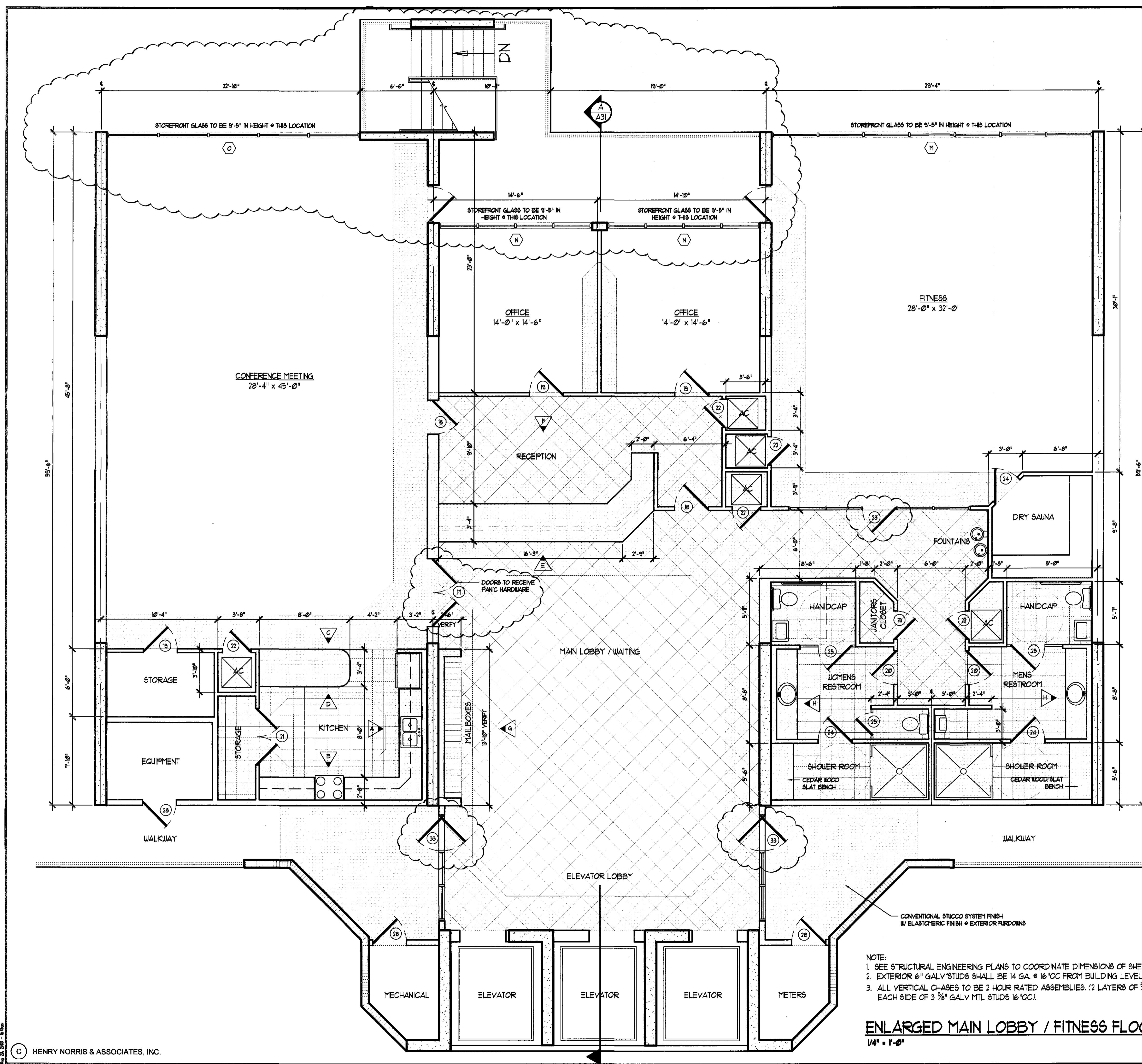
NOTE: FINISHES TO REMAIN - TAKE ALL PRECAUTIONS TO NOT DAMAGE FINISHES.

SUPPLY - A/C register above doors
RETURN - 1" minimum gap under doors

Extend ductwork and furr down

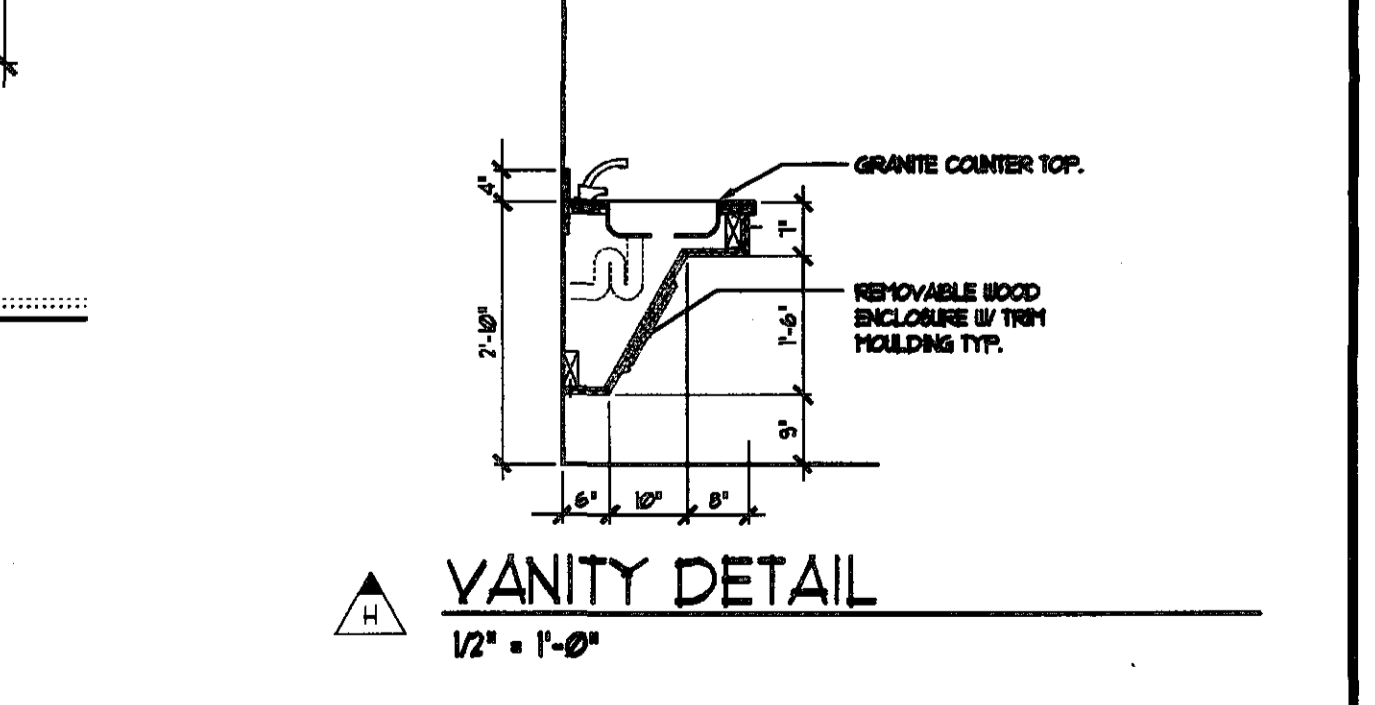
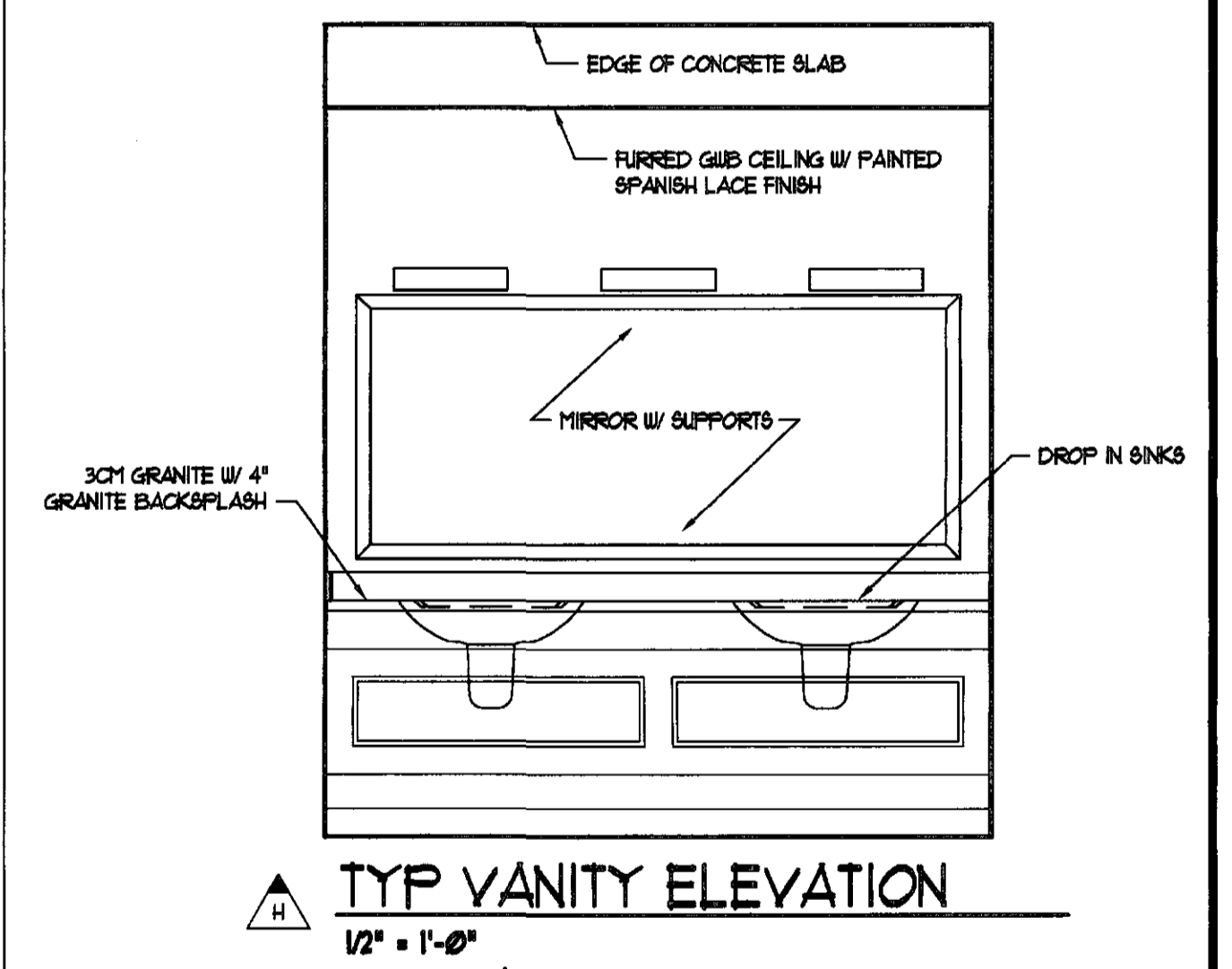
3' x 7' Glass/Alum. Storefront Door - (Coordinate into installed Storefront System)

2 ENLARGED OFFICE AREA PLAN
1/2" = 1'-0"



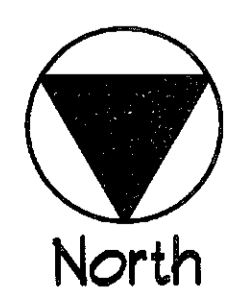
LEGEND

- (1) DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
- (A) DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
- (A) DENOTES INTERIOR ELEVATION SYMBOL
- [Pattern] DENOTES LIMITS OF CEILING FURROLDINS. MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
- [Pattern] DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23)
- [Pattern] DENOTES CONCRETE SHEAR WALL. FINISH UNIT INTERIOR CONCRETE SHEAR WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Pattern] DENOTES CONCRETE WALL. FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Pattern] DENOTES CONCRETE MASONRY UNIT WALL. FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Pattern] DENOTES UNIT TYPICAL EXTERIOR WALL. 6" GALV STEEL STUDS (GAUGE VARIES PENDING BUILDING LEVEL) W/ 1 LAYER OF 3/8" FIRE RATED EXTERIOR GYPSUM WALL BOARD EXT FACE OF STUD. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED. INTERIOR FACE TO RECEIVE 1 3/8" TYPE "X" FIRE RATED GYPSUM WALL BOARD.
- [Pattern] DENOTES UNIT TYPICAL INTERIOR WALL. 3 3/8" 2@ GA. GALV STEEL STUDS @ 16"OC W/ 1 LAYER OF 1/2" GYPSUM WALL BOARD EACH FACE OF STUD.



- NOTE:
1. SEE STRUCTURAL ENGINEERING PLANS TO COORDINATE DIMENSIONS OF SHEAR & COLUMN WALL LOCATIONS.
 2. EXTERIOR 6" GALV STUDS SHALL BE 14 GA. @ 16"OC FROM BUILDING LEVELS 1 THRU 5.
 3. ALL VERTICAL CHASES TO BE 2 HOUR RATED ASSEMBLIES. (2 LAYERS OF 3/8" TYPE "X" FIRE RATED GWB EACH SIDE OF 3 3/8" GALV MTL STUDS 16"OC).

ENLARGED MAIN LOBBY / FITNESS FLOOR PLAN
1/4" = 1'-0"



"Need Not Be Built"



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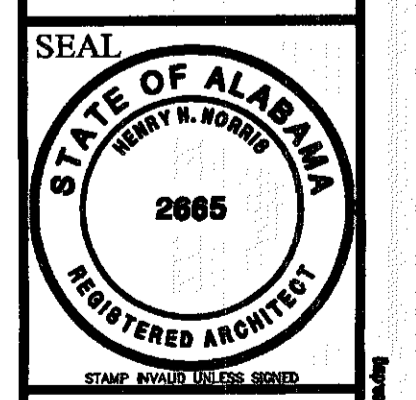
30 N. PALAFOX
PENSACOLA, FLORIDA 32501

(850) 432-6011
FAX 435-9001

Enlarged Plans

San Carlos Condominium
Gulf Shores, Alabama

JOB NO.: 200301
CAD: Rman
CHECKED: HN
DATE: 5/21/04
REVISIONS:



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OF 40



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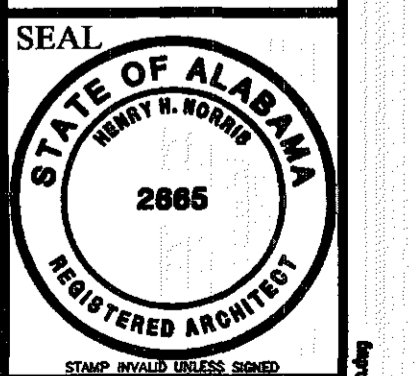
30 N. PALAFOX PENSACOLA, FLORIDA 32501

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Interior Elevations

San Carlos Condominium Gulf Shores, Alabama

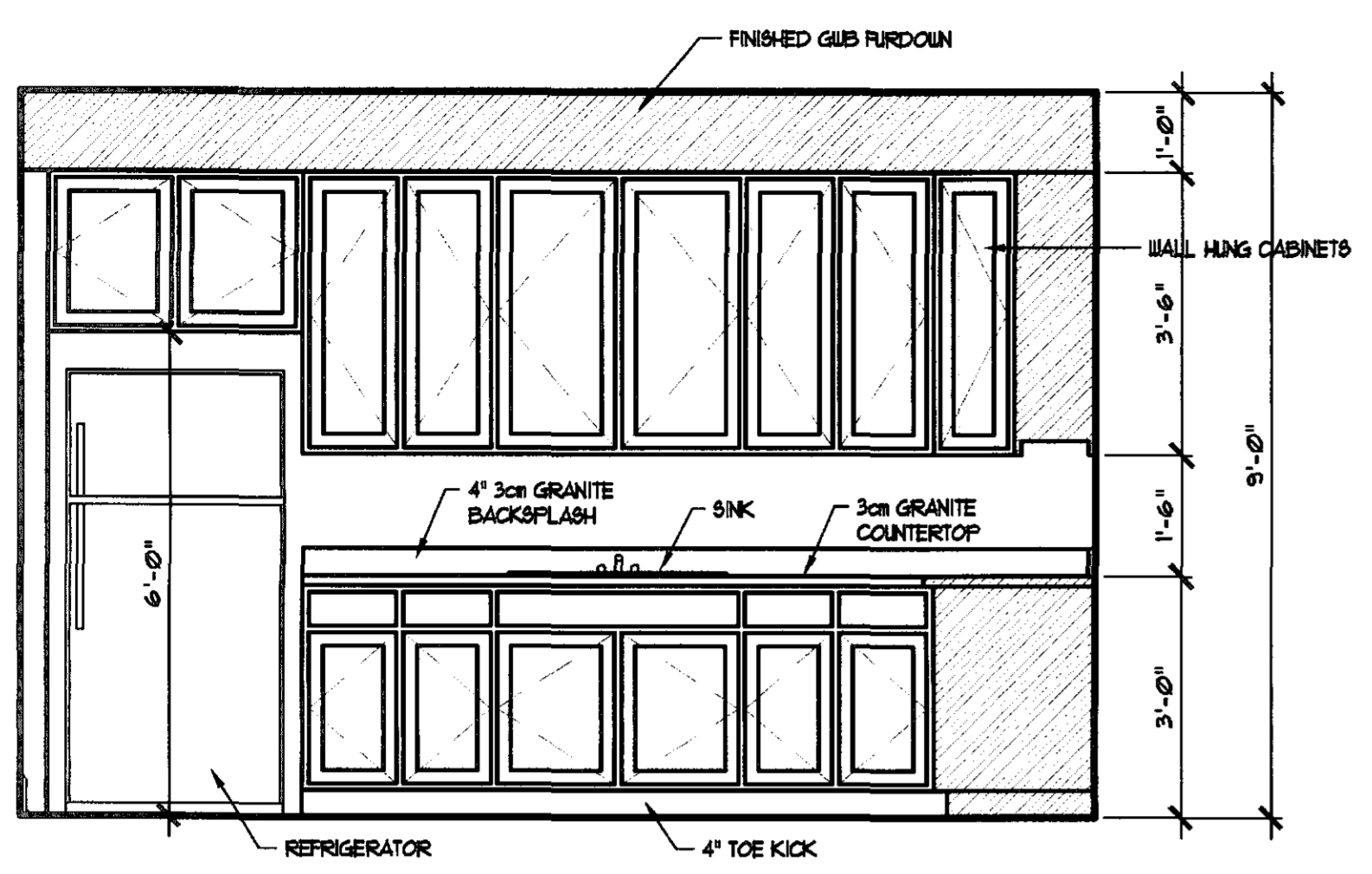
JOB NO.: 200301 CAD: Rlan CHECKED: HN DATE: 5/21/04 REVISIONS:



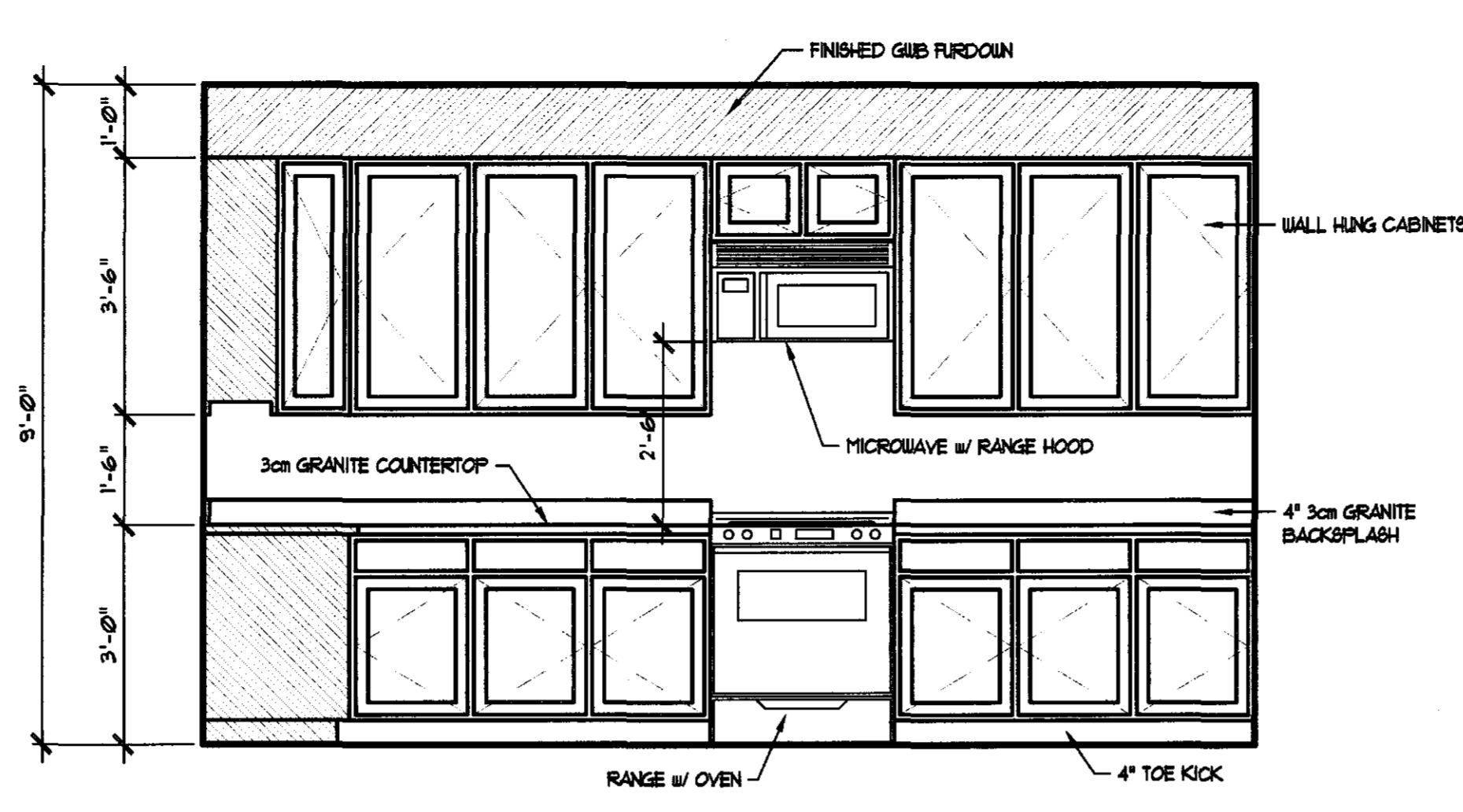
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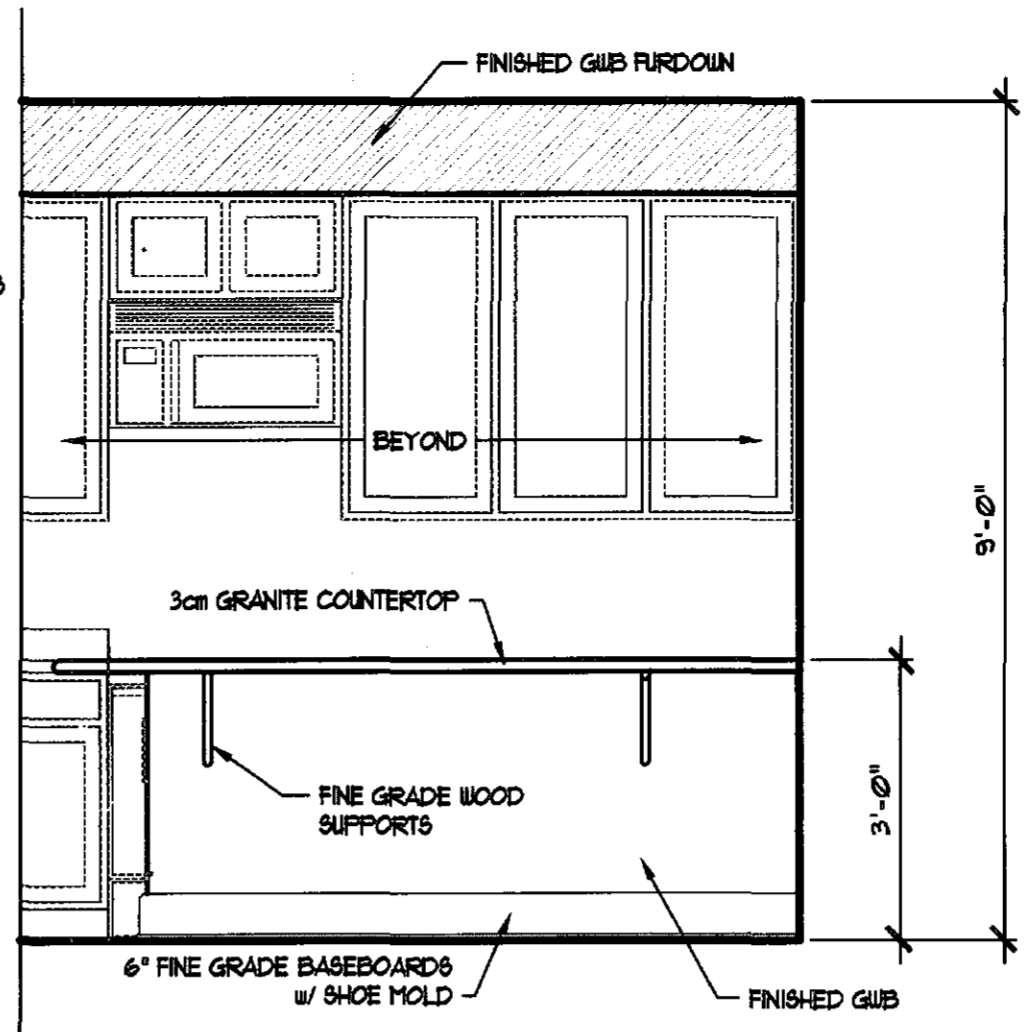
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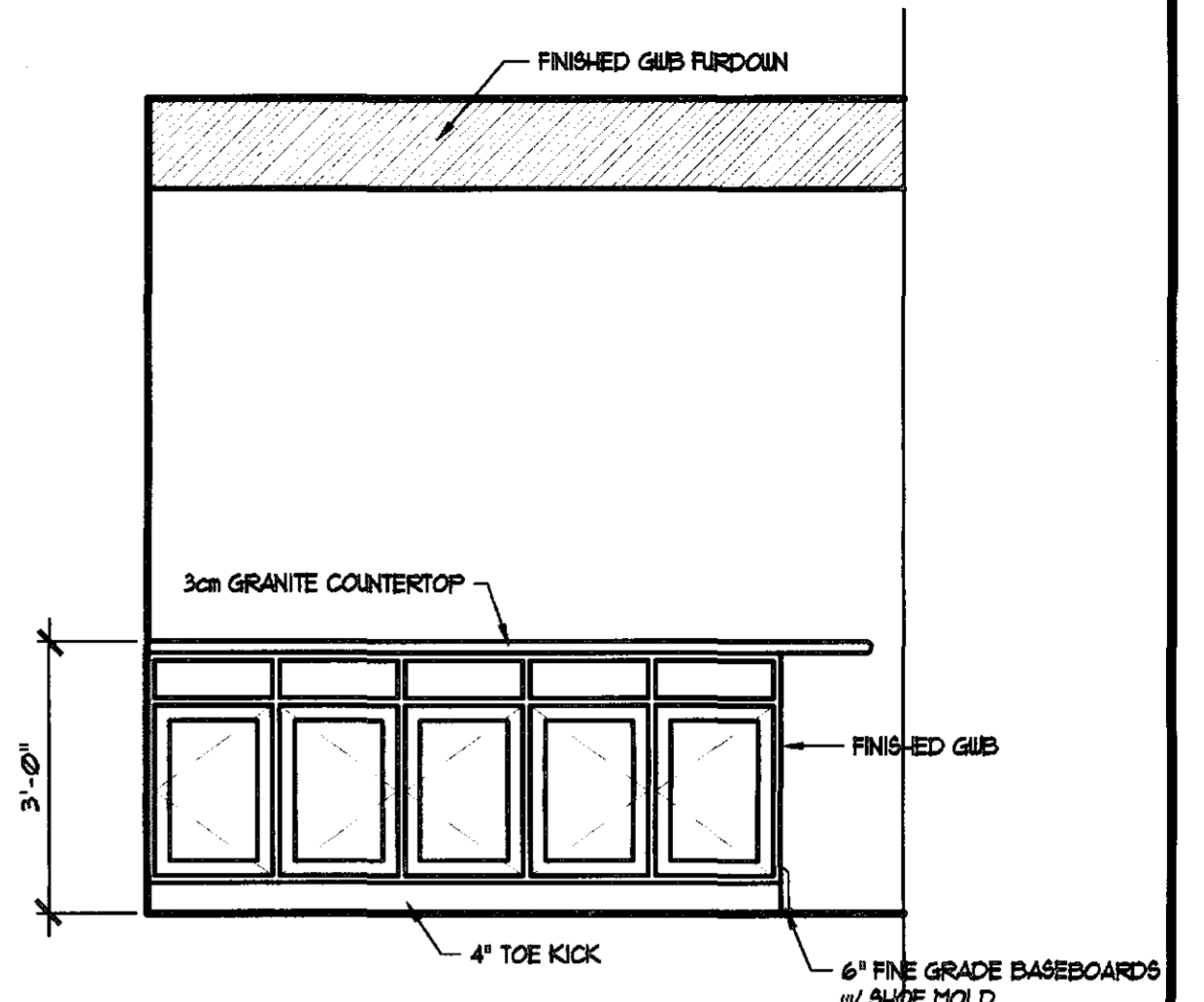
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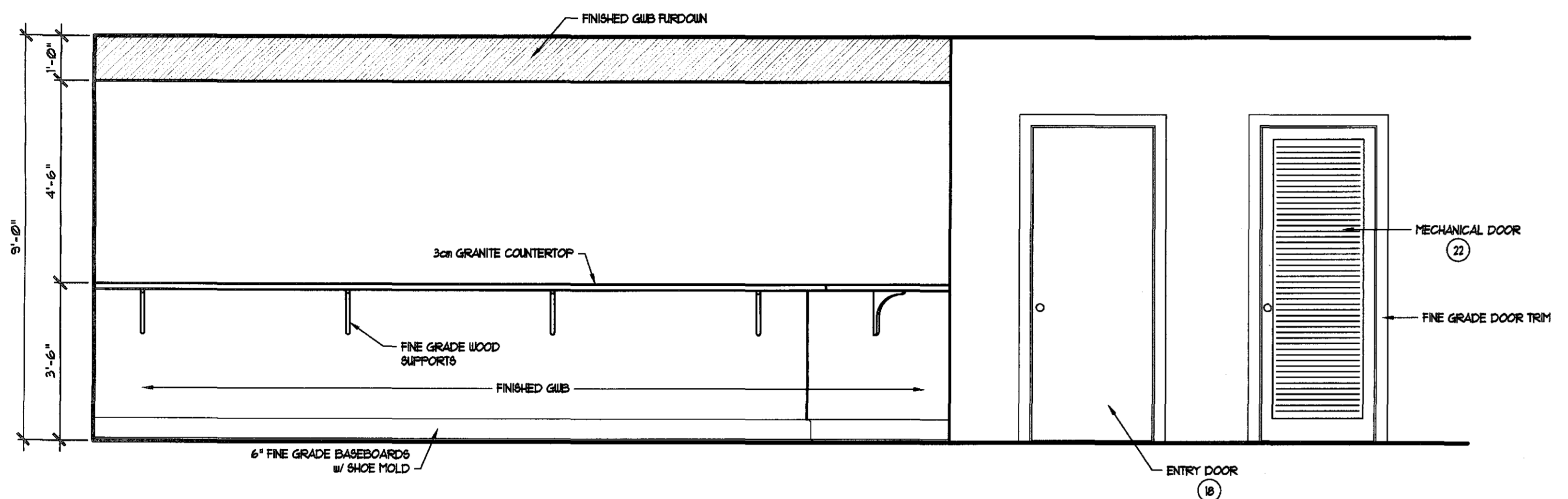
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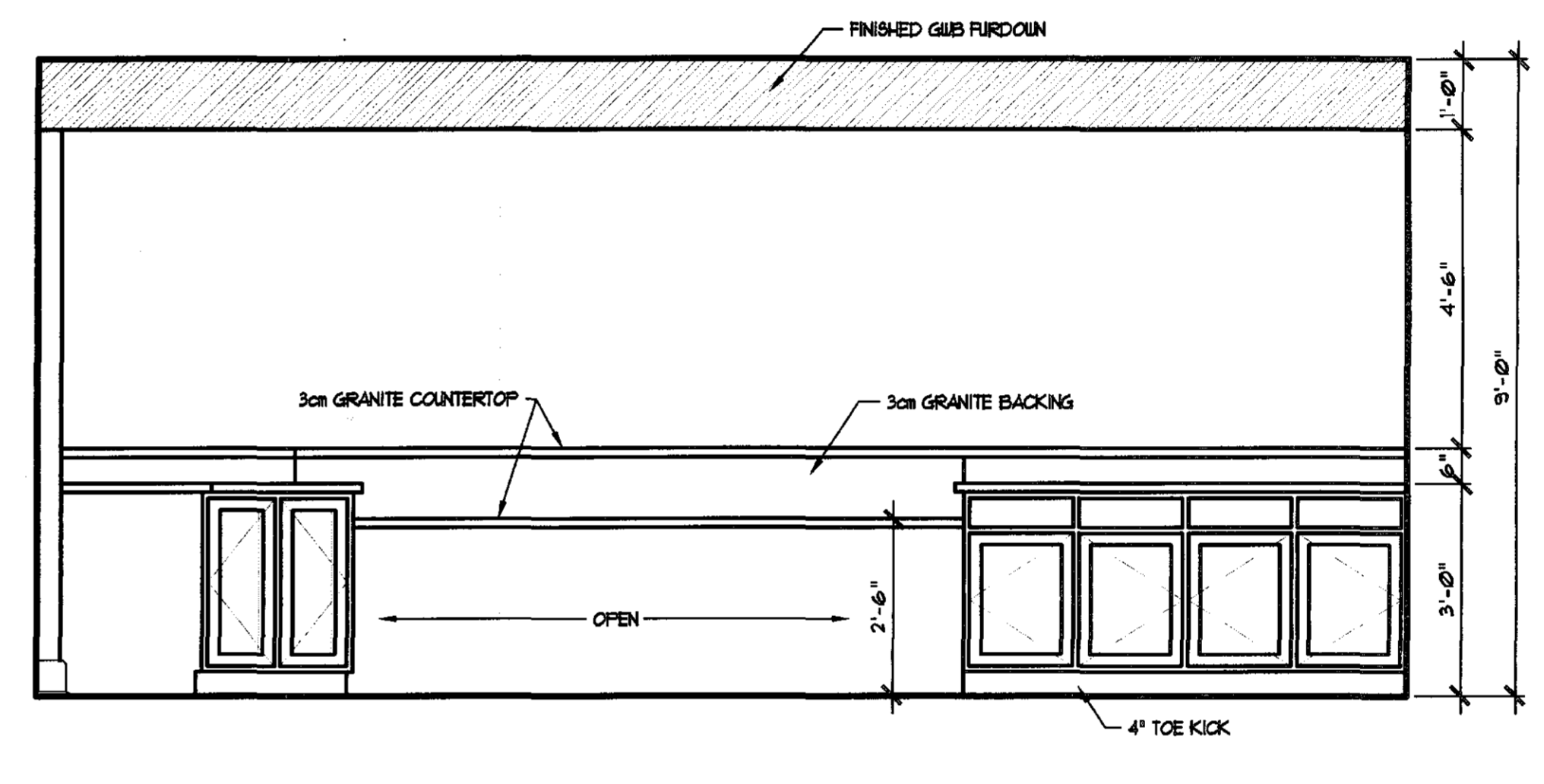
C KITCHEN



D KITCHEN



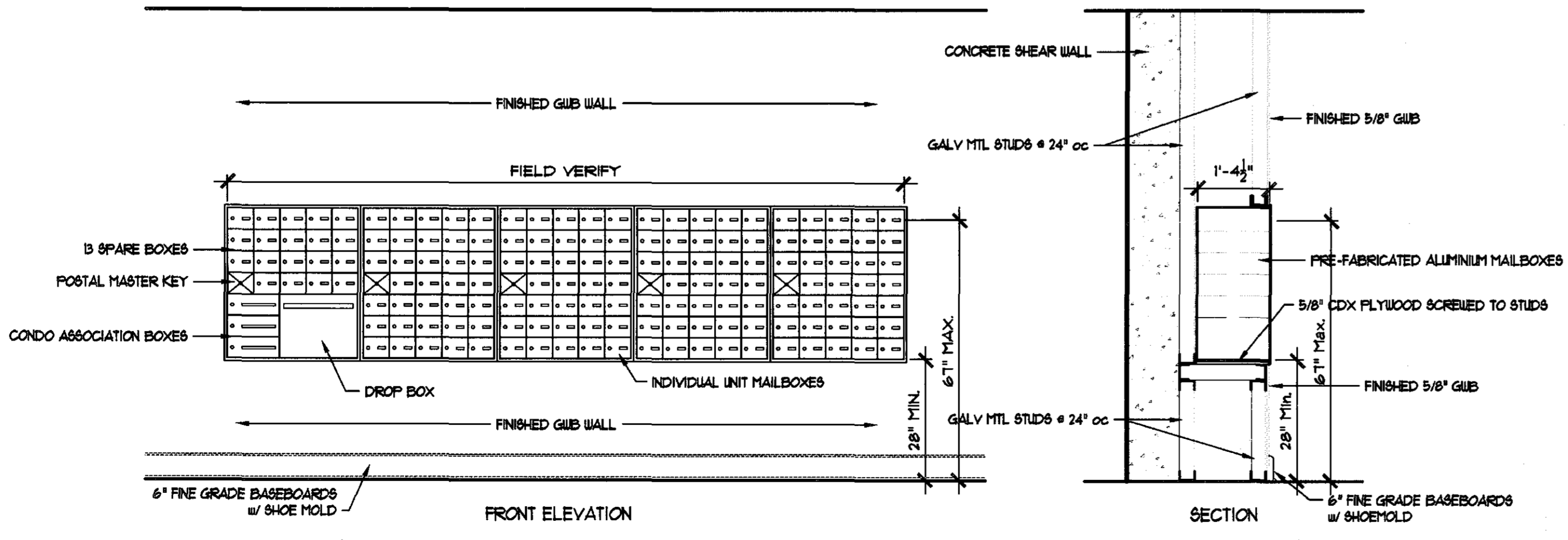
E MAIN LOBBY RECEPTION



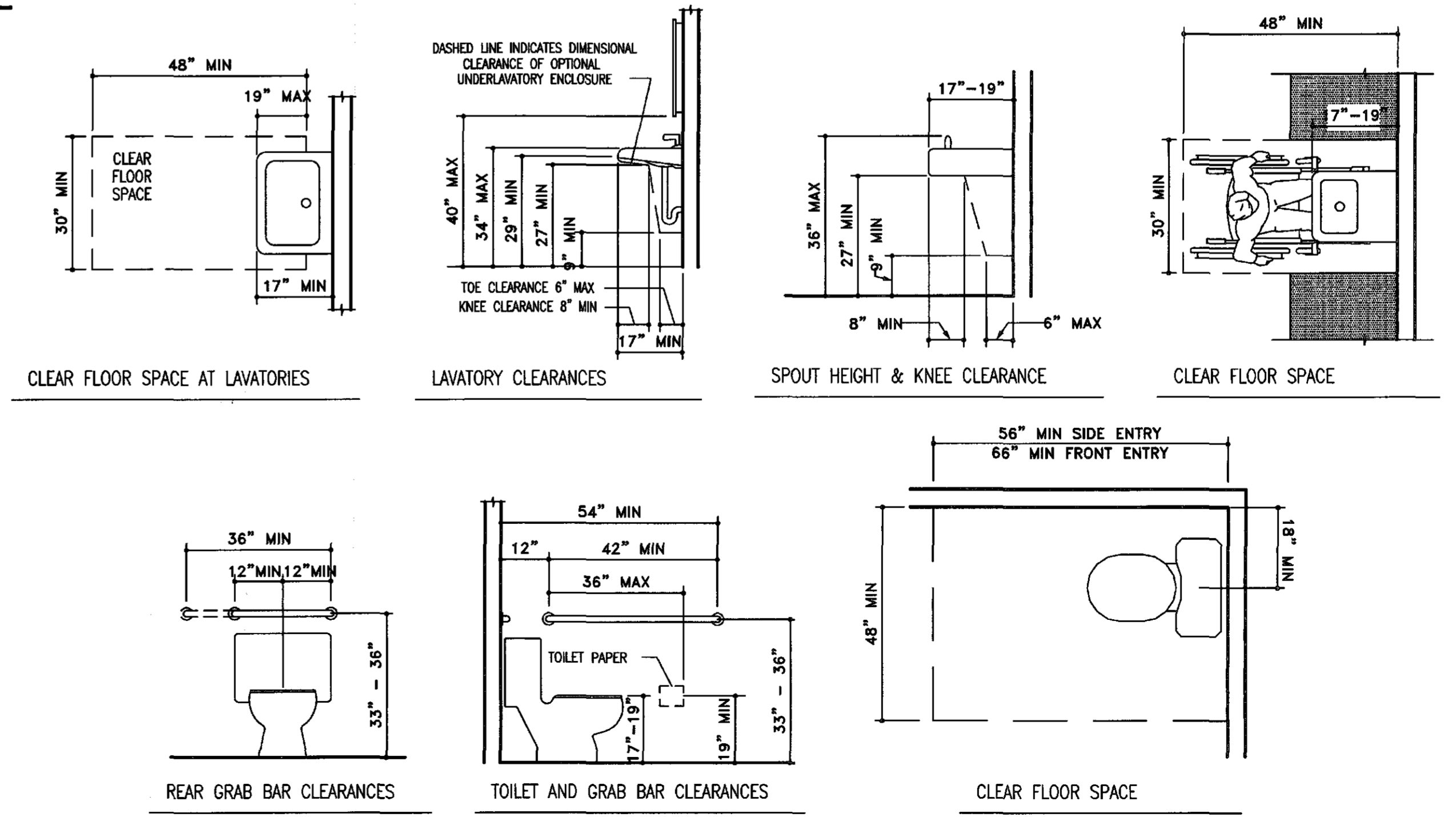
F MAIN LOBBY RECEPTION

INTERIOR ELEVATIONS FOR MAIN LOBBY

1/2" = 1'-0"



G POSTAL STATION (142 INDIVIDUAL UNIT MAILBOXES) (USPS APPROVED) 1/2" = 1'-0"











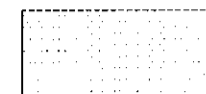

ACCESSIBILITY DETAILS

NTS

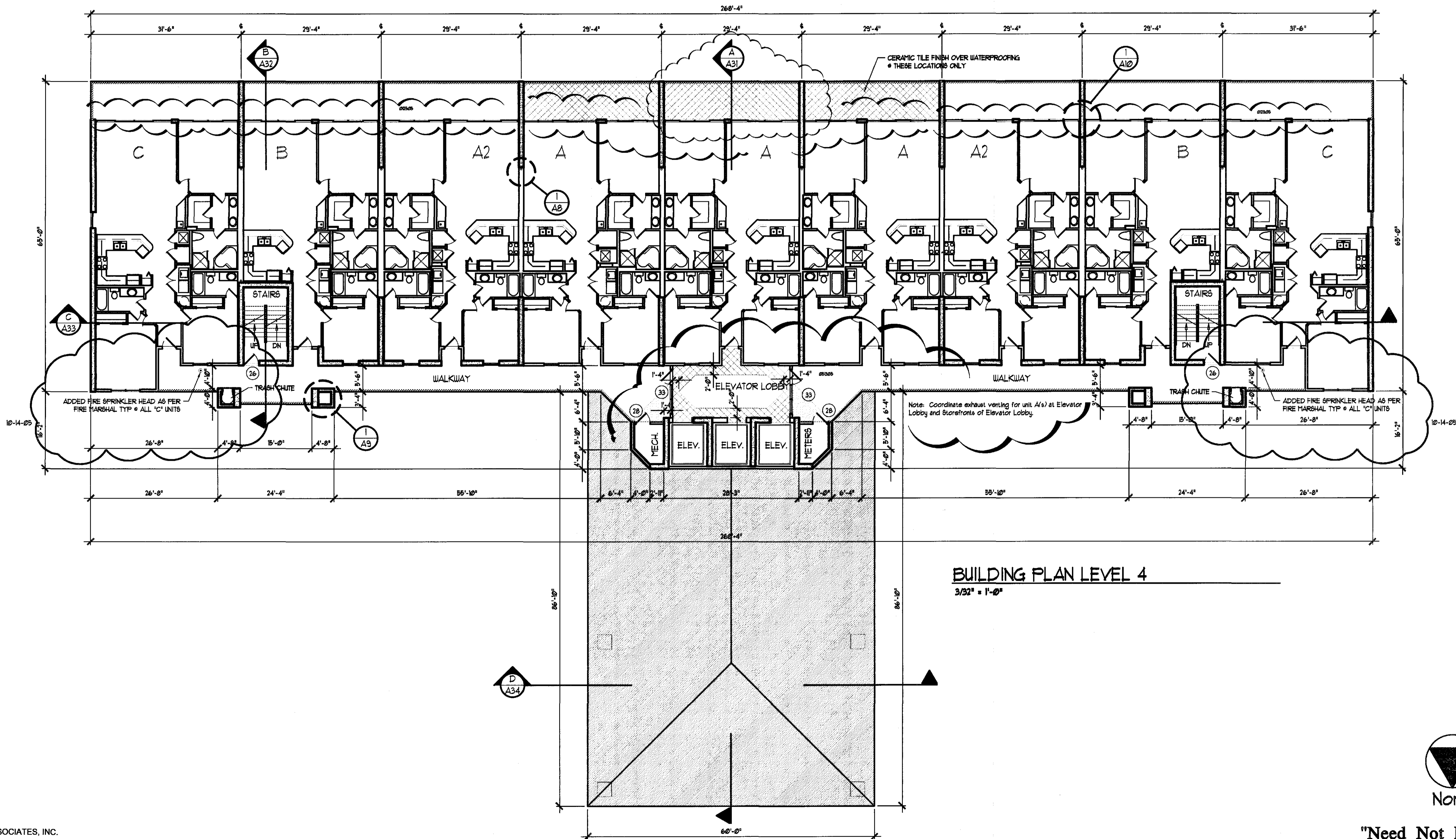
"Need Not Be Built"

LEGEND

-  DENOTES CONCRETE SHEAR WALL.
FINISH UNIT INTERIOR CONCRETE SHEAR WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
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6" GALV STEEL STUDS (GAUGE VARIES PENDING BUILDING LEVEL) W/ 1 LAYER OF 5/8" FIRE RATED EXTERIOR GYPSUM WALL BOARD EXT FACE OF STUD. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED. INTERIOR FACE TO RECEIVE 1 3/8" TYPE "X" FIRE RATED GYPSUM WALL BOARD.
-  DENOTES UNIT TYPICAL INTERIOR WALL.
3 3/8" 20 GA. GALV STEEL STUDS @ 16"OC W/ 1 LAYER OF 1/2" GYPSUM WALL BOARD EACH FACE OF STUD.

-  DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
-  DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
-  DENOTES INTERIOR ELEVATION SYMBOL
-  DENOTES LIMITS OF CEILING FURRDOWNS.
MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
-  DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23)

NOTE:
 1. SEE STRUCTURAL ENGINEERING PLANS TO COORDINATE DIMENSIONS OF SHEAR & COLUMN WALL LOCATIONS.
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BUILDING PLAN LEVEL 4

3/32" = 1'-0"



"Need Not Be Built"



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ARCHITECTURE & ENVIRONMENTAL DESIGN

30 N. PALAFOX
PENSACOLA, FLORIDA 32501

(850) 432-6011
FAX 435-9001

Building Plans

San Carlos Condominium

Gulf Shores, Alabama

JOB NO.: 200301

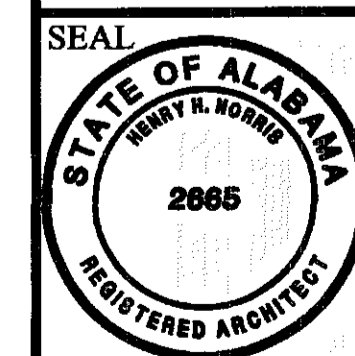
CAD: Rlan

CHECKED: HN

DATE: 5/21/04

REVISIONS:

- 0508 - revised for door for exhaust venting
- 0509 - Rev to show TRACO shades, Elev. Lobby soffits, roof, and Elev. Shutoff roof details - revised for door for exhaust venting
- 0510 - added fire sprinker head



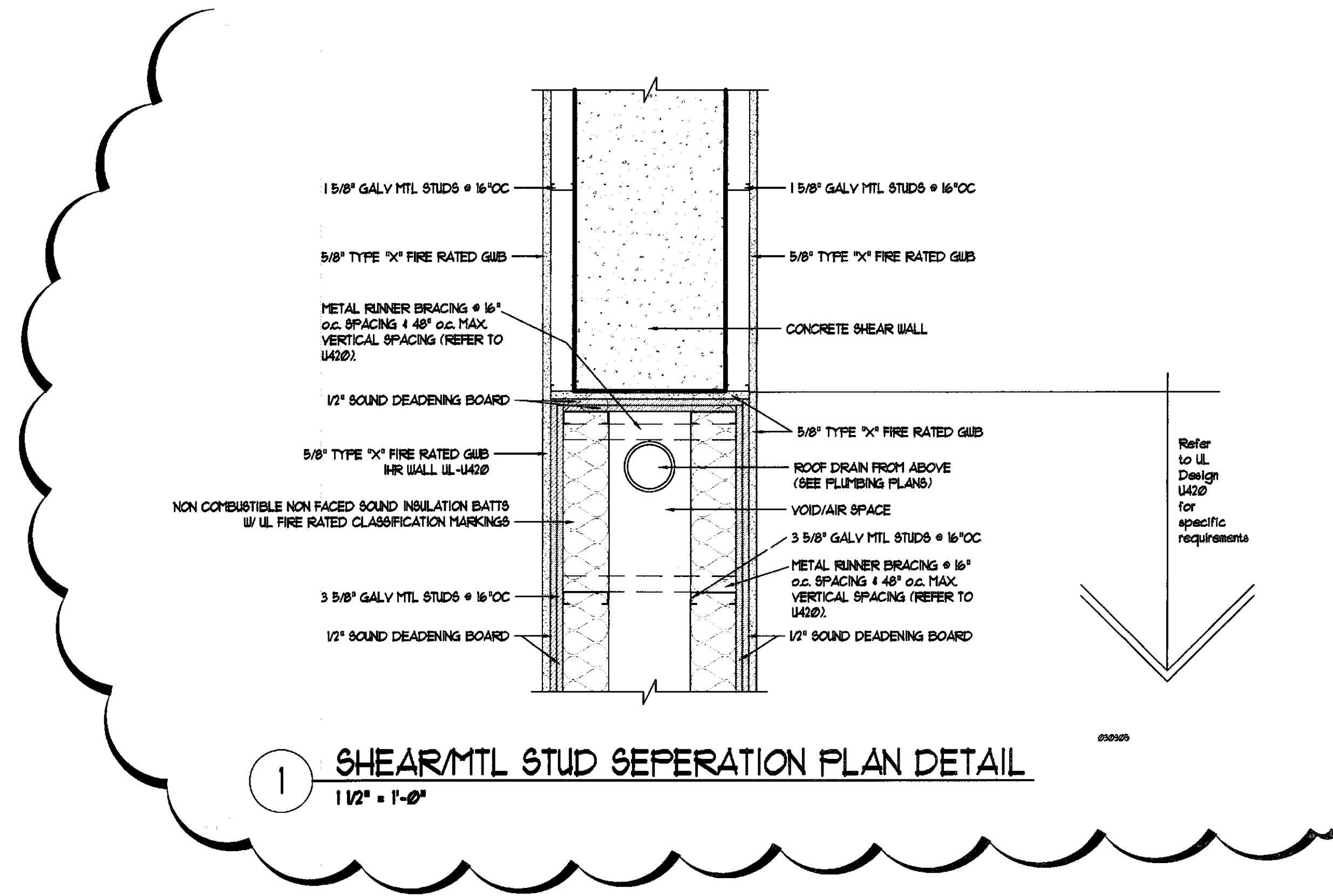
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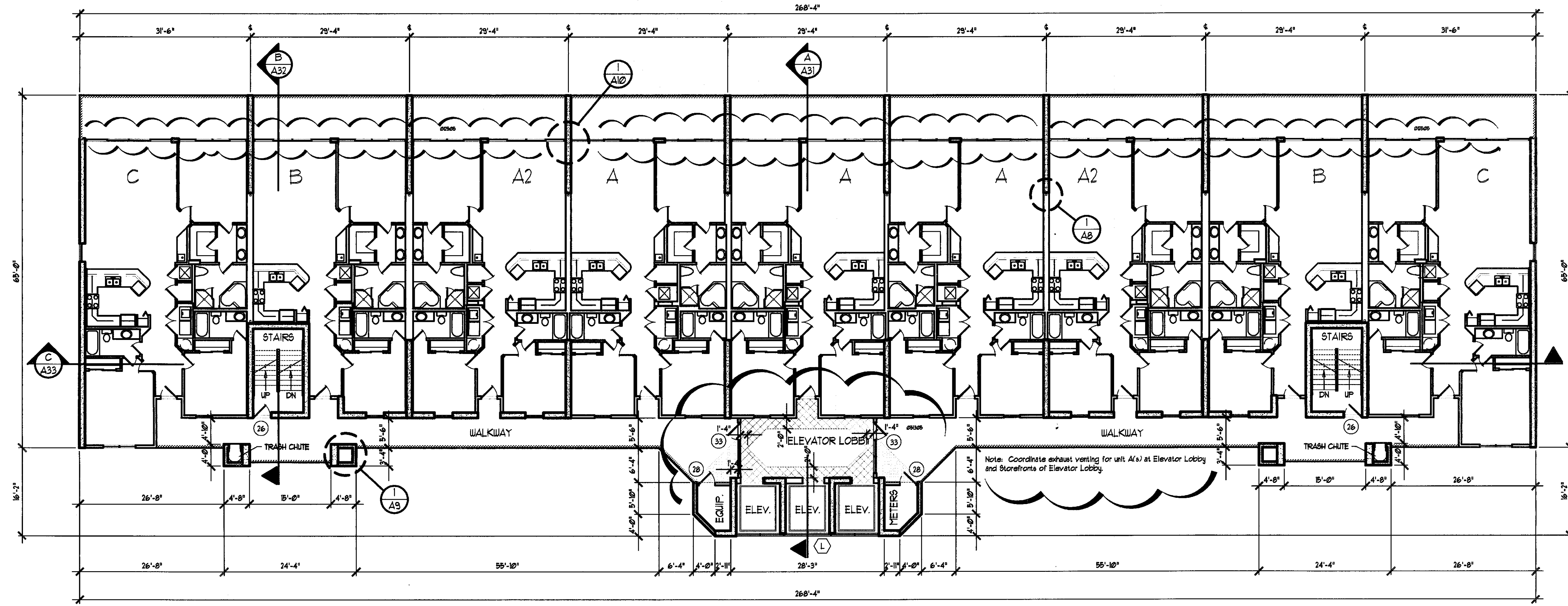
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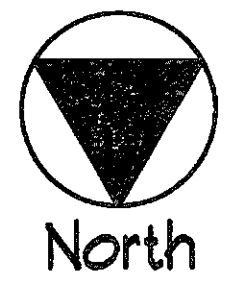
- ① DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
- △ DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
- ▲ DENOTES INTERIOR ELEVATION SYMBOL
- DENOTES LIMITS OF CEILING FURRDOWNS. MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
- DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23)
- DENOTES CONCRETE SHEAR WALL. FINISH UNIT INTERIOR CONCRETE SHEAR WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- DENOTES CONCRETE WALL. FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- DENOTES CONCRETE MASONRY UNIT WALL. FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- DENOTES UNIT TYPICAL EXTERIOR WALL. 6" GALV STEEL STUDS (GAUGE VARIES PENDING BUILDING LEVEL) W/ 1 LAYER OF 5/8" FIRE RATED EXTERIOR GYPSUM WALL BOARD EXT FACE OF STUD. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED. INTERIOR FACE TO RECEIVE 1 3/8" TYPE "X" FIRE RATED GYPSUM WALL BOARD.
- DENOTES UNIT TYPICAL INTERIOR WALL. 3 3/8" 20 GA. GALV STEEL STUDS @ 16"OC W/ 1 LAYER OF 1/2" GYPSUM WALL BOARD EACH FACE OF STUD.



- NOTE:
1. SEE STRUCTURAL ENGINEERING PLANS TO COORDINATE DIMENSIONS OF SHEAR & COLUMN WALL LOCATIONS.
 2. EXTERIOR 6" GALV STUDS SHALL BE 14 GA. @ 16"OC FROM BUILDING LEVELS 1 THRU 5. BUILDING LEVELS 6 THRU 10 SHALL BE 12 GA. @ 16"OC.
 3. ALL VERTICAL CHASES TO BE 2 HOUR RATED ASSEMBLIES. (1 LAYER OF "SHAFTLINER" GUB EACH SIDE OF 3 3/8" GALV MTL STUDS @ 16"OC.



BUILDING PLAN LEVELS 5 THRU 16
3/32" = 1'-0"



"Need Not Be Built"



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

30 N. PALAFOX PENSACOLA, FLORIDA 32501

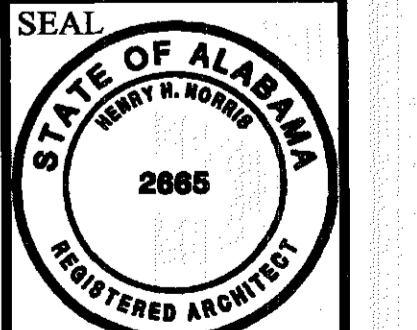
(850) 432-6011 FAX 435-9001

Building Plans

San Carlos Condominium Gulf Shores, Alabama

JOB NO.: 200301 CAD: R1an CHECKED: HN DATE: 5/21/04 REVISIONS:

22004 - Emergency Roof Drain 2004P - Rev to show TRACO system, show Lobby soffits, and show thermal and 2005B - revised for door for exhaust venting



SHEET A9 OF 40

Note: Coordinate actual slopes with approved tapered insulation board shop drawings. Slopes indicated on this drawing are representative only.

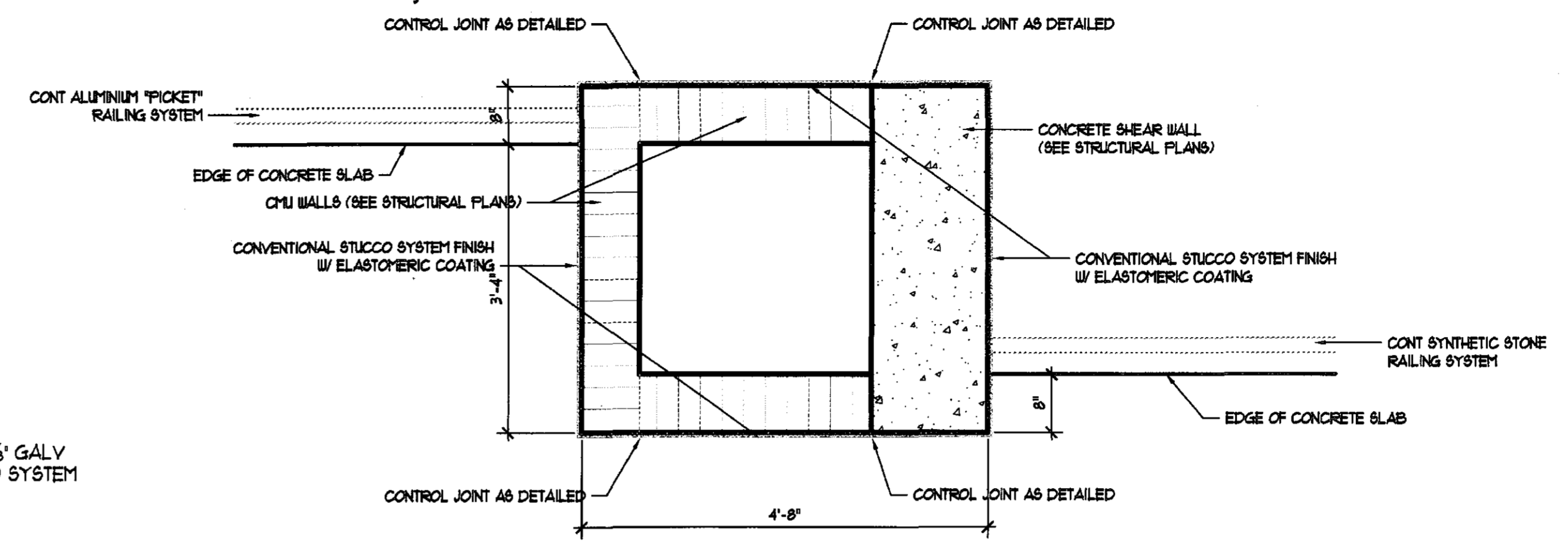
Note: Emergency Roof Drains design based on Standard Plumbing Code 1991 - Table 1106.3 - Size of Horizontal Storm Drainage Piping and per 1107.3 - Sizing of Secondary Drains.

Note: Emergency drain sizes and locations based on average 3.0" depth of water retention should primary drain clog per discussion with Structural Engineer.

Note: Per 1991 Standard Plumbing Code, Table 1106.2, Rainfall rate of 5 inches per hour, 5 inch diameter rain leader (vertical element) will accommodate 6,920 sq. ft. of horizontal projected roof area. However, horizontal storm drainage piping (transitions from vertical) of 5 inch diameter pipe will accommodate 3,776 sq. ft. of horizontally projected roof area based on 2% slope (1/4"/ft). However, per 1107.3 - areas divided by 2 for emergency drain sizing.

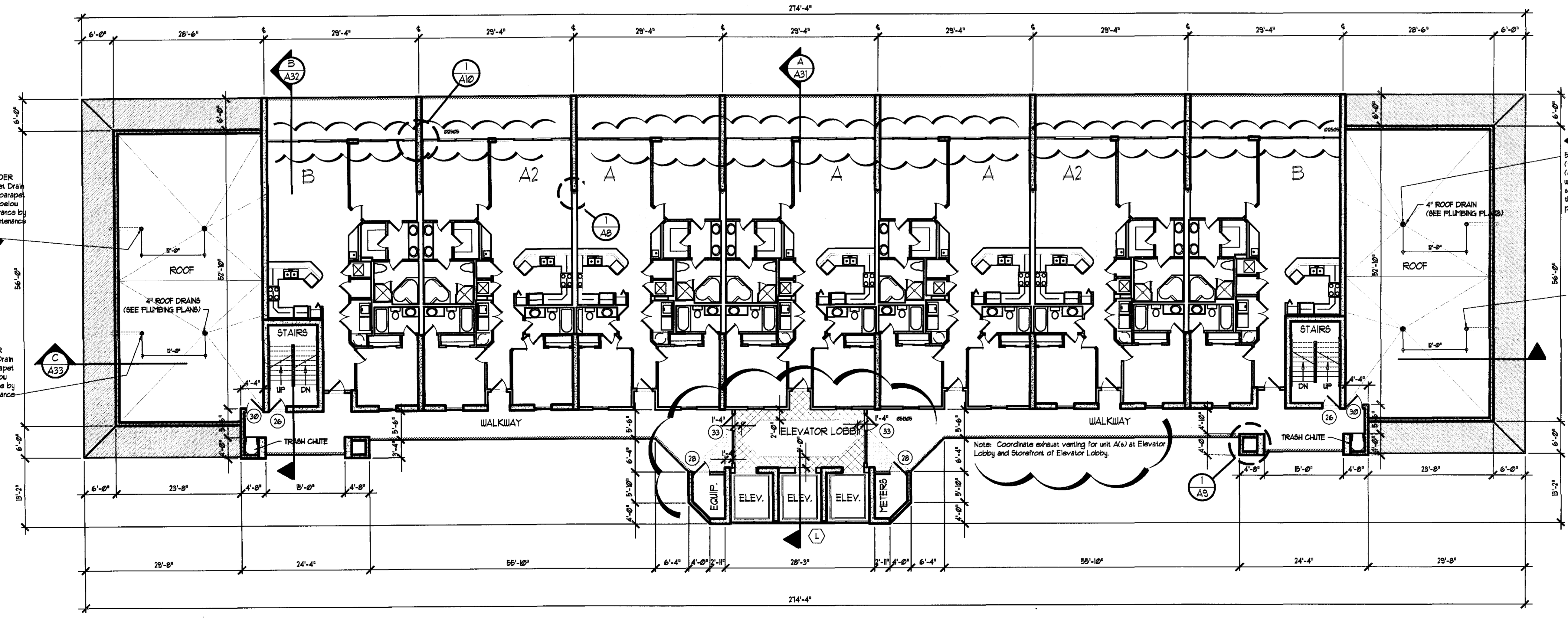
LEGEND

- Legend items: 1. DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22); A DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22); A DENOTES INTERIOR ELEVATION SYMBOL; DENOTES LIMITS OF CEILING FURRDOWNS; DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23); DENOTES CONCRETE SHEAR WALL; DENOTES CONCRETE WALL; DENOTES CONCRETE MASONRY UNIT WALL; DENOTES UNIT TYPICAL EXTERIOR WALL; DENOTES UNIT TYPICAL INTERIOR WALL.

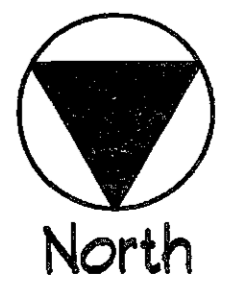


1 SHEAR/CMU COLUMN PLAN DETAIL 3/4" = 1'-0"

- NOTE: 1. SEE STRUCTURAL ENGINEERING PLANS TO COORDINATE DIMENSIONS OF SHEAR & COLUMN WALL LOCATIONS. 2. EXTERIOR 6" GALV STUDS SHALL BE 12 GA. @ 12" OC FROM BUILDING LEVELS 11 THRU 13. 3. ALL VERTICAL CHANGES TO BE 2 HOUR RATED ASSEMBLIES. (1 LAYER OF "SHAFTLINE" GWB EACH SIDE OF 3 3/8" GALV MTL STUDS @ 16" OC).



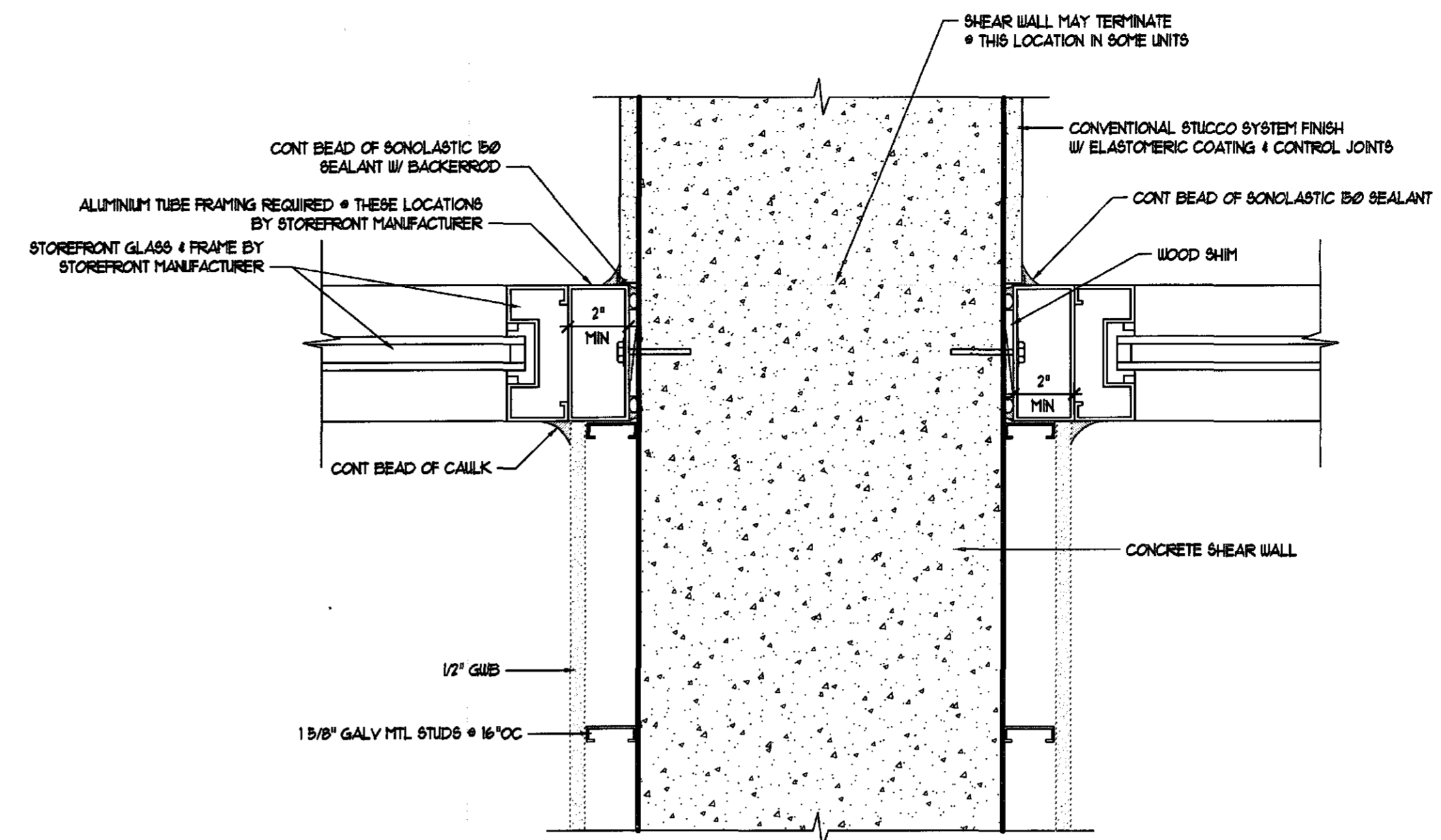
BUILDING PLAN LEVEL 17 3/32" = 1'-0"



"Need Not Be Built"

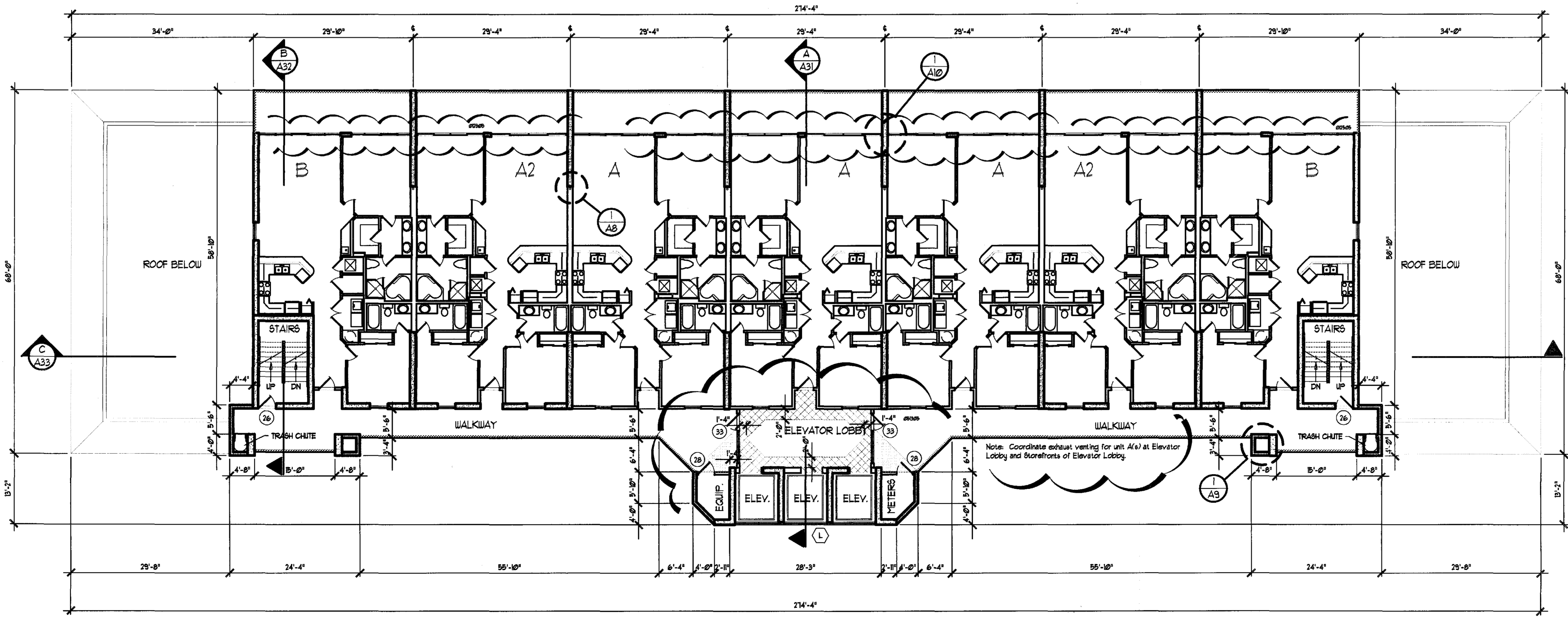
LEGEND

- ① DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
- ⬢ DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
- ▲ DENOTES INTERIOR ELEVATION SYMBOL
- DENOTES LIMITS OF CEILING FURROWS. MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
- DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23)
- DENOTES CONCRETE SHEAR WALL.
FINISH UNIT INTERIOR CONCRETE SHEAR WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- DENOTES CONCRETE WALL.
FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- DENOTES CONCRETE MASONRY UNIT WALL.
FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- DENOTES UNIT TYPICAL EXTERIOR WALL.
6" GALV STEEL STUDS (GALVE VARIES PENDING BUILDING LEVEL) W/ 1 LAYER OF 3/8" FIRE RATED EXTERIOR GYPSUM WALL BOARD EXT FACE OF STUD. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED. INTERIOR FACE TO RECEIVE 1 3/8" TYPE "X" FIRE RATED GYPSUM WALL BOARD.
- DENOTES UNIT TYPICAL INTERIOR WALL.
3 3/8" 20 GA. GALV STEEL STUDS @ 16"OC W/ 1 LAYER OF 1/2" GYPSUM WALL BOARD EACH FACE OF STUD.

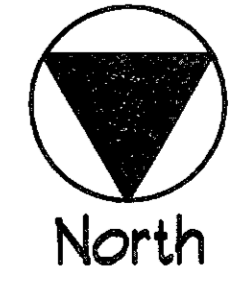


1 STOREFRONT/SHEAR WALL PLAN DETAIL
3" = 1'-0"

- NOTE:
1. SEE STRUCTURAL ENGINEERING PLANS TO COORDINATE DIMENSIONS OF SHEAR & COLUMN WALL LOCATIONS.
 2. EXTERIOR 6" GALV STUDS SHALL BE 12 GA. @ 12"OC FROM BUILDING LEVELS II THRU 19.
 3. ALL VERTICAL CHANGES TO BE 2 HOUR RATED ASSEMBLIES. (1 LAYER OF "SHAFTLINER" GWB EACH SIDE OF 3 3/8" GALV MTL STUDS @ 16"OC).



BUILDING PLAN LEVEL 18
3/32" = 1'-0"



"Need Not Be Built"



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ARCHITECTURE & ENVIRONMENTAL DESIGN

30 N. PALAFOX PENSACOLA, FLORIDA 32501

(850) 432-6011 FAX 435-9001

Building Plans

San Carlos Condominium

Gulf Shores, Alabama

JOB NO.: 200301

CAD: Rlan

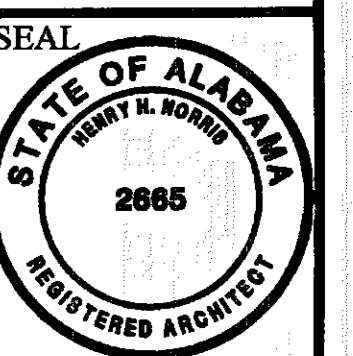
CHECKED: HN

DATE: 5/21/04

REVISIONS:

02/05 - Rev to show TRACO stairs, Elev. Lobby with roof and Elev. Storage room.

03/05 - revest for door for exhaust venting.



SHEET

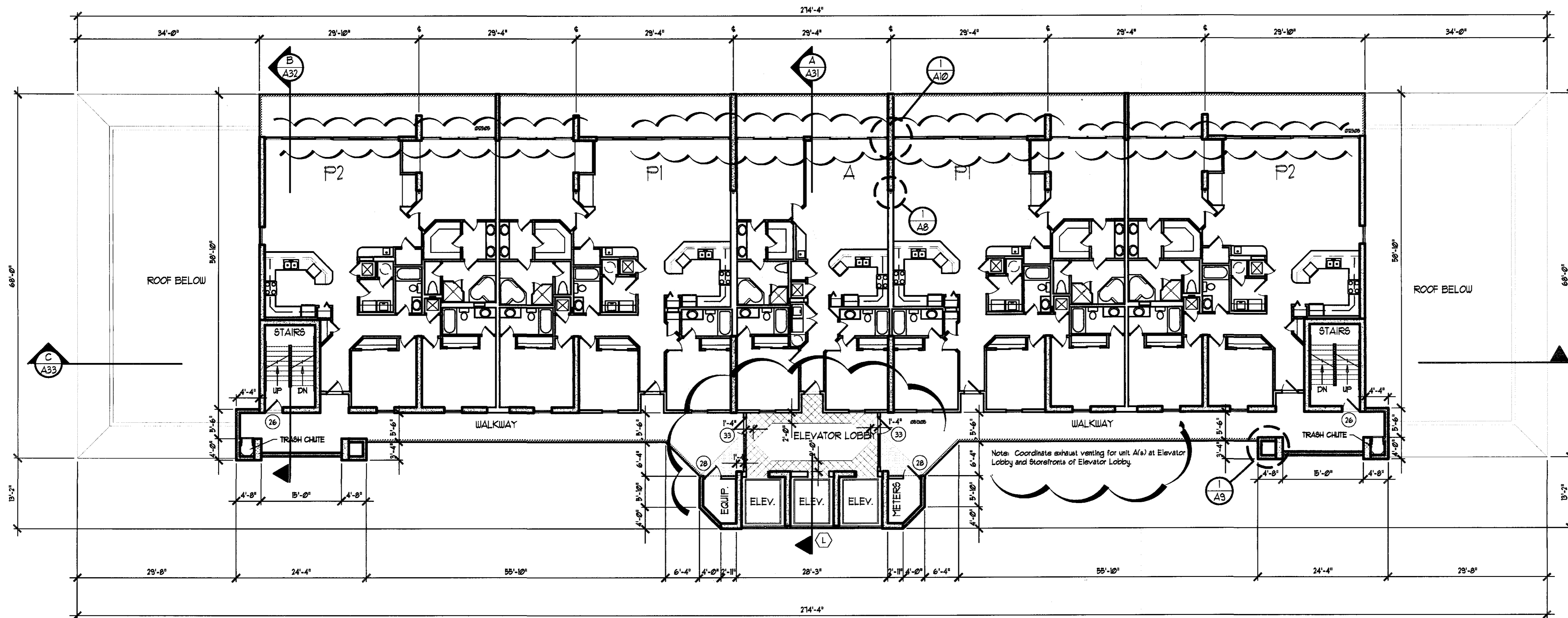
A11

OF 40

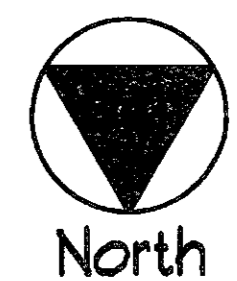
LEGEND

- ① DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
- △ DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
- ▲ DENOTES INTERIOR ELEVATION SYMBOL
- [Pattern] DENOTES LIMITS OF CEILING FURROWS. MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
- [Pattern] DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23)
- [Pattern] DENOTES CONCRETE SHEAR WALL. FINISH UNIT INTERIOR CONCRETE SHEAR WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Pattern] DENOTES CONCRETE WALL. FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Pattern] DENOTES CONCRETE MASONRY UNIT WALL. FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Pattern] DENOTES UNIT TYPICAL EXTERIOR WALL. 6" GALV STEEL STUDS (GALVE VARIES PENDING BUILDING LEVEL) W/ 1 LAYER OF 5/8" FIRE RATED EXTERIOR GYPSUM WALL BOARD EXT FACE OF STUD. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED. INTERIOR FACE TO RECEIVE 1 3/8" TYPE "X" FIRE RATED GYPSUM WALL BOARD.
- [Pattern] DENOTES UNIT TYPICAL INTERIOR WALL. 3 3/8" 20 GA GALV STEEL STUDS @ 16"OC W/ 1 LAYER OF 1/2" GYPSUM WALL BOARD EACH FACE OF STUD.

- NOTE:
1. SEE STRUCTURAL ENGINEERING PLANS TO COORDINATE DIMENSIONS OF SHEAR & COLUMN WALL LOACTIONS.
 2. EXTERIOR 6" GALV STUDS SHALL BE 12 GA @ 12"OC FROM BUILDING LEVELS 11 THRU 19.
 3. ALL VERTICAL CHASES TO BE 2 HOUR RATED ASSEMBLIES. (1 LAYER OF "SHAFTLINER" GWB EACH SIDE OF 3 3/8" GALV MTL STUDS 16"OC).



BUILDING PLAN LEVEL 19
3/32" = 1'-0"



"Need Not Be Built"

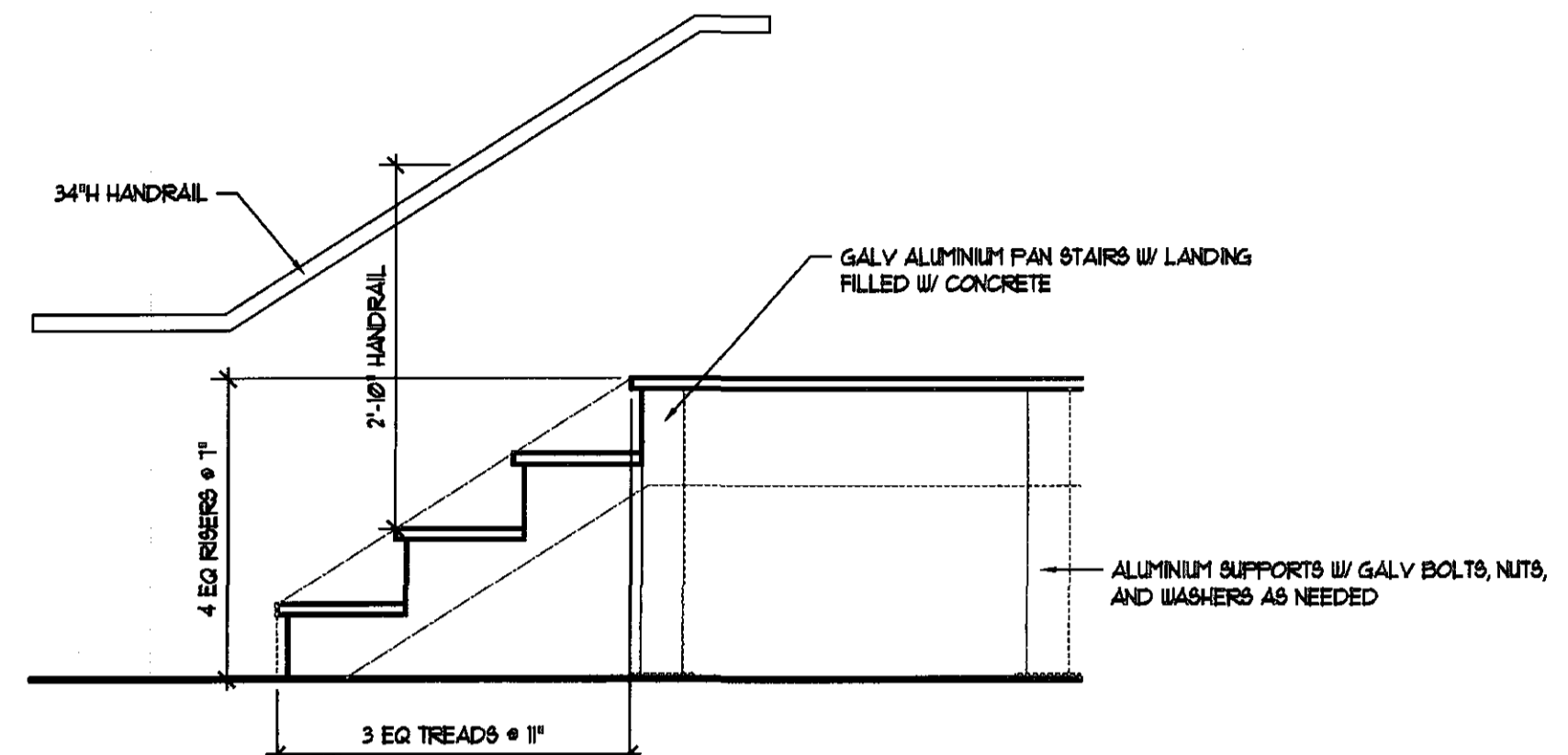
Note: Coordinate actual slopes with approved tapered insulation board shop drawings. Slopes indicated on this drawing are representative only.

Note: Emergency Roof Drains design based on Standard Plumbing Code 1991 - Table 1106.3 - Size of Horizontal Storm Drainage Piping and per 1107.3 - Sizing of Secondary Drains.

Note: Emergency drain sizes and locations based on average 3.0" depth of water retention should primary drain clog per discussion with Structural Engineer.

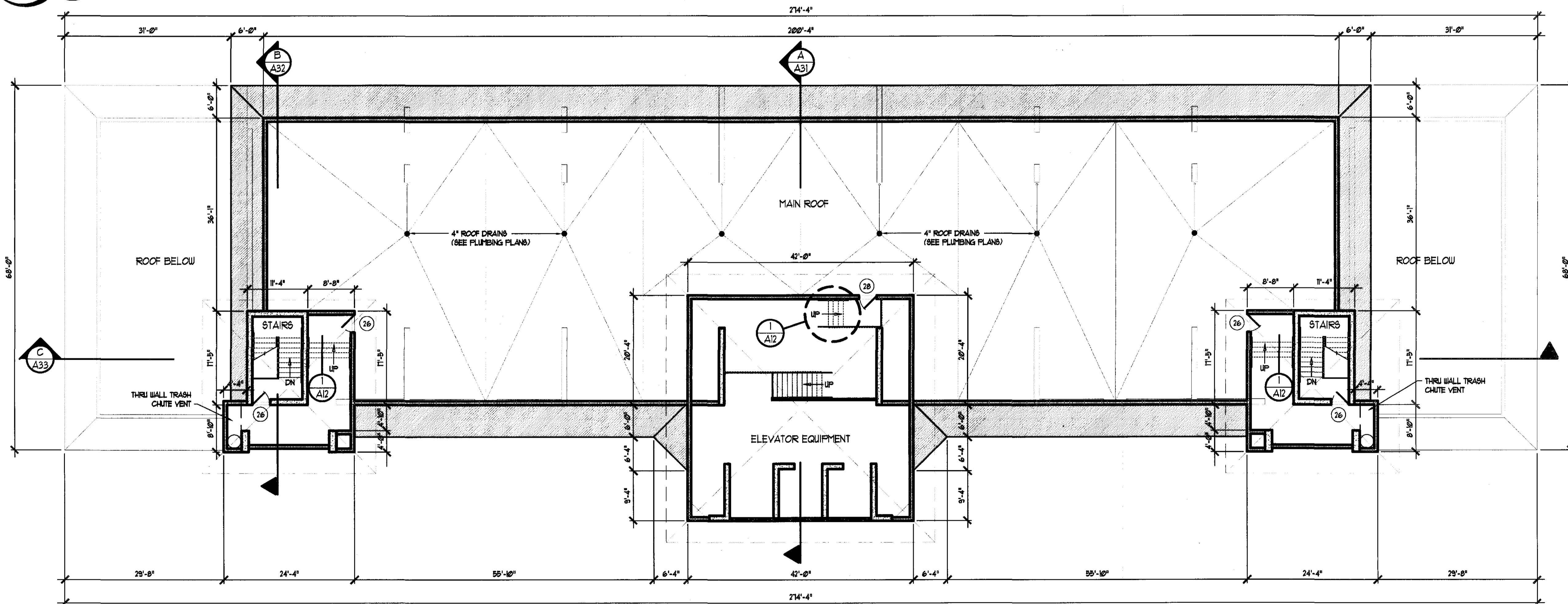
LEGEND

- ① DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
- ⬡ DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
- ▲ DENOTES INTERIOR ELEVATION SYMBOL
- [Dotted Pattern] DENOTES LIMITS OF CEILING FURROWS. MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
- [Cross-hatch Pattern] DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23)
- [Horizontal Dashed Line] DENOTES CONCRETE SHEAR WALL. FINISH UNIT INTERIOR CONCRETE SHEAR WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Horizontal Solid Line] DENOTES CONCRETE WALL. FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Vertical Dashed Line] DENOTES CONCRETE MASONRY UNIT WALL. FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Horizontal Solid Line] DENOTES UNIT TYPICAL EXTERIOR WALL. 6" GALV STEEL STUDS (GAUGE VARIES PENDING BUILDING LEVEL) W/ 1 LAYER OF 5/8" FIRE RATED EXTERIOR GYPSUM WALL BOARD EXT FACE OF STUD. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED. INTERIOR FACE TO RECEIVE 1 3/8" TYPE 'X' FIRE RATED GYPSUM WALL BOARD.
- [Horizontal Solid Line] DENOTES UNIT TYPICAL INTERIOR WALL. 3 3/8" 20 GA GALV STEEL STUDS @ 16"OC W/ 1 LAYER OF 1/2" GYPSUM WALL BOARD EACH FACE OF STUD.



1 ROOF STAIR SECTION
1 1/2" = 1'-0"

5" dia PVC EMERGENCY LEADER (typ. UNO) with Turn Side Outlet Drain (or equal). Once penetrated parapet wall, turn pipe down to 1" max. below soffit to enable visual observance by the building occupants or maintenance personnel.



BUILDING MAIN ROOF PLAN
3/32" = 1'-0"



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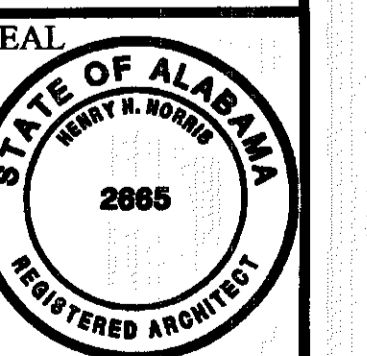
30 N. PALAFOX PENSACOLA, FLORIDA 32501

(850) 432-6011 FAX 435-9001

Building Plans

San Carlos Condominium
Gulf Shores, Alabama

JOB NO.: 200301
CAD: RMan
CHECKED: HN
DATE: 5/21/04
REVISIONS:



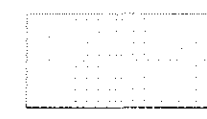
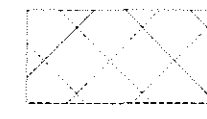

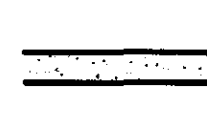



SHEET

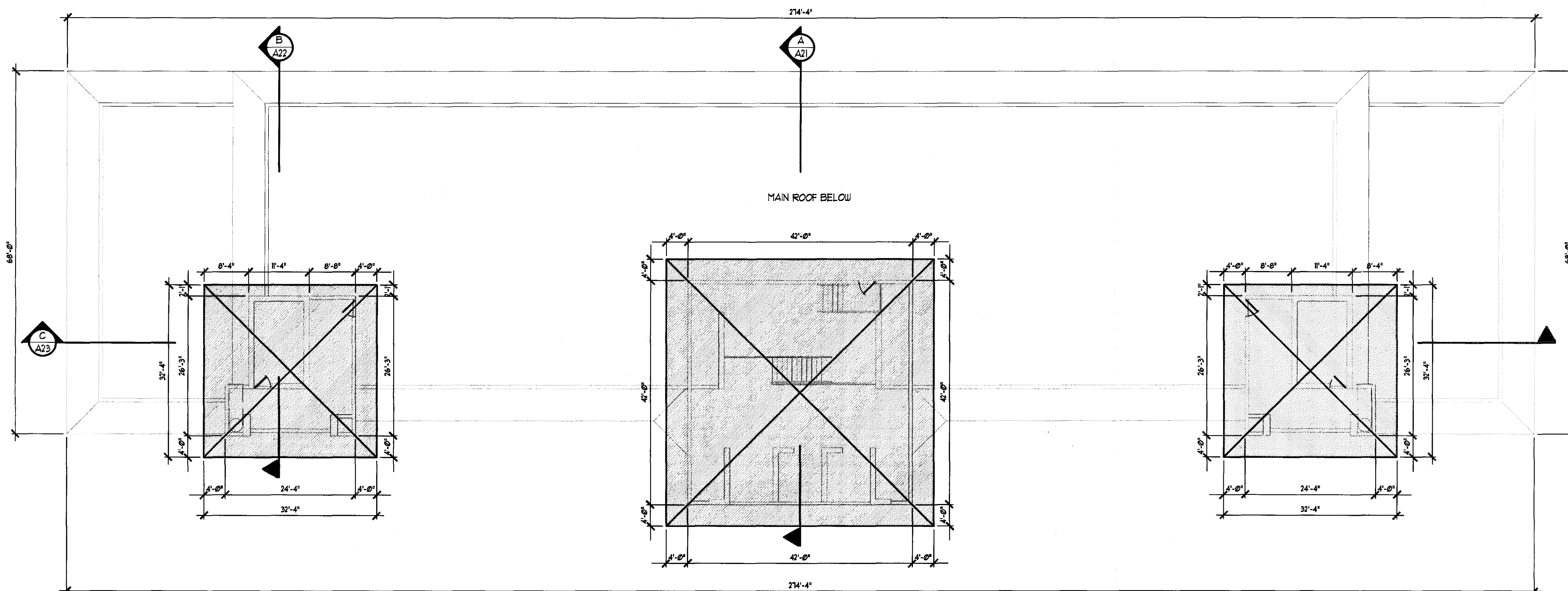
A12

OF 40

"Need Not Be Built"

LEGEND

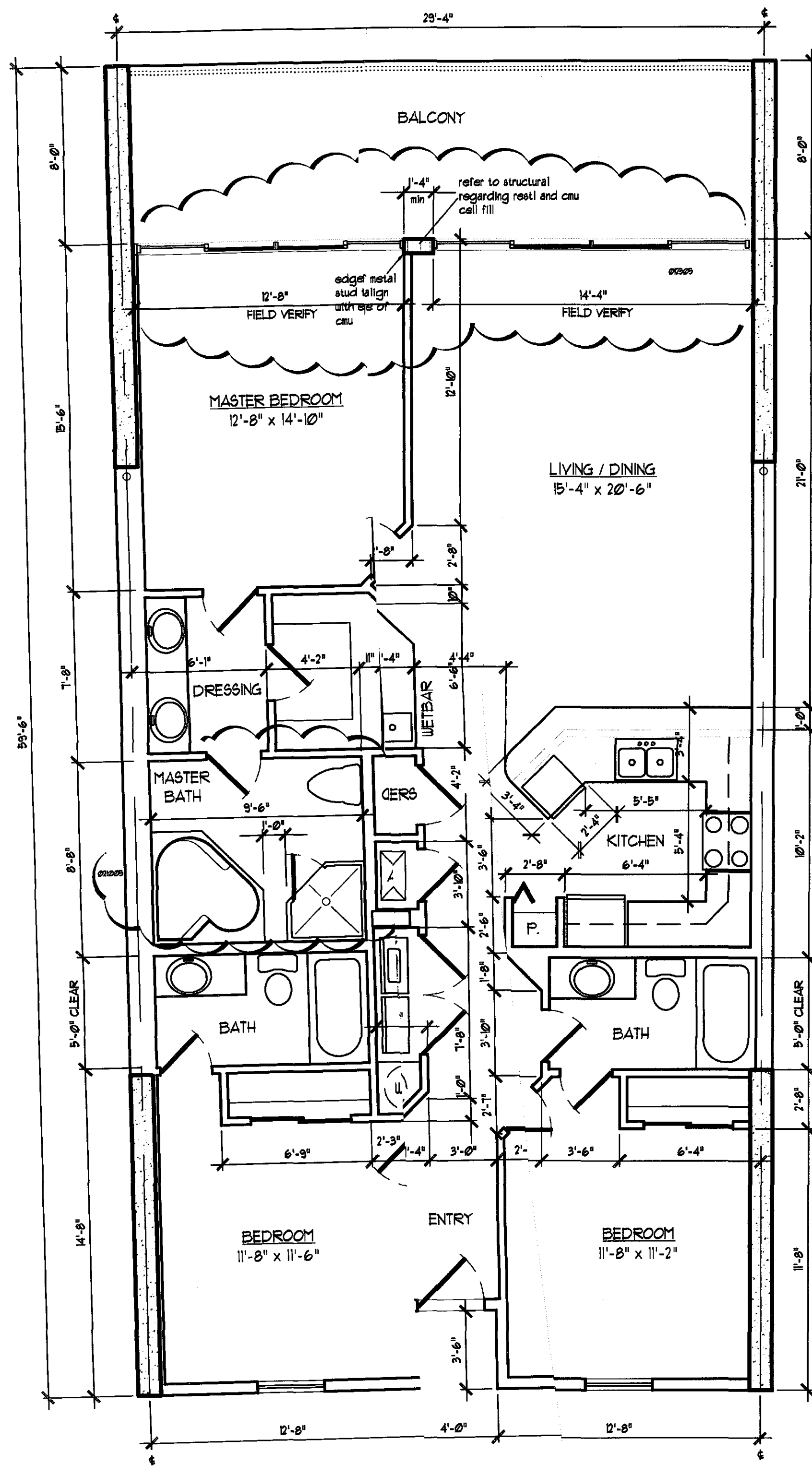
- ⊙ DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
- ⬠ DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
- ▲ DENOTES INTERIOR ELEVATION SYMBOL
-  DENOTES LIMITS OF CEILING FURROUNTS.
MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
-  DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23)
-  DENOTES CONCRETE SHEAR WALL.
FINISH UNIT INTERIOR CONCRETE SHEAR WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
-  DENOTES CONCRETE WALL.
FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
-  DENOTES CONCRETE MASONRY UNIT WALL.
FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
-  DENOTES UNIT TYPICAL EXTERIOR WALL.
6" GALV STEEL STUDS (GALGE VARIES PENDING BUILDING LEVEL) W/ 1 LAYER OF 5/8" FIRE RATED EXTERIOR GYPSUM WALL BOARD EXT FACE OF STUD. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED. INTERIOR FACE TO RECEIVE 1 3/8" TYPE "X" FIRE RATED GYPSUM WALL BOARD.
-  DENOTES UNIT TYPICAL INTERIOR WALL.
3 3/8" 20 GA. GALV STEEL STUDS @ 16"OC W/ 1 LAYER OF 1/2" GYPSUM WALL BOARD EACH FACE OF STUD.



BUILDING UPPER METAL ROOF PLAN
3/32" = 1'-0"



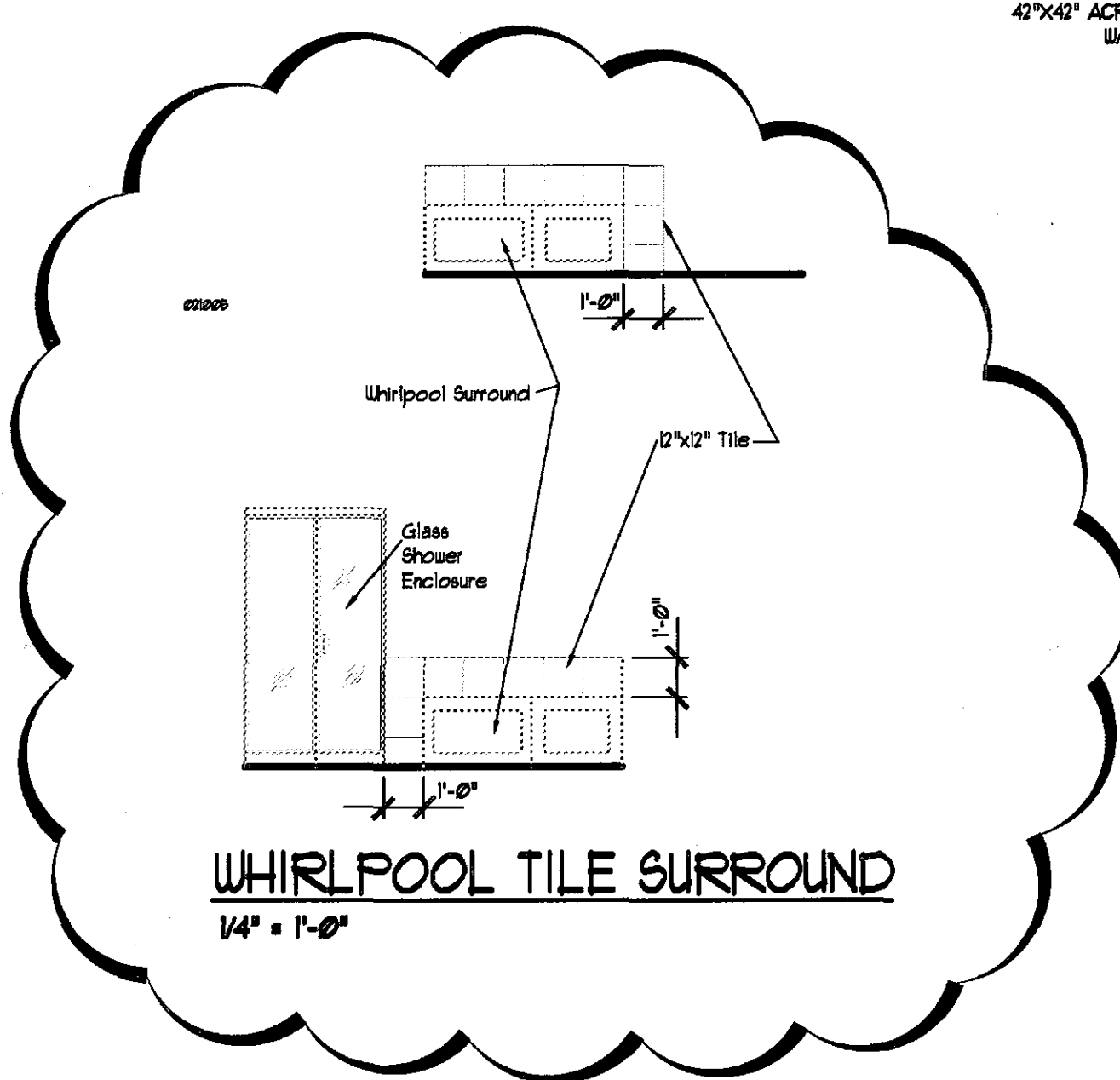
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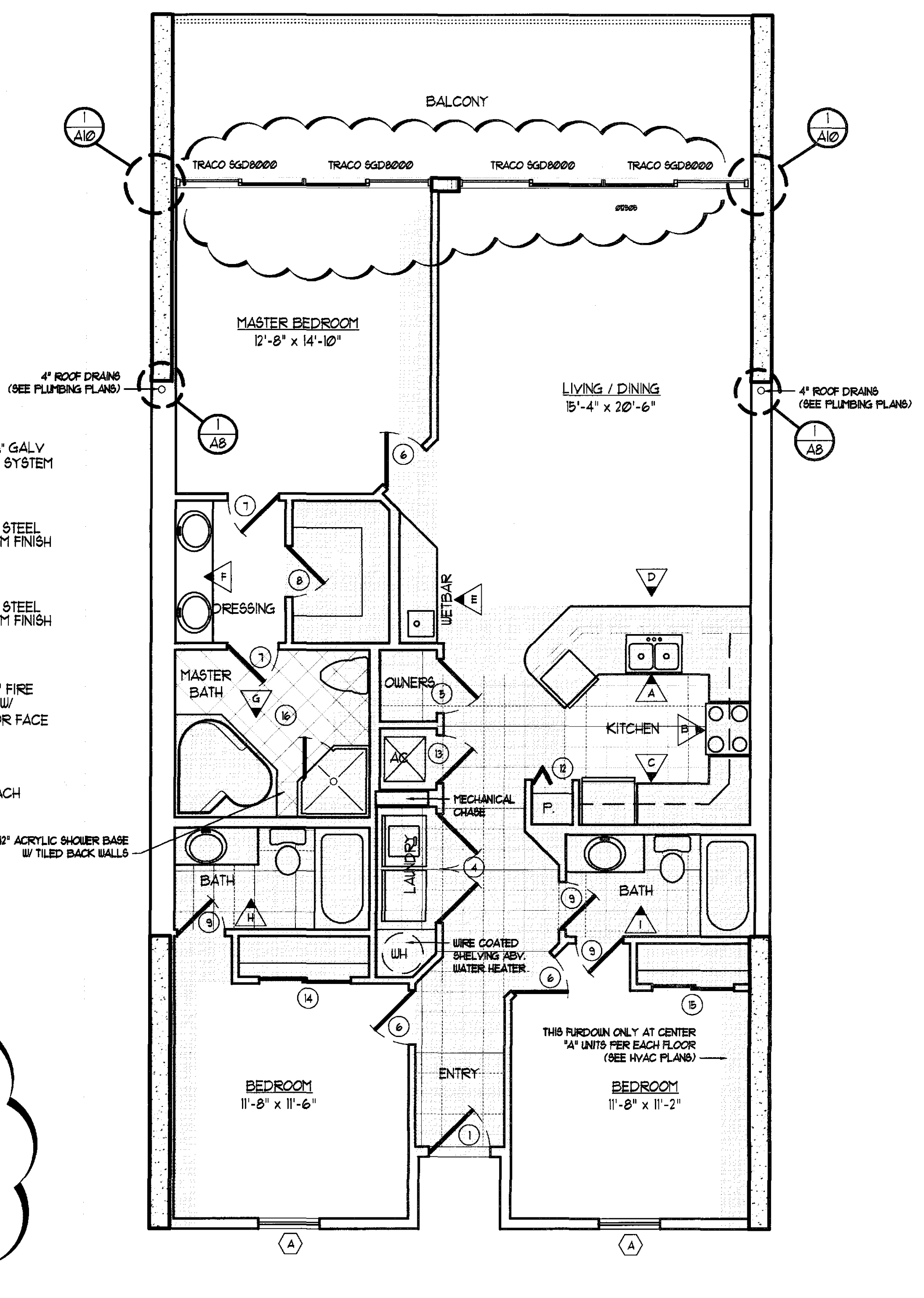
TYPICAL UNIT "A" DIMENSION FLOOR PLAN
1/4" = 1'-0"

LEGEND

- ① DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
- ⬠ DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
- ▲ DENOTES INTERIOR ELEVATION SYMBOL
- [Pattern] DENOTES LIMITS OF CEILING FURRDOWNS. MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
- [Pattern] DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23)
- [Pattern] DENOTES CONCRETE SHEAR WALL.
FINISH UNIT INTERIOR CONCRETE SHEAR WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Pattern] DENOTES CONCRETE WALL.
FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Pattern] DENOTES CONCRETE MASONRY UNIT WALL.
FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Pattern] DENOTES UNIT TYPICAL EXTERIOR WALL.
6" GALV STEEL STUDS (GAUGE VARIES PENDING BUILDING LEVEL) W/ 1 LAYER OF 5/8" FIRE RATED EXTERIOR GYPSUM WALL BOARD EXT FACE OF STUD. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED. INTERIOR FACE TO RECEIVE 1 3/8" TYPE "X" FIRE RATED GYPSUM WALL BOARD.
- [Pattern] DENOTES UNIT TYPICAL INTERIOR WALL.
3 3/8" 20 GA GALV STEEL STUDS @ 16"OC W/ 1 LAYER OF 1/2" GYPSUM WALL BOARD EACH FACE OF STUD.



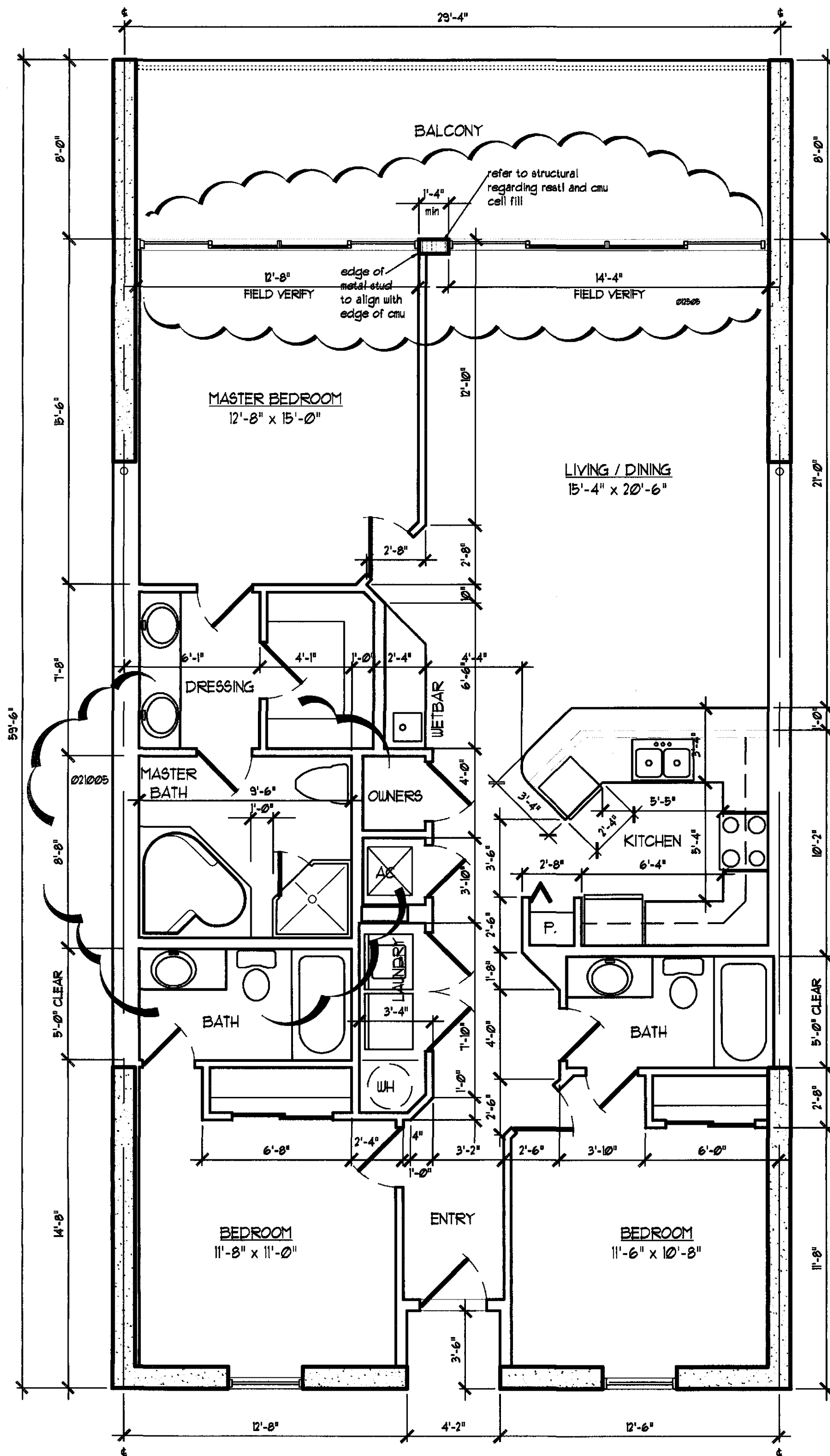
WHIRLPOOL TILE SURROUND
1/4" = 1'-0"



TYPICAL UNIT "A" FLOOR PLAN
1/4" = 1'-0"



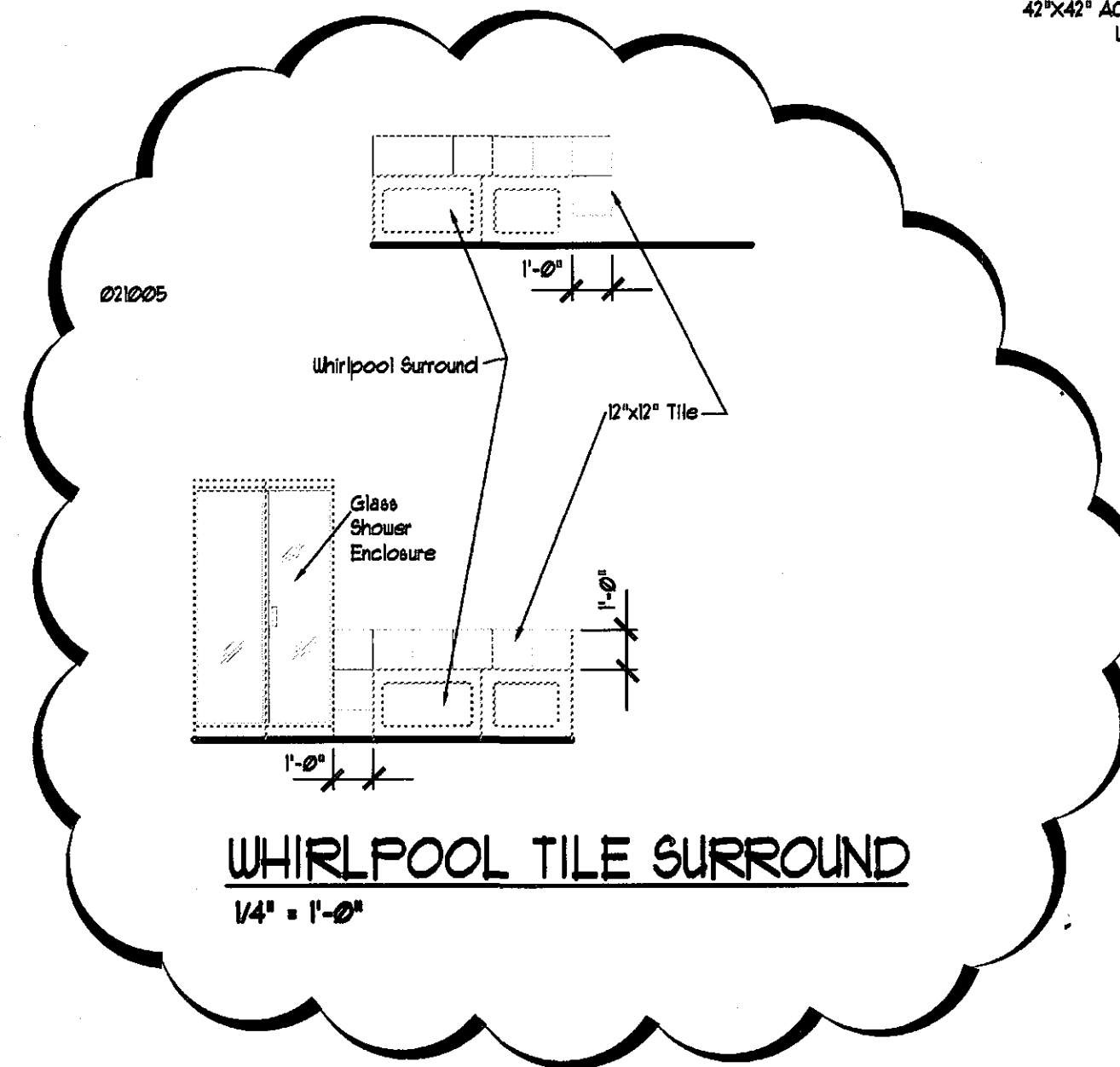
"Need Not Be Built"



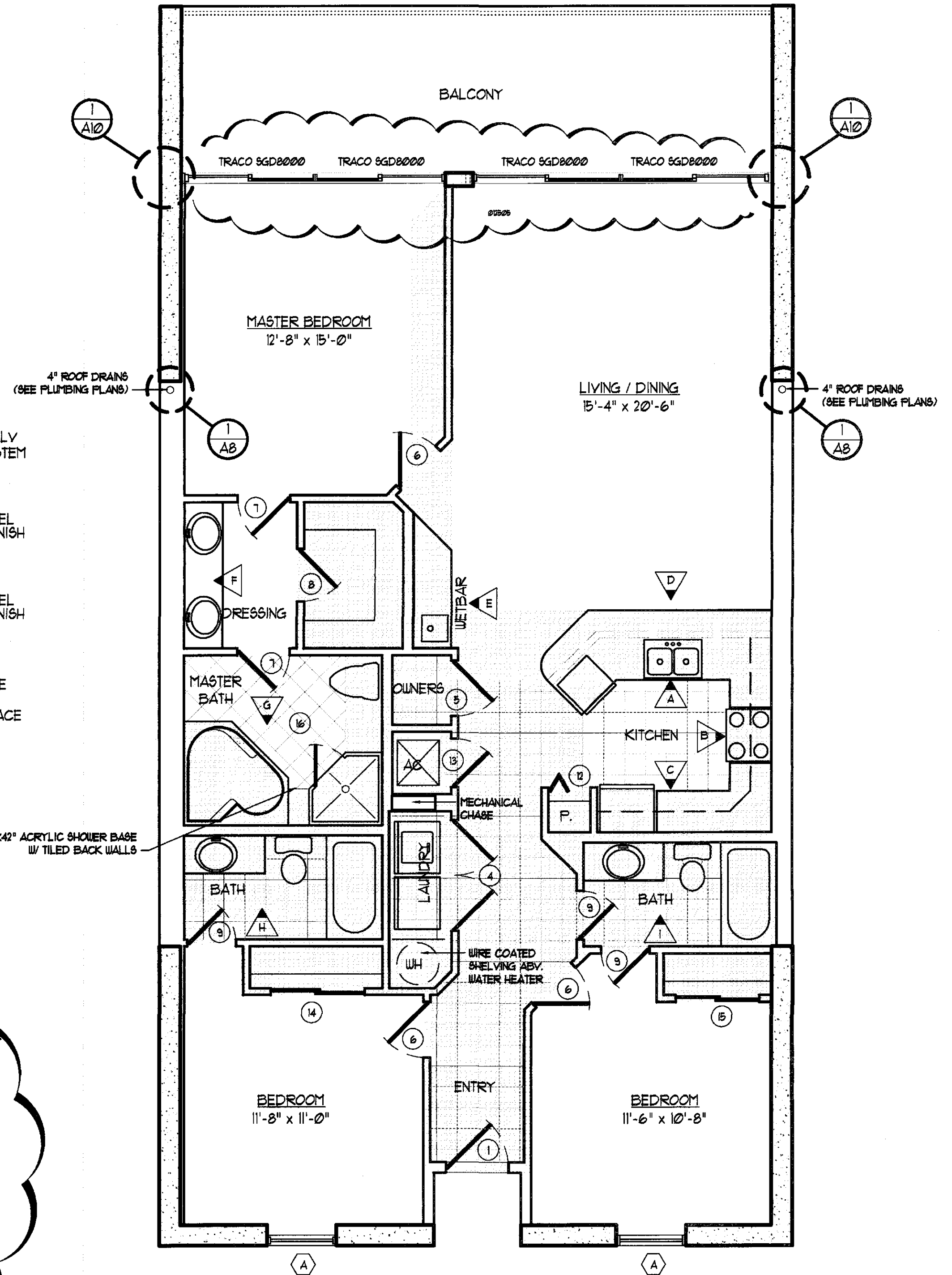
TYPICAL UNIT "A2" DIMENSION FLOOR PLAN
1/4" = 1'-0"

LEGEND

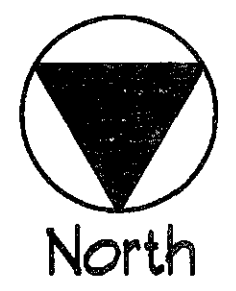
- (I) DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
- (A) DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
- (A) DENOTES INTERIOR ELEVATION SYMBOL
- [Pattern] DENOTES LIMITS OF CEILING FURRDOWNS. MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
- [Pattern] DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23)
- [Pattern] DENOTES CONCRETE SHEAR WALL. FINISH UNIT INTERIOR CONCRETE SHEAR WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Pattern] DENOTES CONCRETE WALL. FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Pattern] DENOTES CONCRETE MASONRY UNIT WALL. FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Pattern] DENOTES UNIT TYPICAL EXTERIOR WALL. 6" GALV STEEL STUDS (GAUGE VARIES PENDING BUILDING LEVEL) W/ 1 LAYER OF 3/8" FIRE RATED EXTERIOR GYPSUM WALL BOARD EXT FACE OF STUD. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED. INTERIOR FACE TO RECEIVE 1 3/8" TYPE "X" FIRE RATED GYPSUM WALL BOARD.
- [Pattern] DENOTES UNIT TYPICAL INTERIOR WALL. 3 3/8" 20 GA GALV STEEL STUDS @ 16"OC W/ 1 LAYER OF 1/2" GYPSUM WALL BOARD EACH FACE OF STUD.



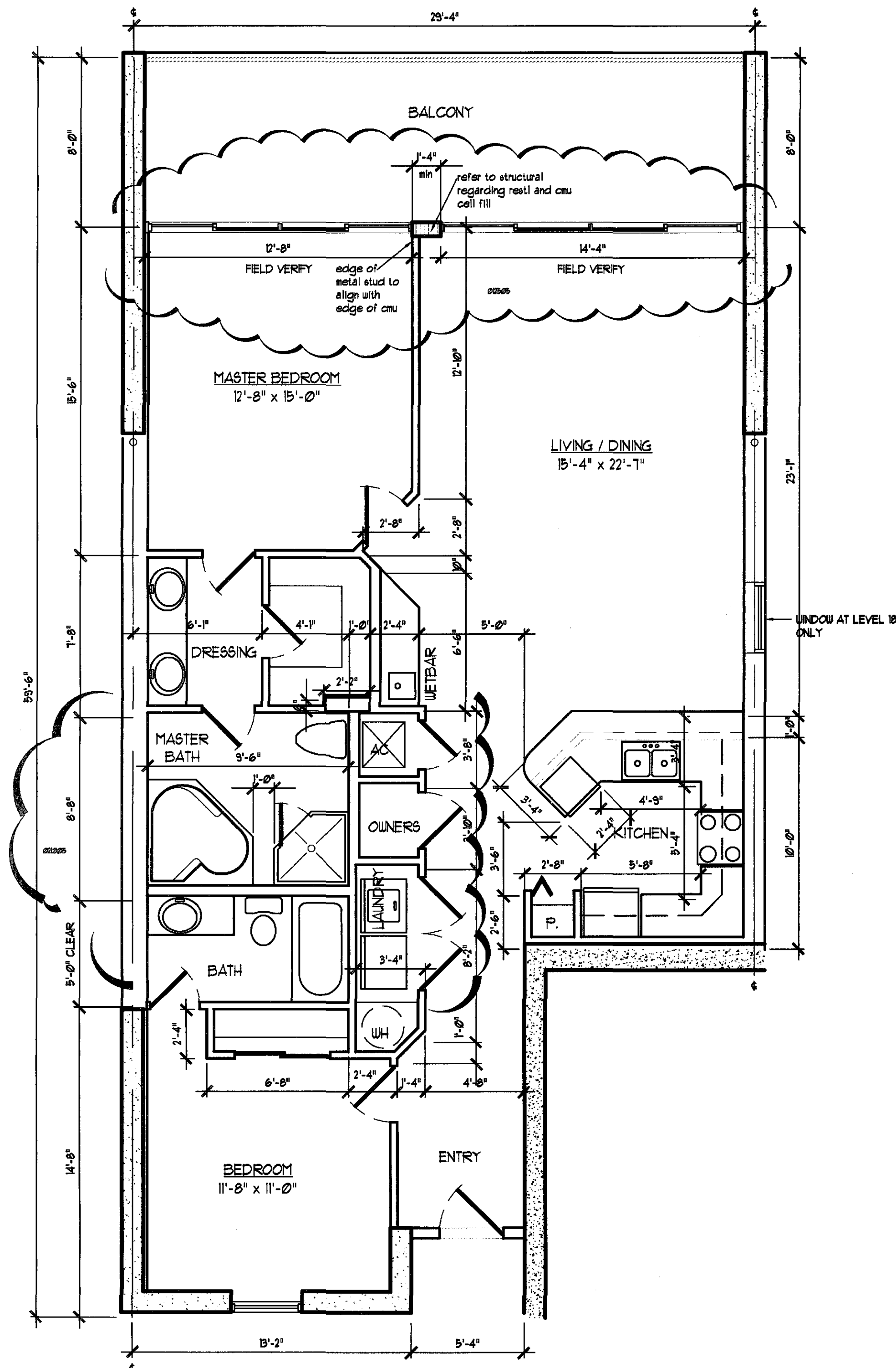
WHIRLPOOL TILE SURROUND
1/4" = 1'-0"



TYPICAL UNIT "A2" FLOOR PLAN
1/4" = 1'-0"



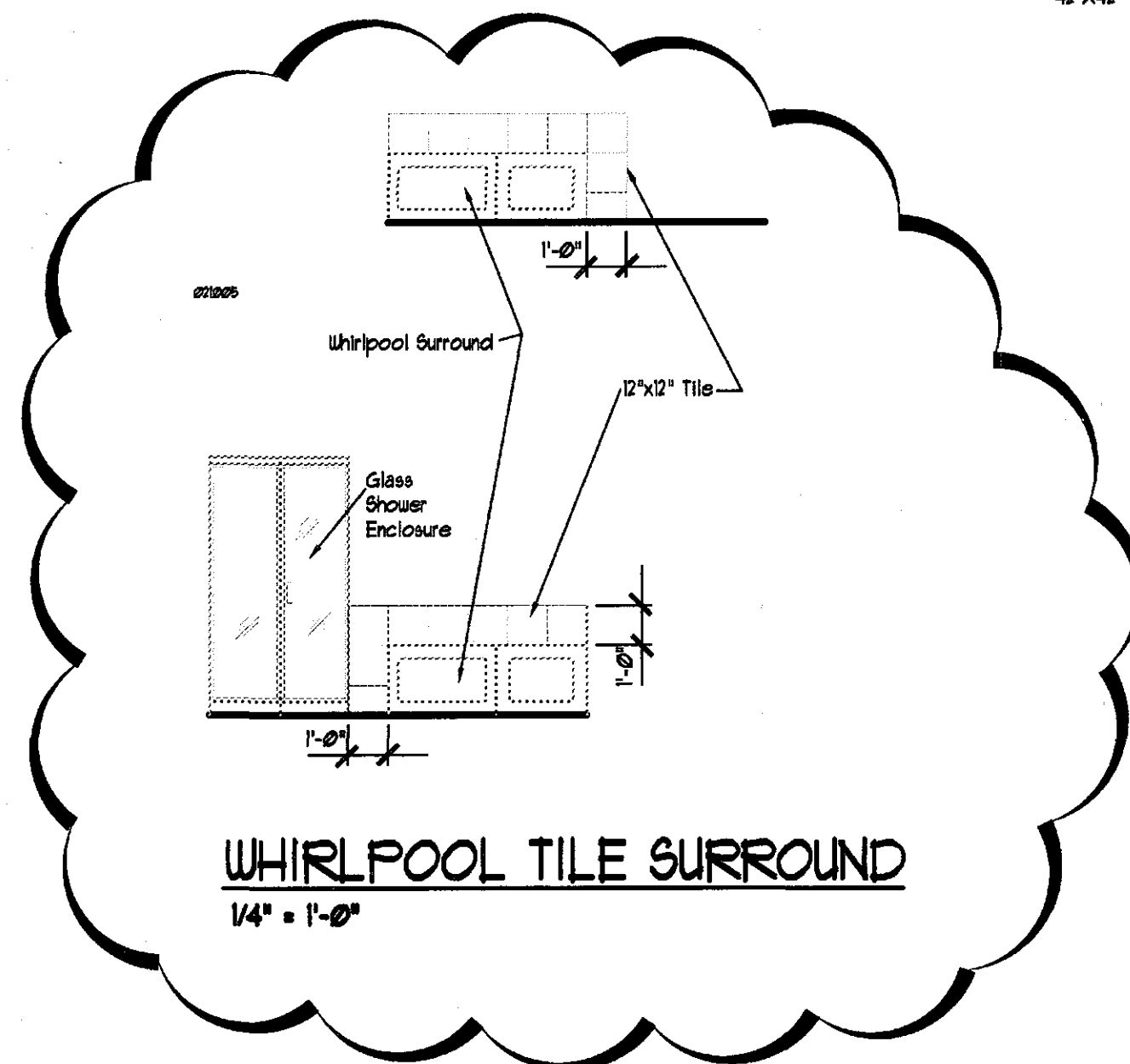
"Need Not Be Built"



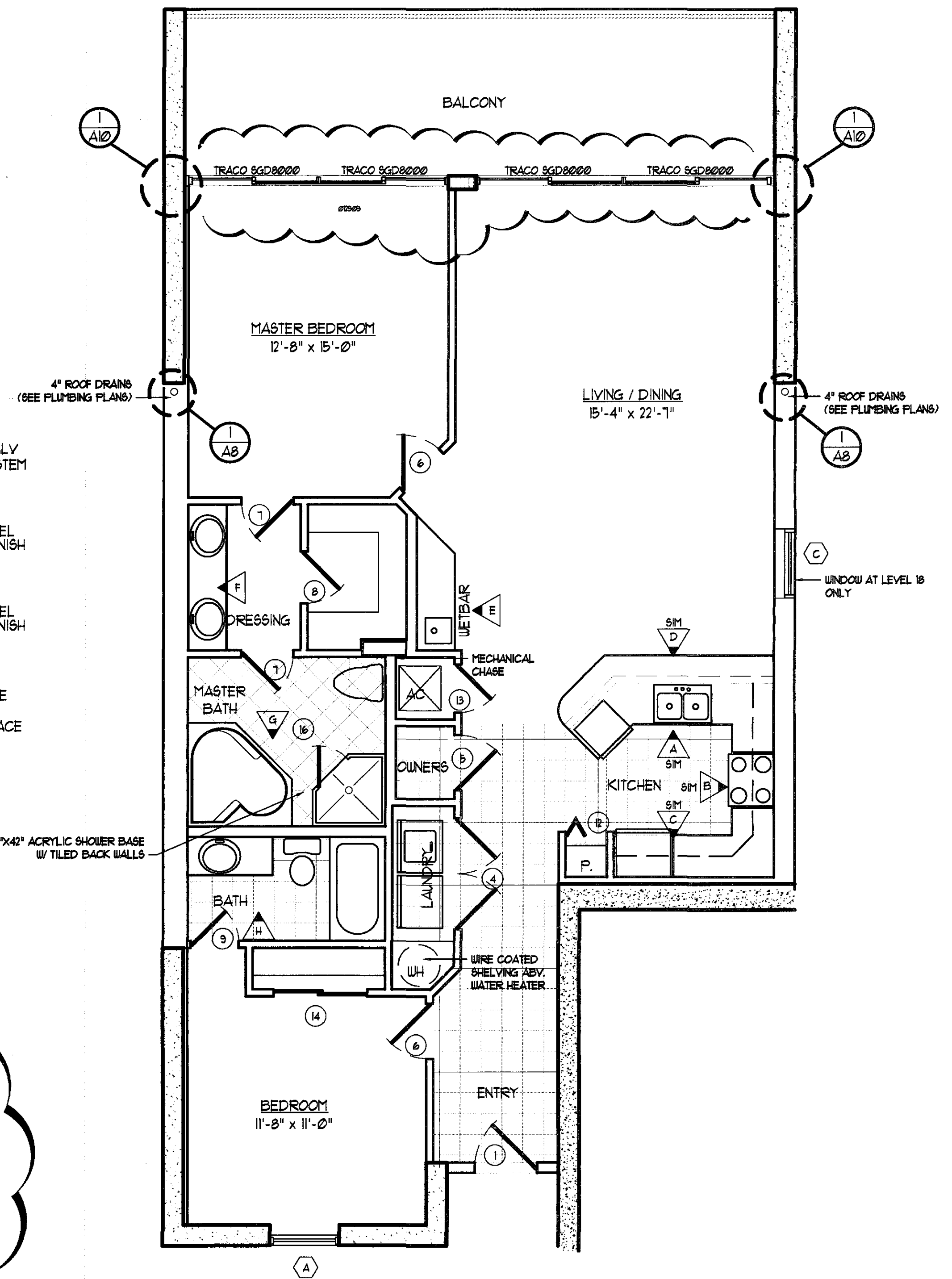
TYPICAL UNIT "B" DIMENSION FLOOR PLAN
1/4" = 1'-0" 1229ef

LEGEND

- ① DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
- Ⓐ DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
- △ DENOTES INTERIOR ELEVATION SYMBOL
- [Dotted Line] DENOTES LIMITS OF CEILING FURROWS. MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
- [Cross-hatch] DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23)
- [Stippled] DENOTES CONCRETE SHEAR WALL. FINISH UNIT INTERIOR CONCRETE SHEAR WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Solid] DENOTES CONCRETE WALL. FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Dotted] DENOTES CONCRETE MASONRY UNIT WALL. FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Double Line] DENOTES UNIT TYPICAL EXTERIOR WALL. 6" GALV STEEL STUDS (GAUGE VARIES FENDING BUILDING LEVEL) W/ 1 LAYER OF 3/8" FIRE RATED EXTERIOR GYPSUM WALL BOARD EXT FACE OF STUD. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED. INTERIOR FACE TO RECEIVE 1 3/8" TYPE "X" FIRE RATED GYPSUM WALL BOARD.
- [Single Line] DENOTES UNIT TYPICAL INTERIOR WALL. 3 3/8" 20 GA GALV STEEL STUDS @ 16"OC W/ 1 LAYER OF 1/2" GYPSUM WALL BOARD EACH FACE OF STUD.



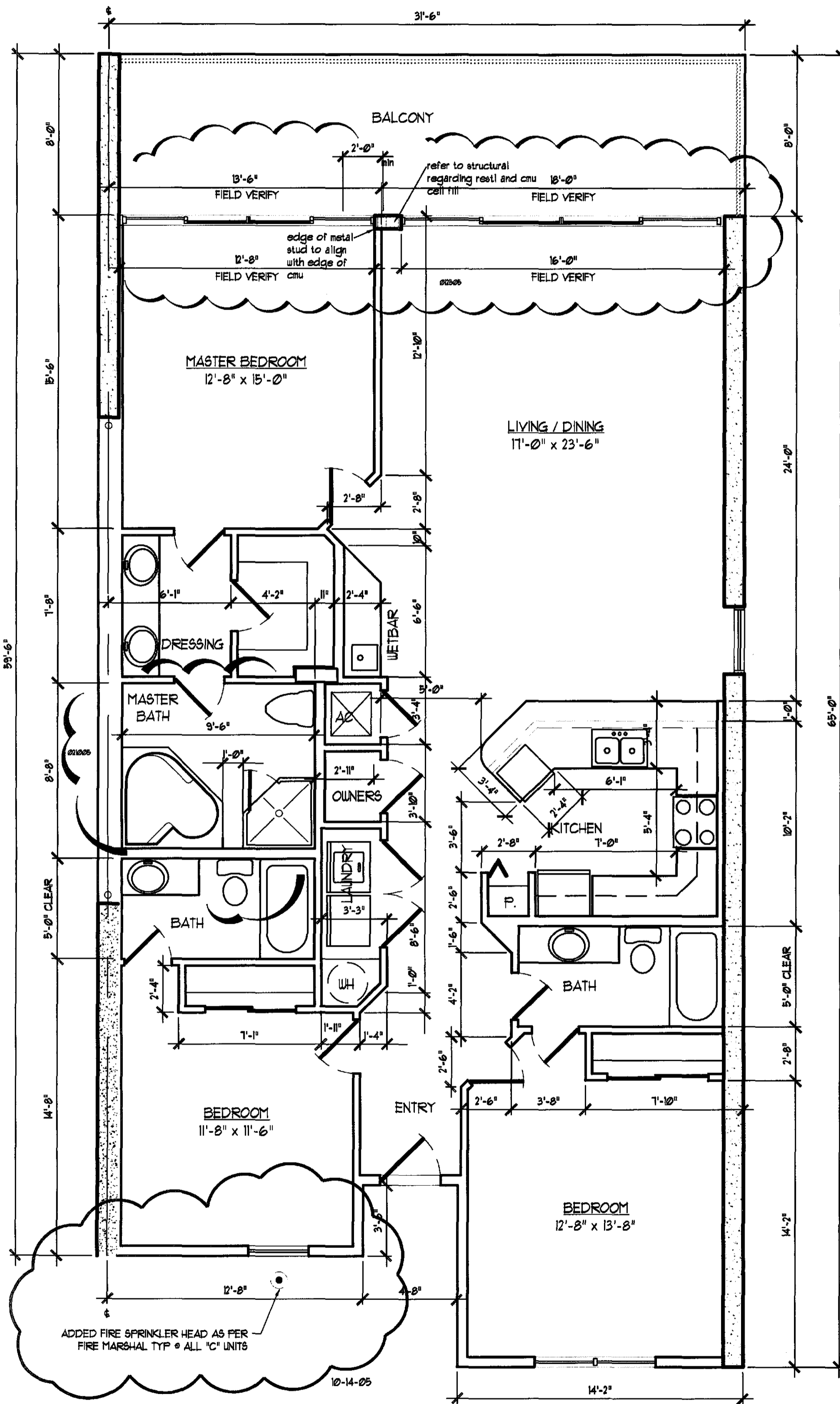
WHIRLPOOL TILE SURROUND
1/4" = 1'-0"



TYPICAL UNIT "B" FLOOR PLAN
1/4" = 1'-0" 1229ef



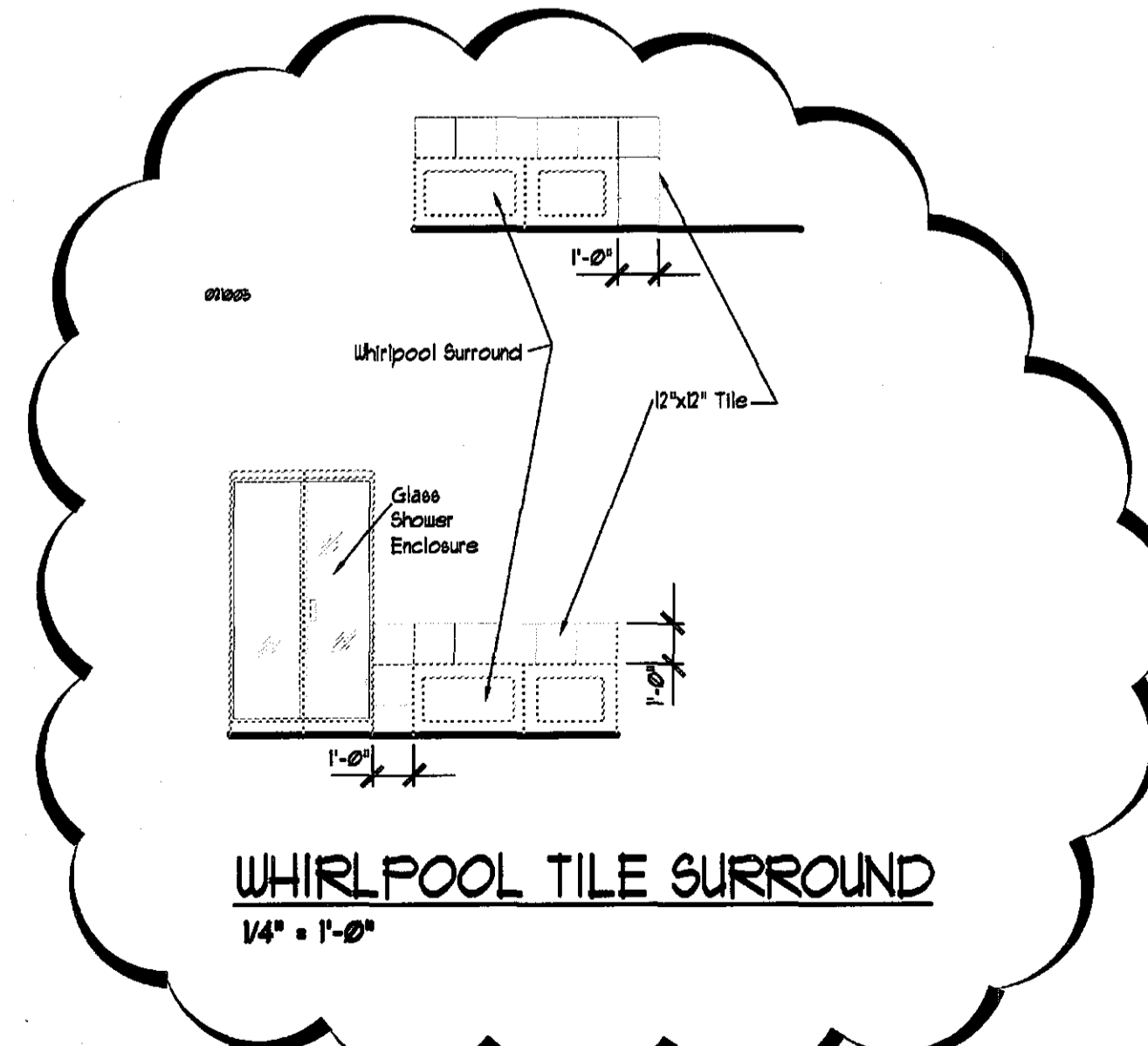
"Need Not Be Built"



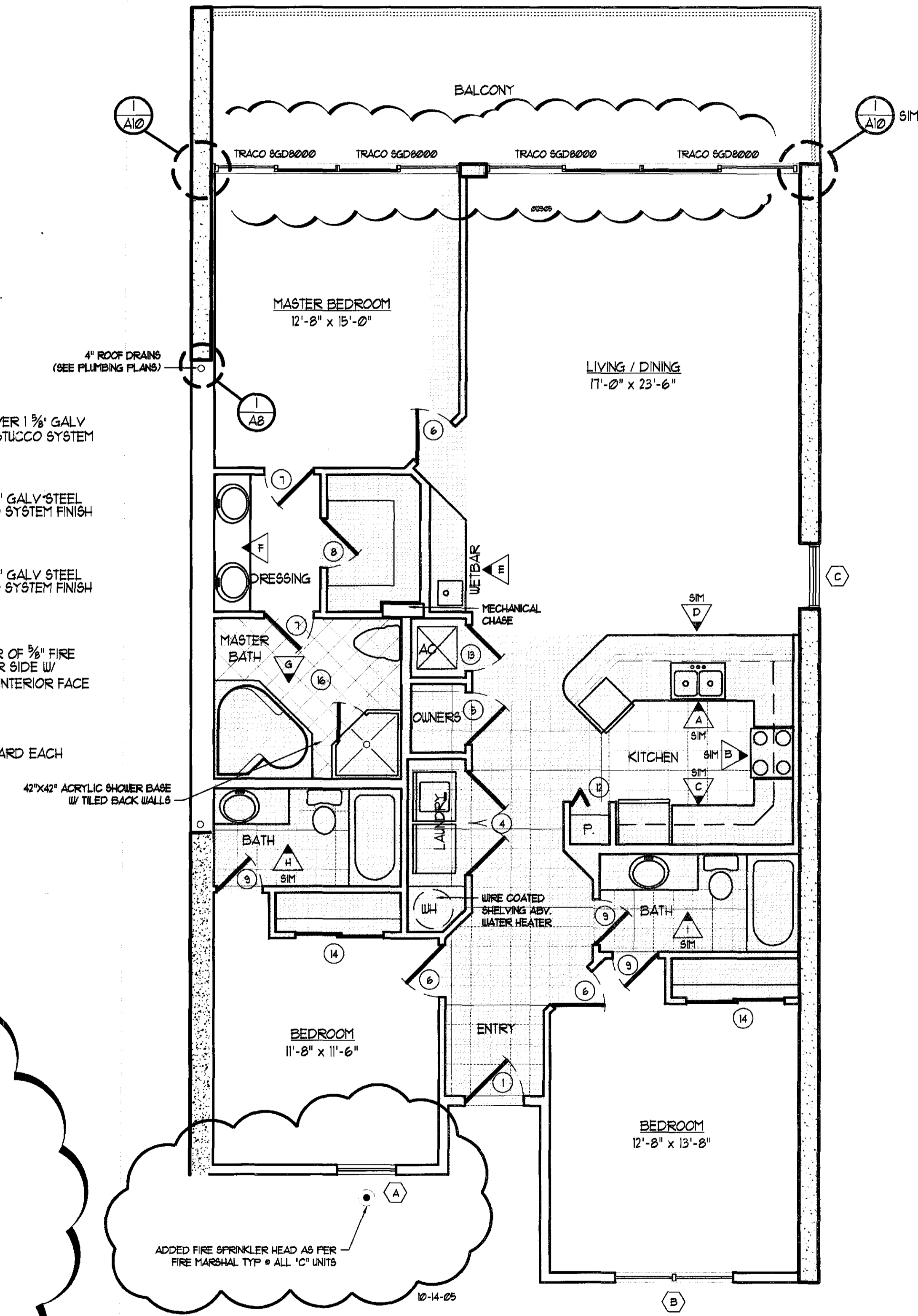
TYPICAL UNIT "C" DIMENSION FLOOR PLAN
1/4" = 1'-0"
B66ef.

LEGEND

- ⊙ DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
- ⊕ DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
- ▲ DENOTES INTERIOR ELEVATION SYMBOL
- [Pattern] DENOTES LIMITS OF CEILING FURREDOWNS. MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
- [Pattern] DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23)
- [Pattern] DENOTES CONCRETE SHEAR WALL.
FINISH UNIT INTERIOR CONCRETE SHEAR WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Pattern] DENOTES CONCRETE WALL.
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- [Pattern] DENOTES CONCRETE MASONRY UNIT WALL.
FINISH UNIT INTERIOR CONCRETE WALL W/ 1/2" GYPSUM WALL BOARD OVER 1 3/8" GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Pattern] DENOTES UNIT TYPICAL EXTERIOR WALL.
6" GALV STEEL STUDS (GAUGE VARIES PENDING BUILDING LEVEL) W/ 1 LAYER OF 5/8" FIRE RATED EXTERIOR GYPSUM WALL BOARD EXT FACE OF STUD. FINISH EXTERIOR SIDE W/ CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED. INTERIOR FACE TO RECEIVE 1 3/8" TYPE "X" FIRE RATED GYPSUM WALL BOARD.
- [Pattern] DENOTES UNIT TYPICAL INTERIOR WALL.
3 3/8" 20 GA GALV STEEL STUDS @ 16"OC W/ 1 LAYER OF 1/2" GYPSUM WALL BOARD EACH FACE OF STUD.



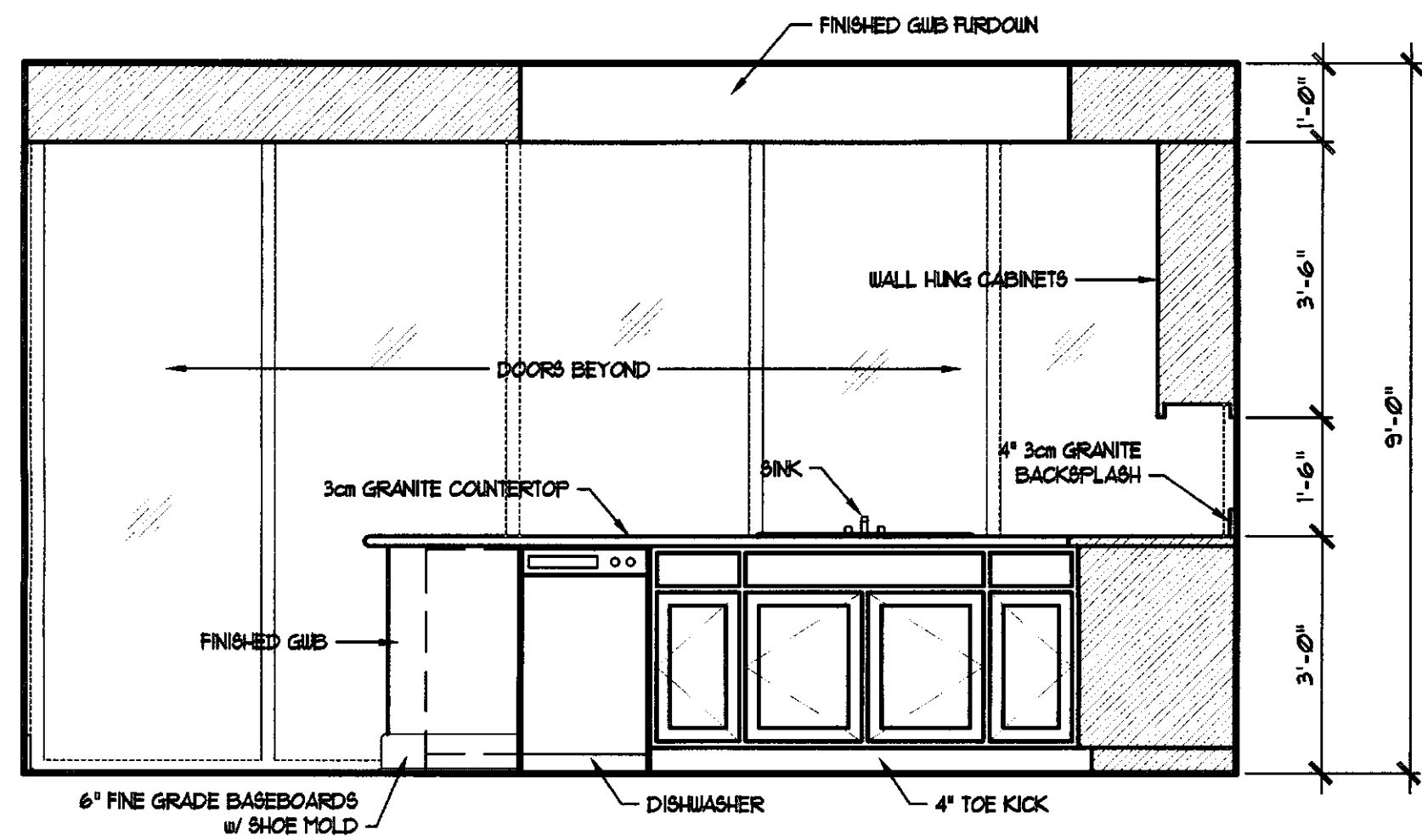
WHIRLPOOL TILE SURROUND
1/4" = 1'-0"



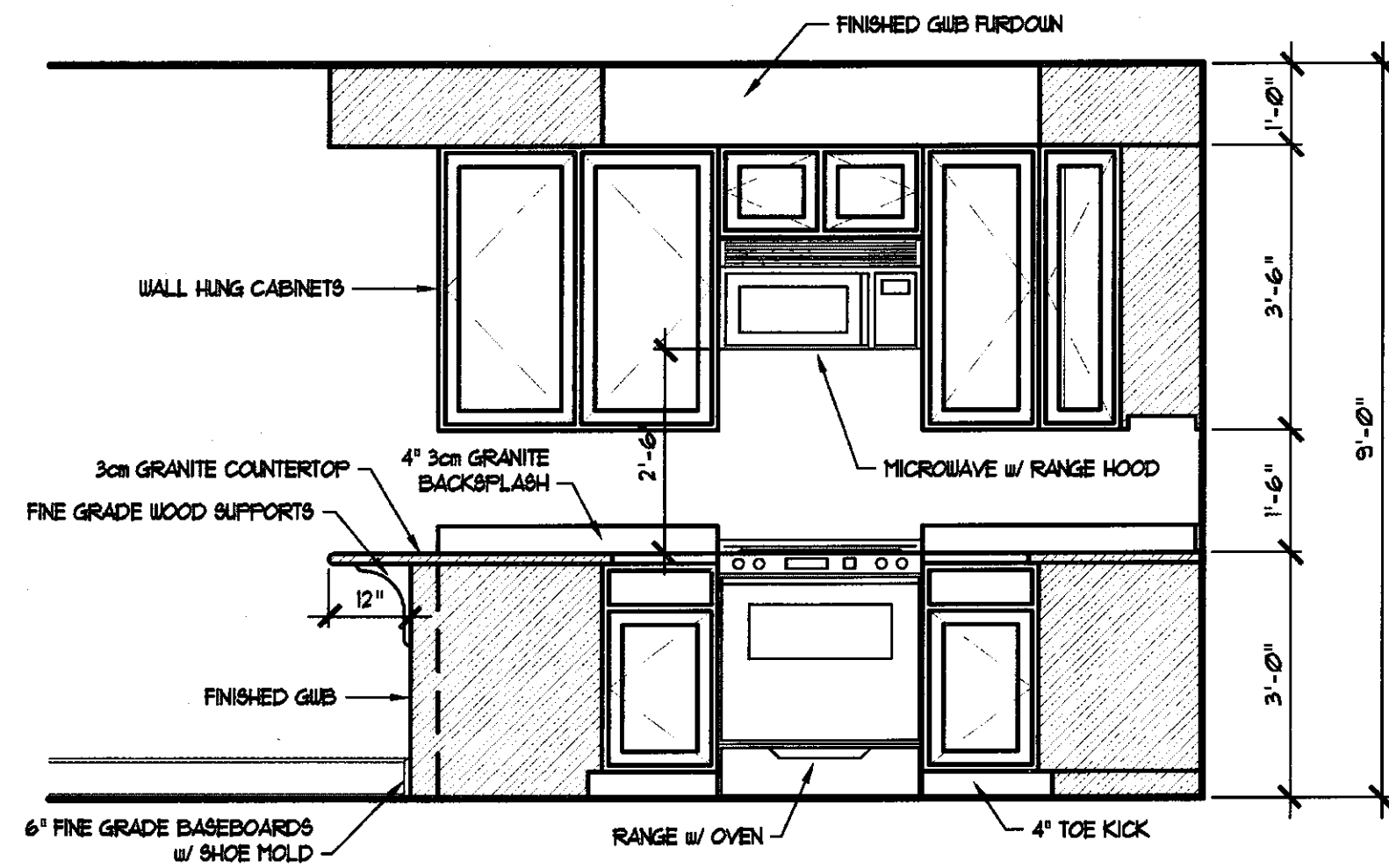
TYPICAL UNIT "C" FLOOR PLAN
1/4" = 1'-0"
B66ef.



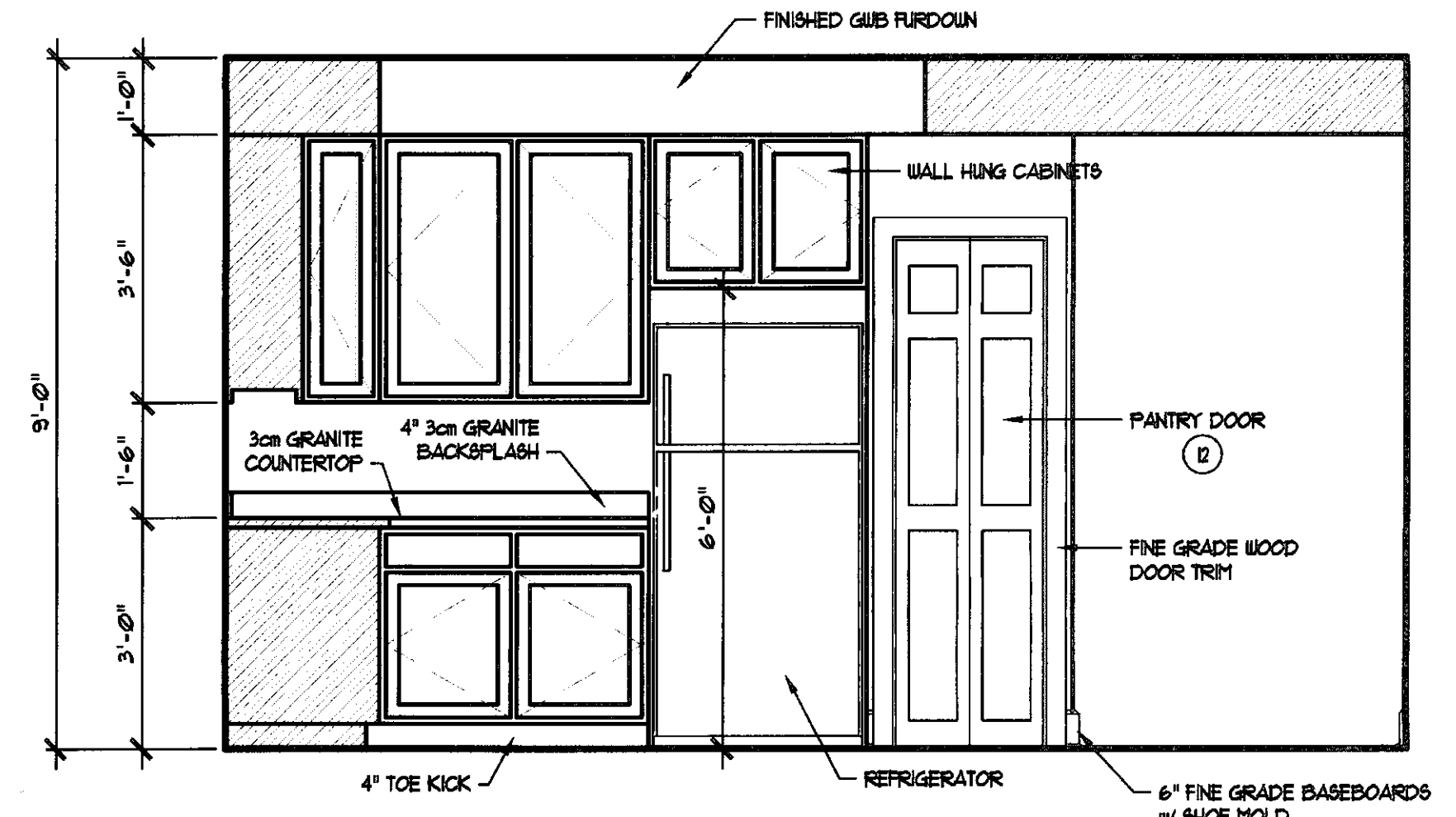
"Need Not Be Built"



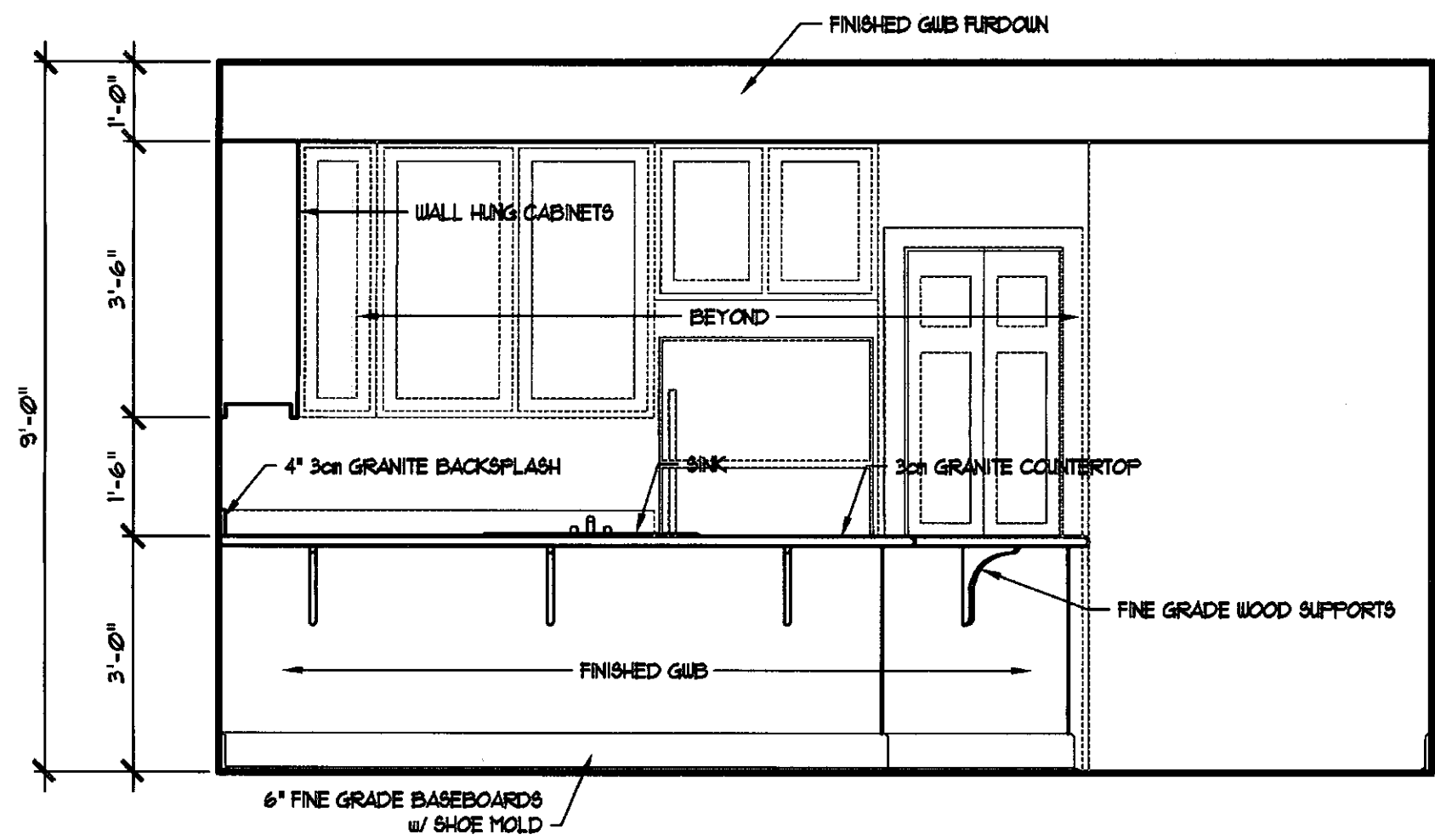
A KITCHEN



B KITCHEN

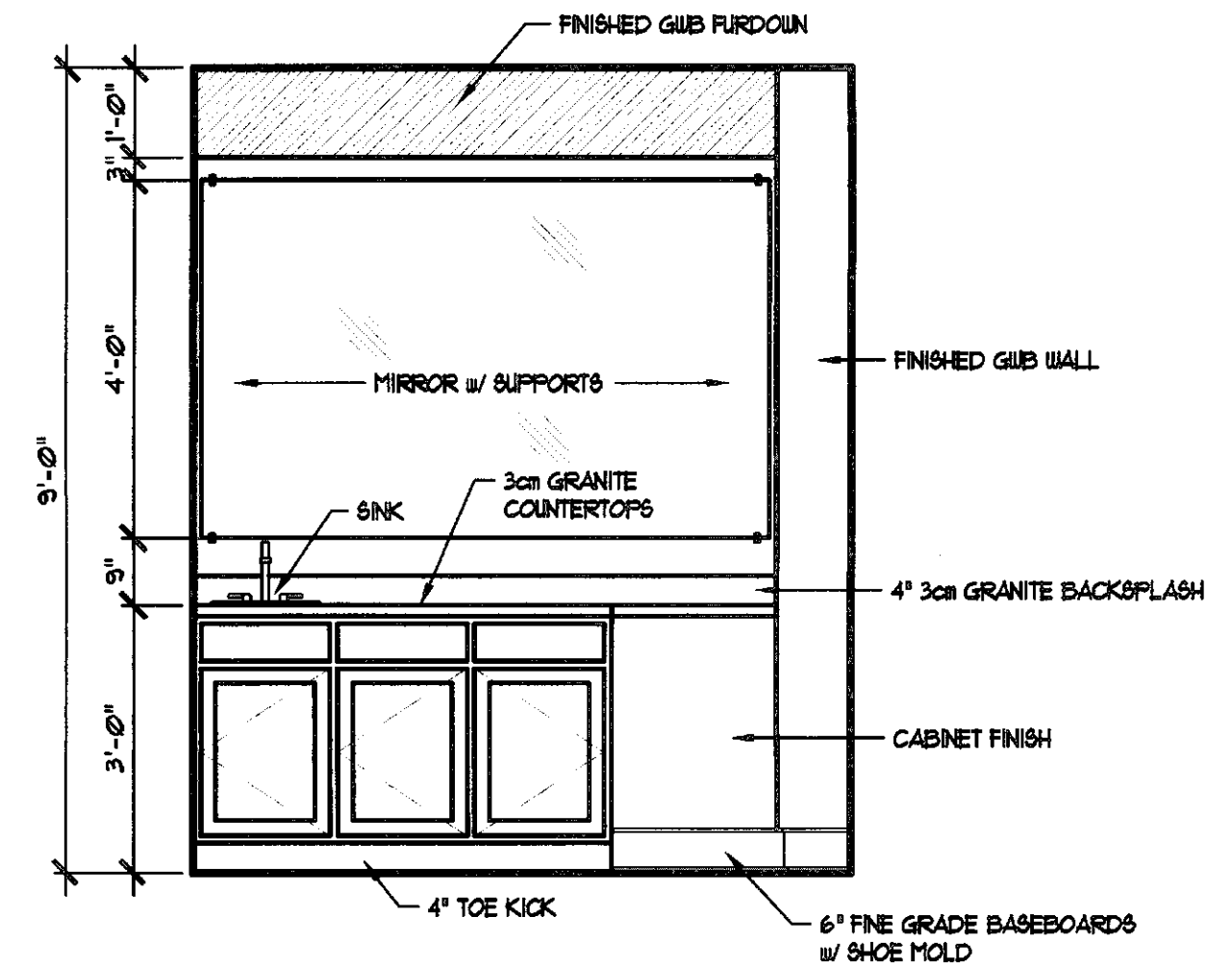


C KITCHEN

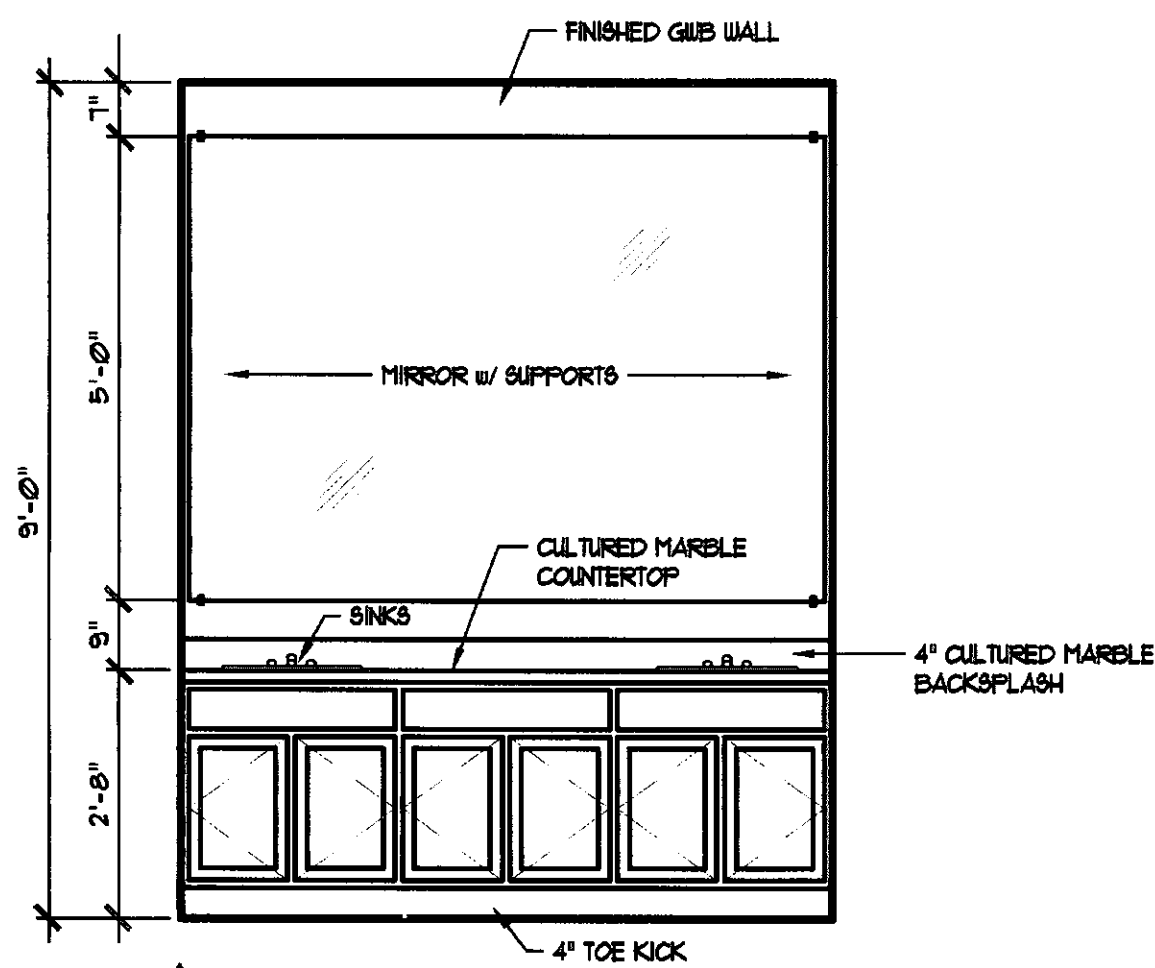


D KITCHEN

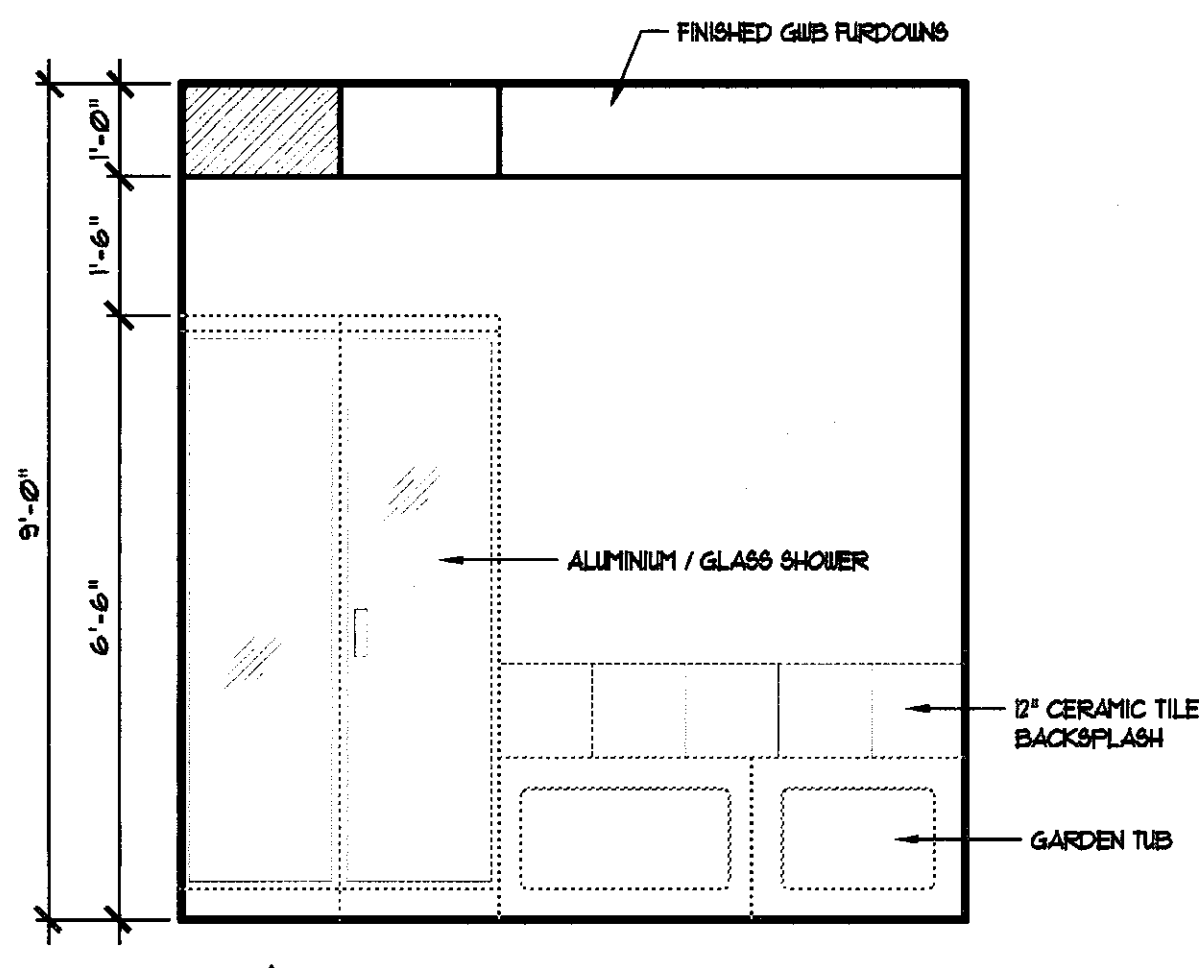
INTERIOR ELEVATIONS FOR ALL TYPICAL UNITS - A, A2, B, & C
1/2" = 1'-0"



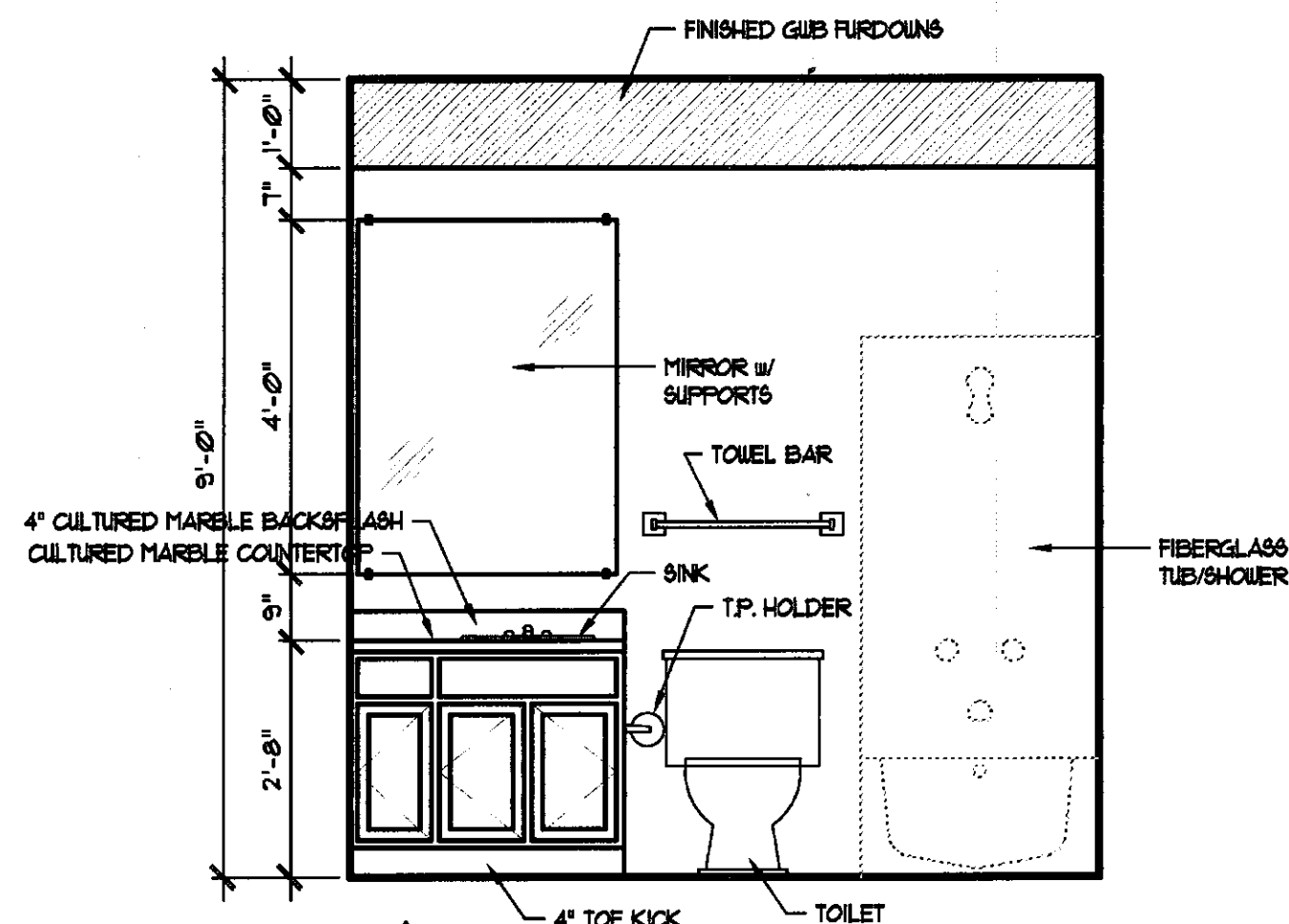
E WETBAR



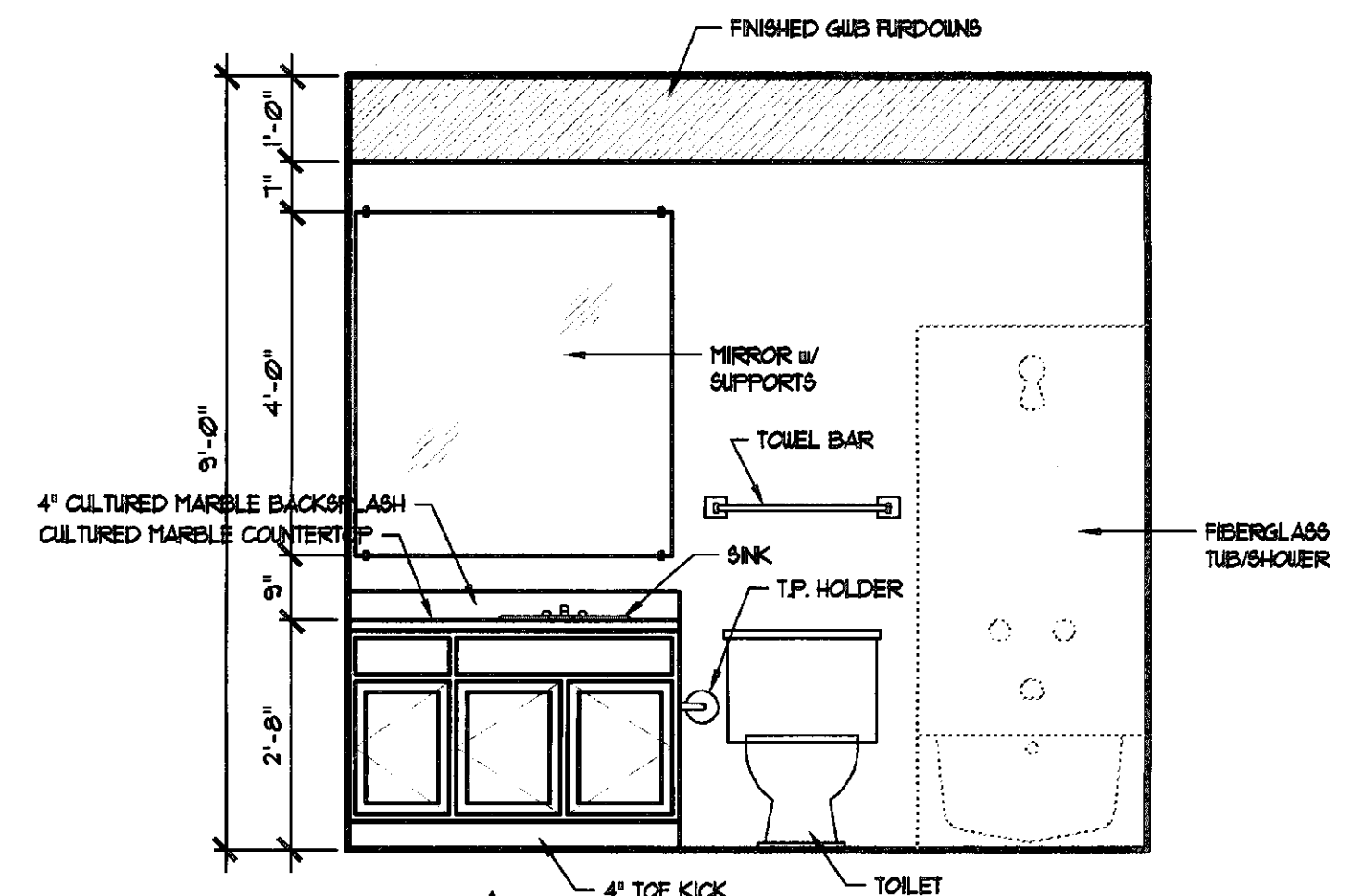
F MASTER VANITY



G MASTER BATH



H BATH



I BATH



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

30 N. PALAFOX
PENSACOLA,
FLORIDA 32501

(850) 432-6011
FAX 435-9001

Interior Elevations

San Carlos Condominium
Gulf Shores, Alabama

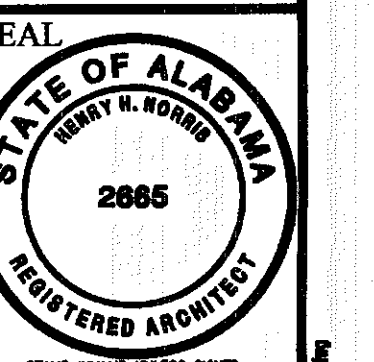
JOB NO.: 200301

CAD: Rlan

CHECKED: HN

DATE: 5/21/04

REVISIONS:



SHEET

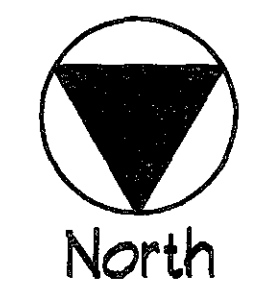
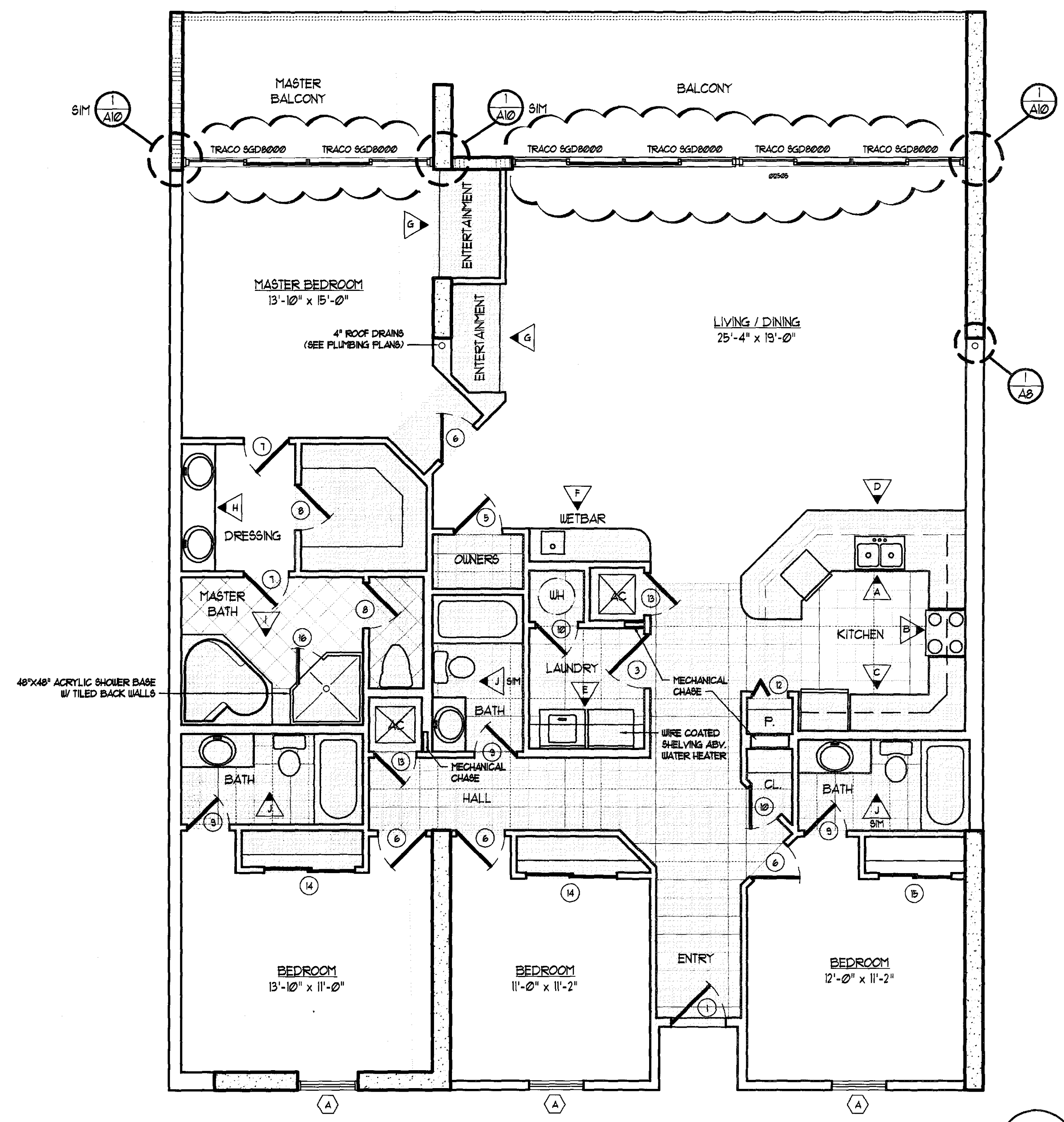
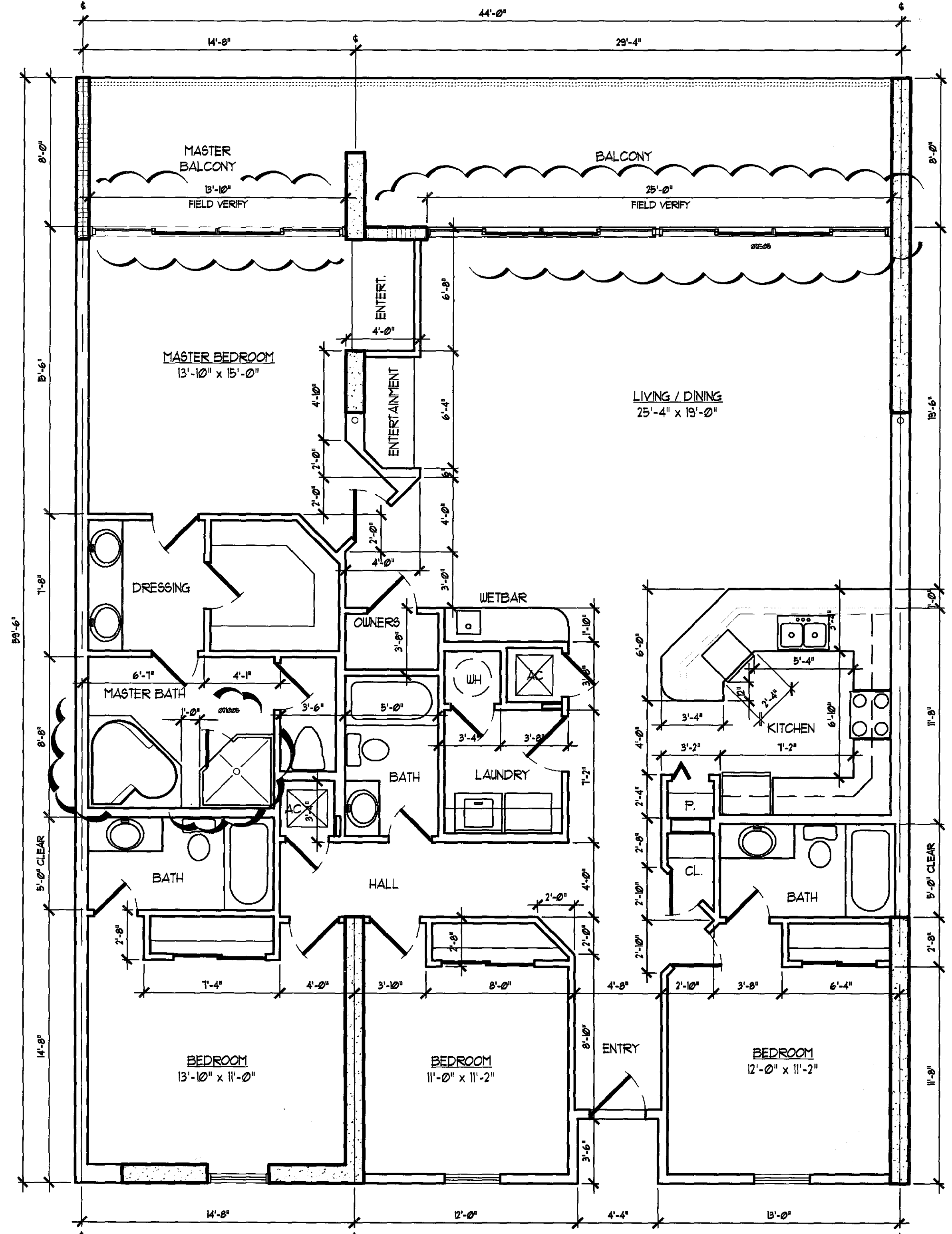
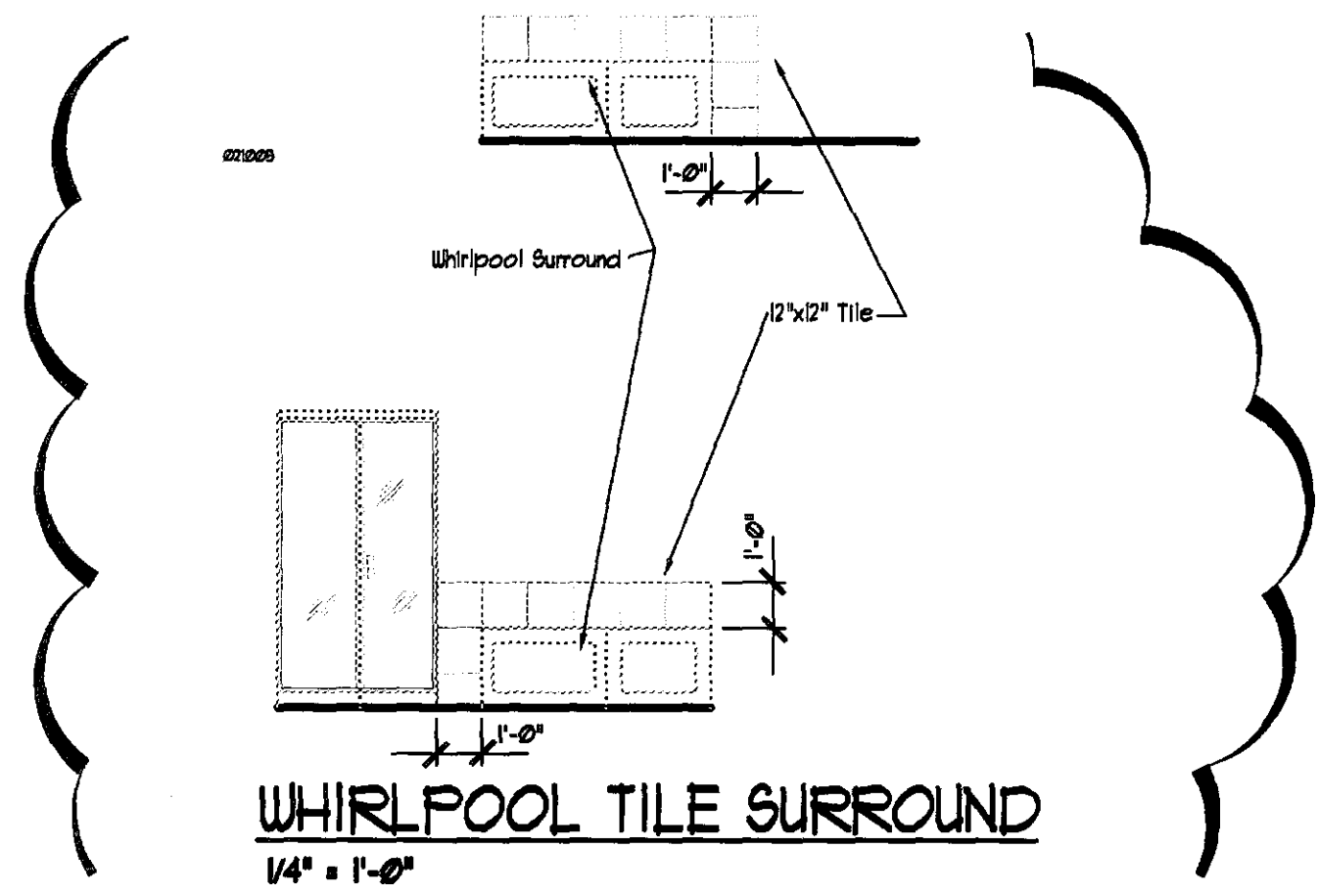
A18

OF 40

"Need Not Be Built"

LEGEND

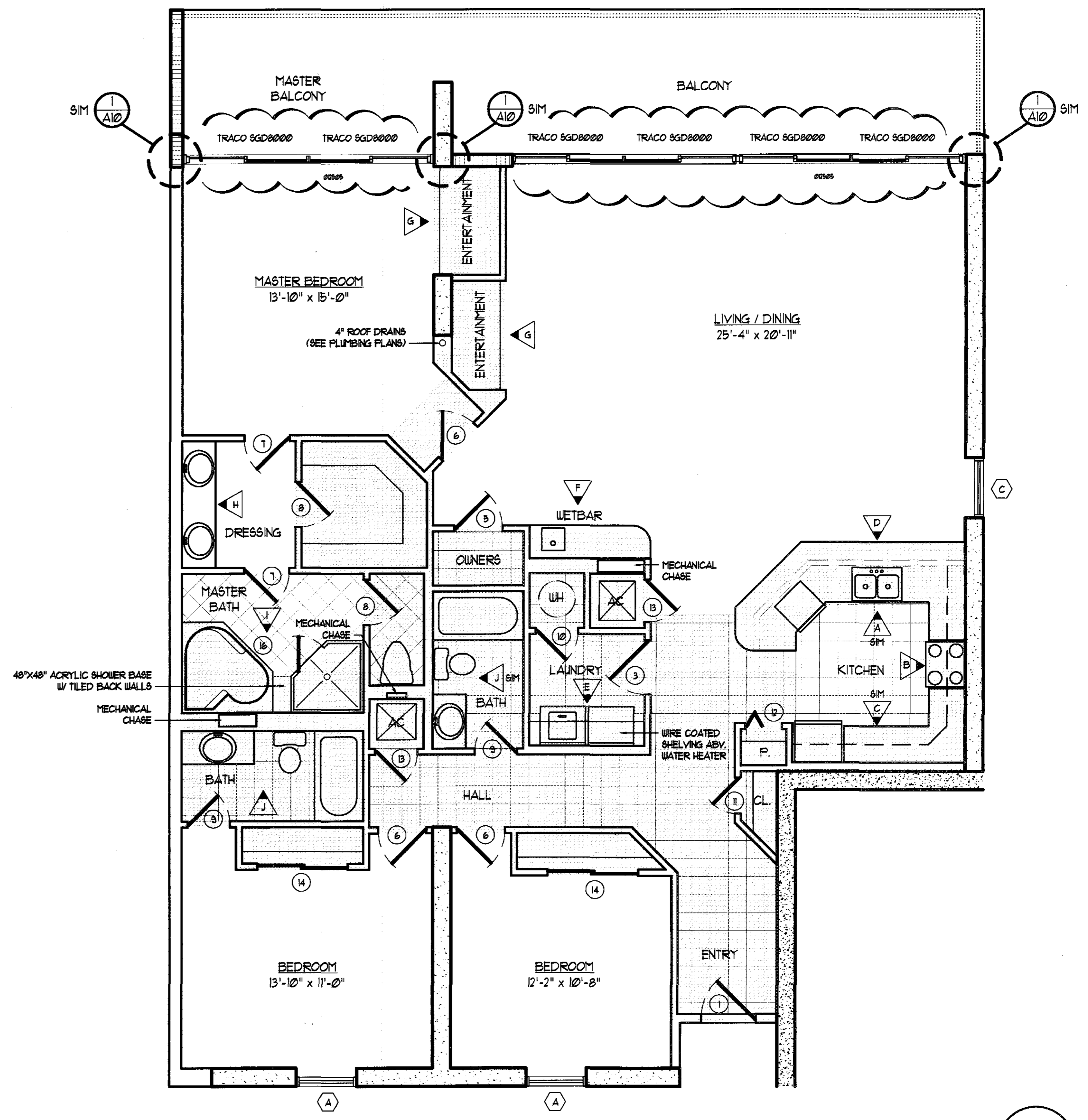
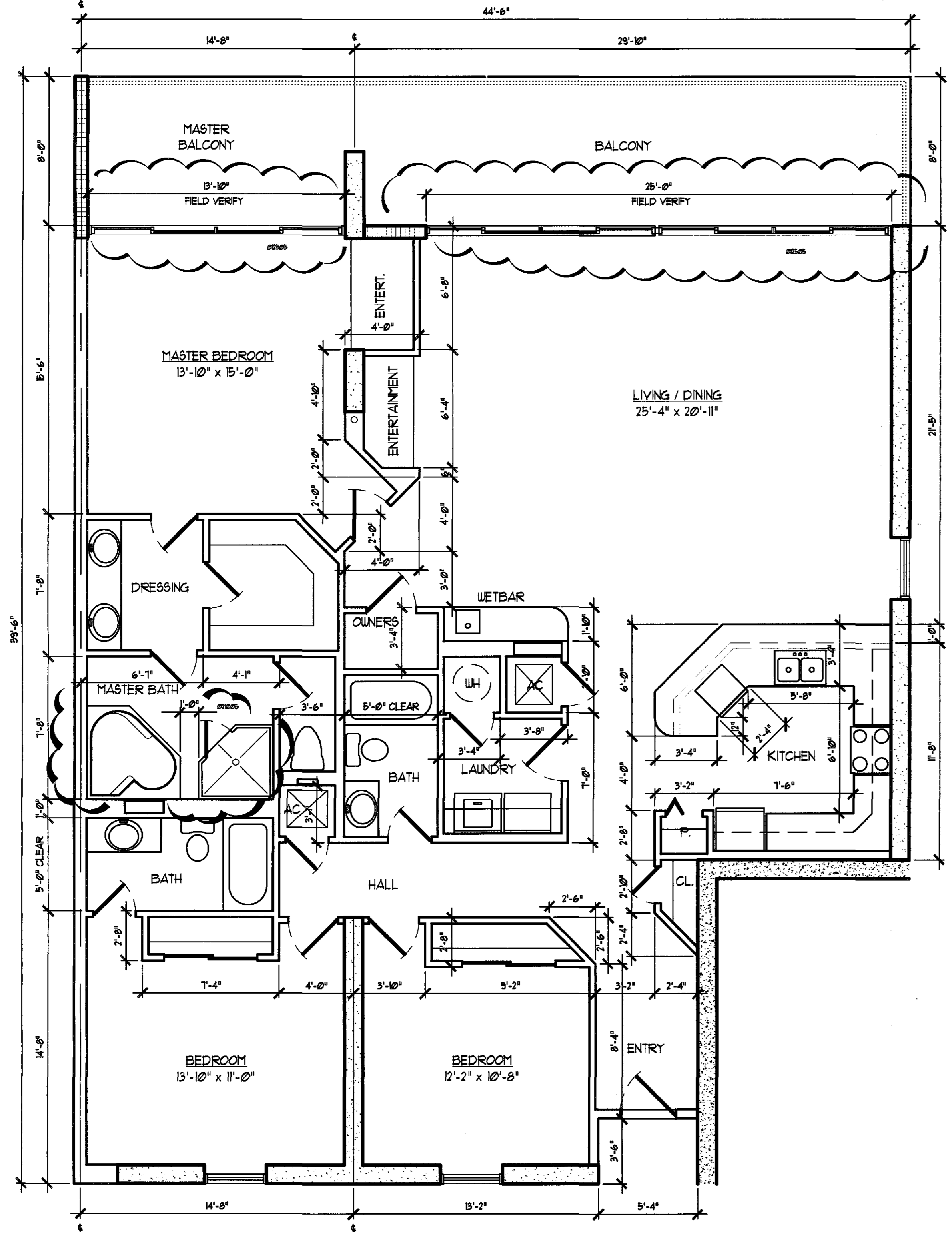
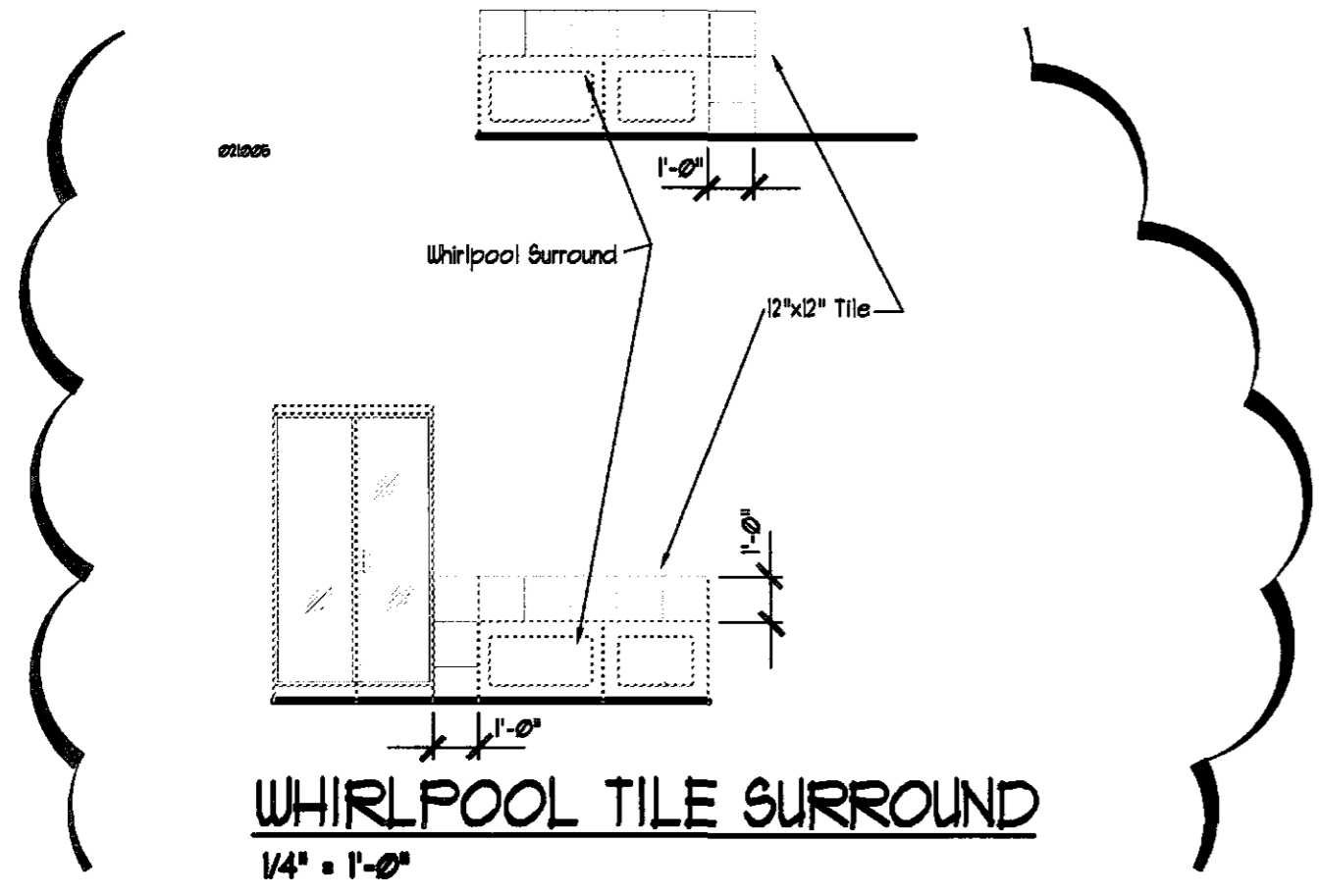
- ① DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
- △ DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
- ▲ DENOTES INTERIOR ELEVATION SYMBOL
- [Dotted Box] DENOTES LIMITS OF CEILING FURRDOWNS. MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
- [Diagonal Lines Box] DENOTES LIMITS OF TILE FLOORING - (SEE FINISH SCHEDULE SHEET A23)
- [Stippled Box] DENOTES CONCRETE SHEAR WALL. FINISH UNIT INTERIOR CONCRETE SHEAR WALL $\frac{1}{2}$ " GYPSUM WALL BOARD OVER $1\frac{1}{2}$ " GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE $\frac{1}{2}$ " CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Solid Line Box] DENOTES CONCRETE WALL.
- [Dotted Box] DENOTES CONCRETE MASONRY UNIT WALL. FINISH UNIT INTERIOR CONCRETE WALL $\frac{1}{2}$ " GYPSUM WALL BOARD OVER $1\frac{1}{2}$ " GALV STEEL FURRING CHANNEL @ 24"OC. FINISH EXTERIOR SIDE $\frac{1}{2}$ " CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED.
- [Double Line Box] DENOTES UNIT TYPICAL EXTERIOR WALL. 6" GALV STEEL STUDS (GAUGE VARIES PENDING BUILDING LEVEL) $\frac{1}{2}$ " LAYER OF $\frac{3}{8}$ " FIRE RATED EXTERIOR GYPSUM WALL BOARD EXT FACE OF STUD. FINISH EXTERIOR SIDE $\frac{1}{2}$ " CONVENTIONAL STUCCO SYSTEM FINISH AND CONTROL JOINTS AS SPECIFIED. INTERIOR FACE TO RECEIVE $1\frac{1}{2}$ " TYPE "X" FIRE RATED GYPSUM WALL BOARD.
- [Single Line Box] DENOTES UNIT TYPICAL INTERIOR WALL. 3 $\frac{3}{8}$ " 20 GA. GALV STEEL STUDS @ 16"OC $\frac{1}{2}$ " LAYER OF $\frac{1}{2}$ " GYPSUM WALL BOARD EACH FACE OF STUD.

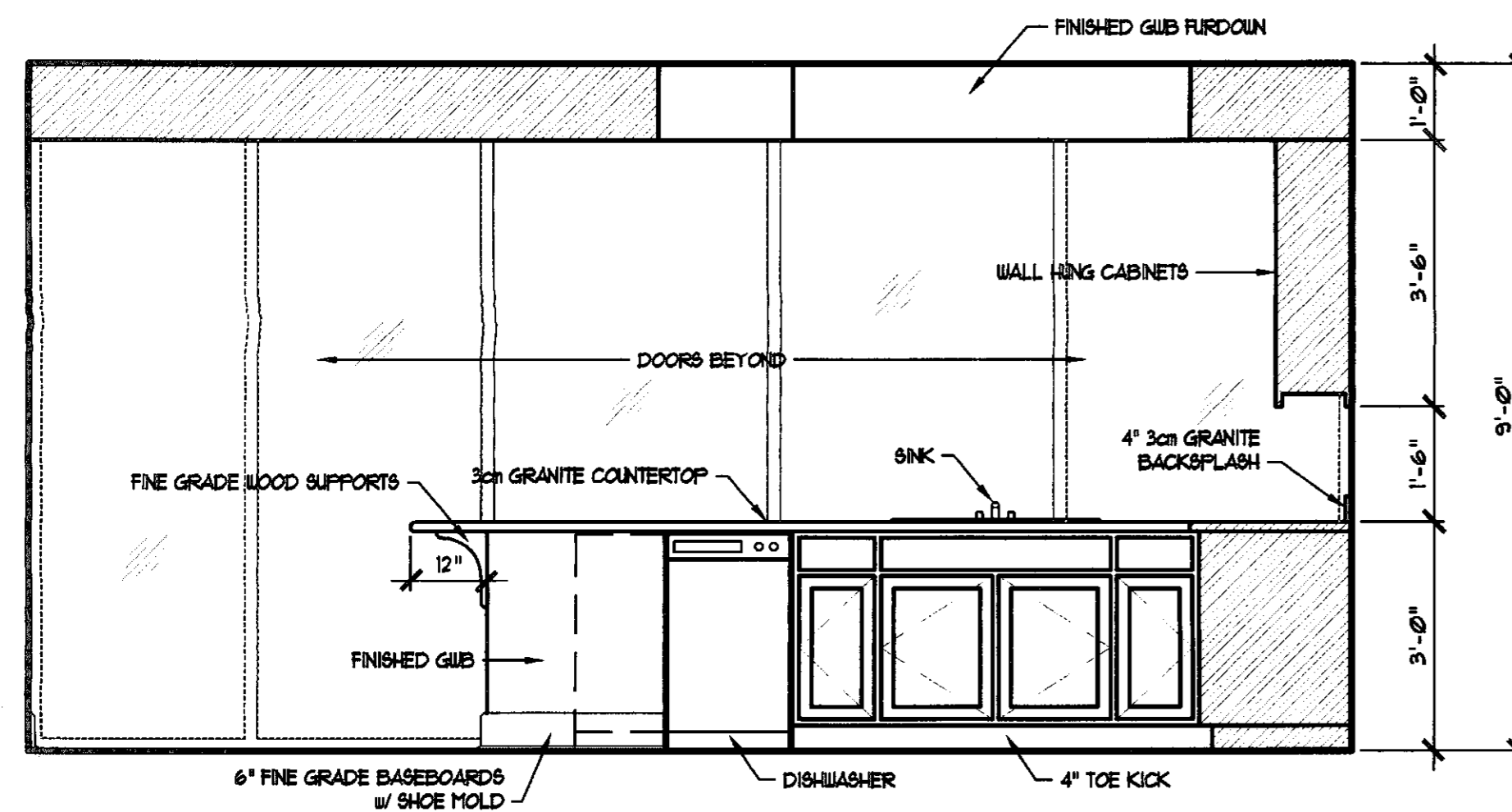


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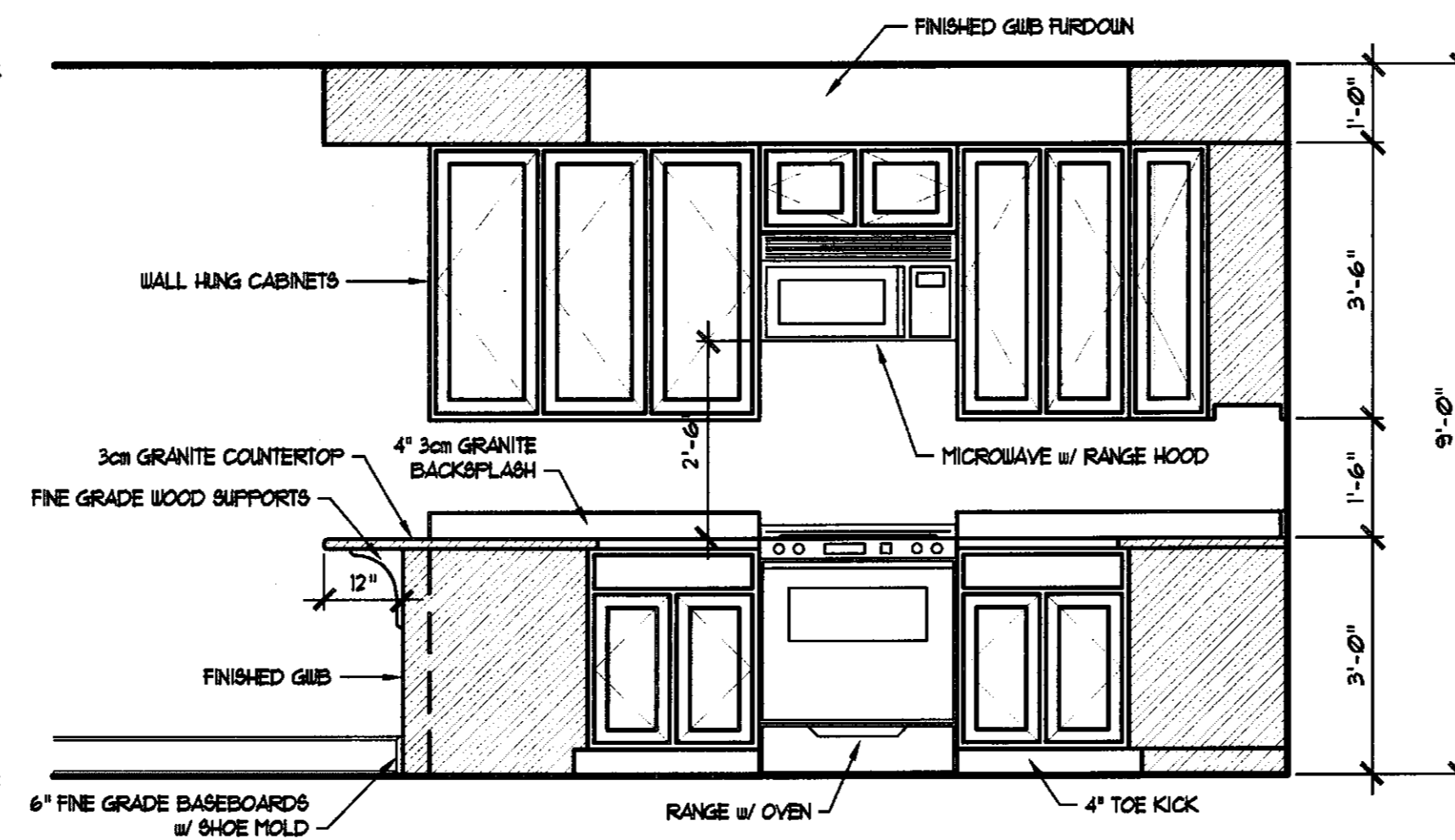
LEGEND

- (1) DENOTES DOOR SYMBOL - (SEE DOOR SCHEDULE SHEET A22)
- (A) DENOTES WINDOW SYMBOL - (SEE WINDOW SCHEDULE SHEET A22)
- (A) DENOTES INTERIOR ELEVATION SYMBOL
- [Pattern] DENOTES LIMITS OF CEILING FURRDOWNS. MINIMUM CEILING HEIGHT TO BE 8FT. AS REQUIRED TO CLEAR PIPES & DUCTS.
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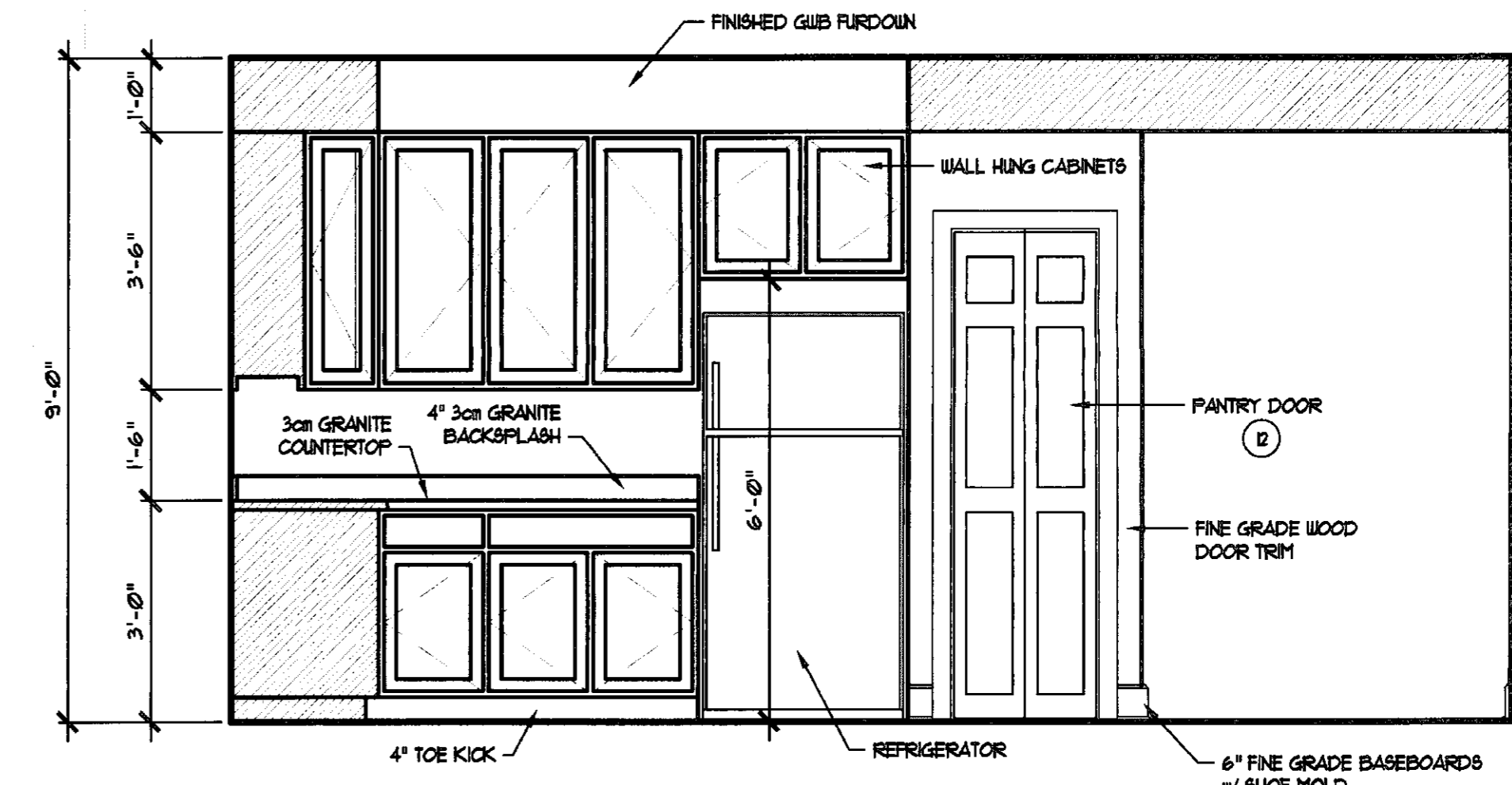




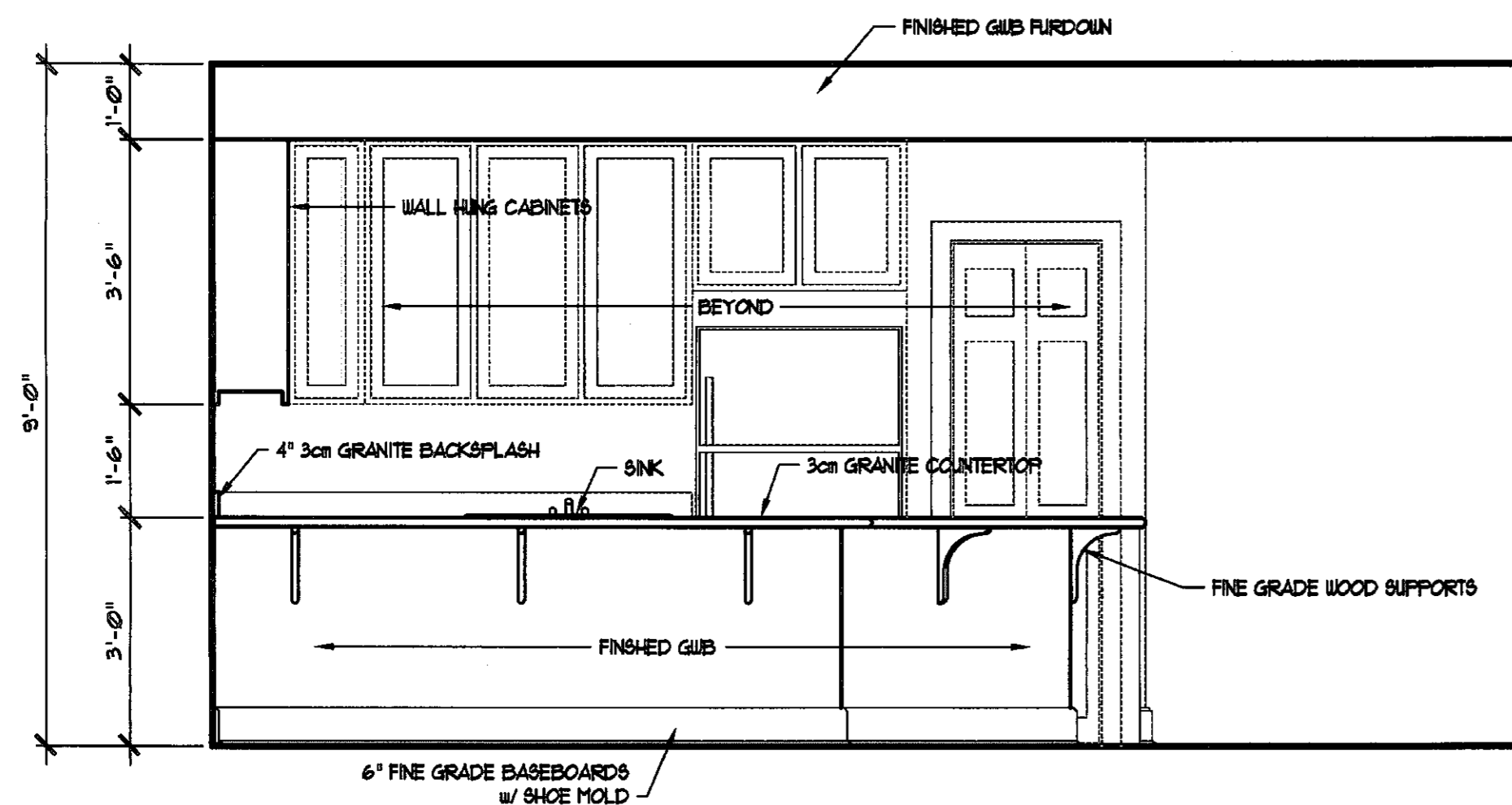
A KITCHEN



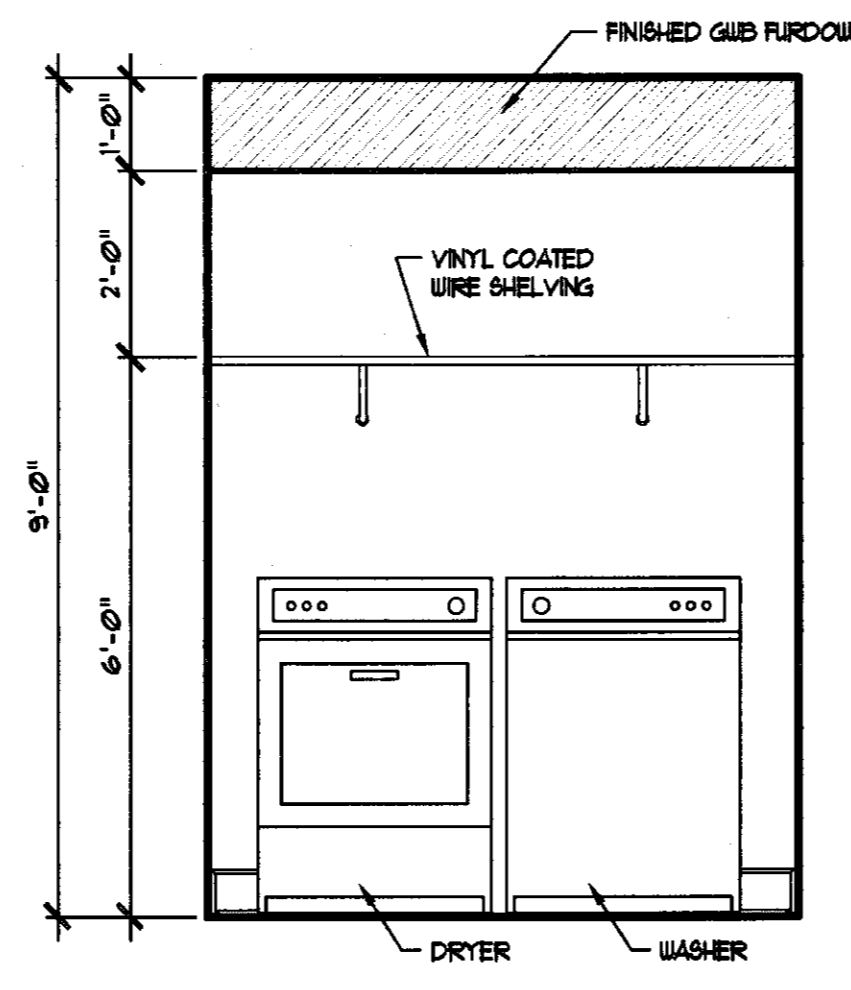
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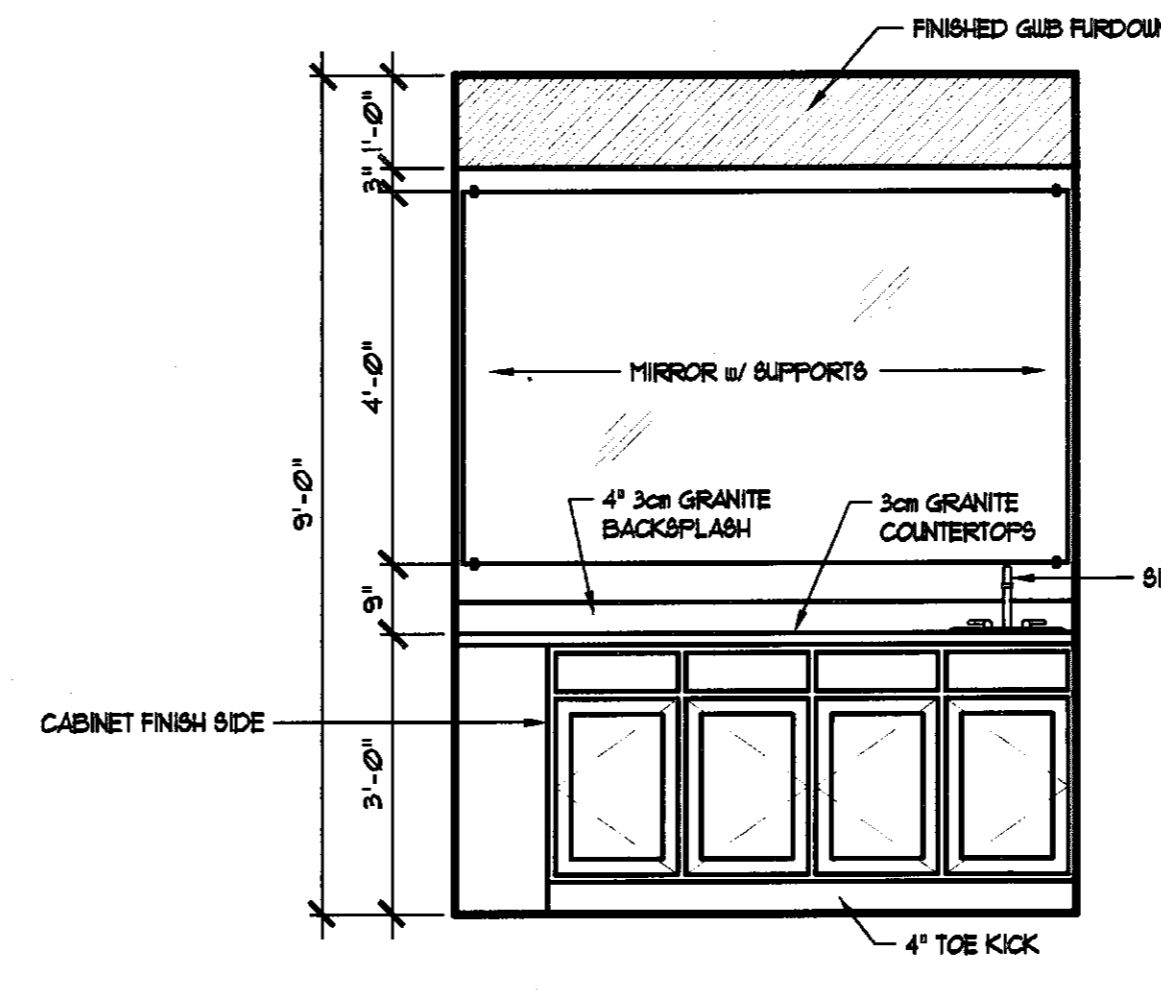
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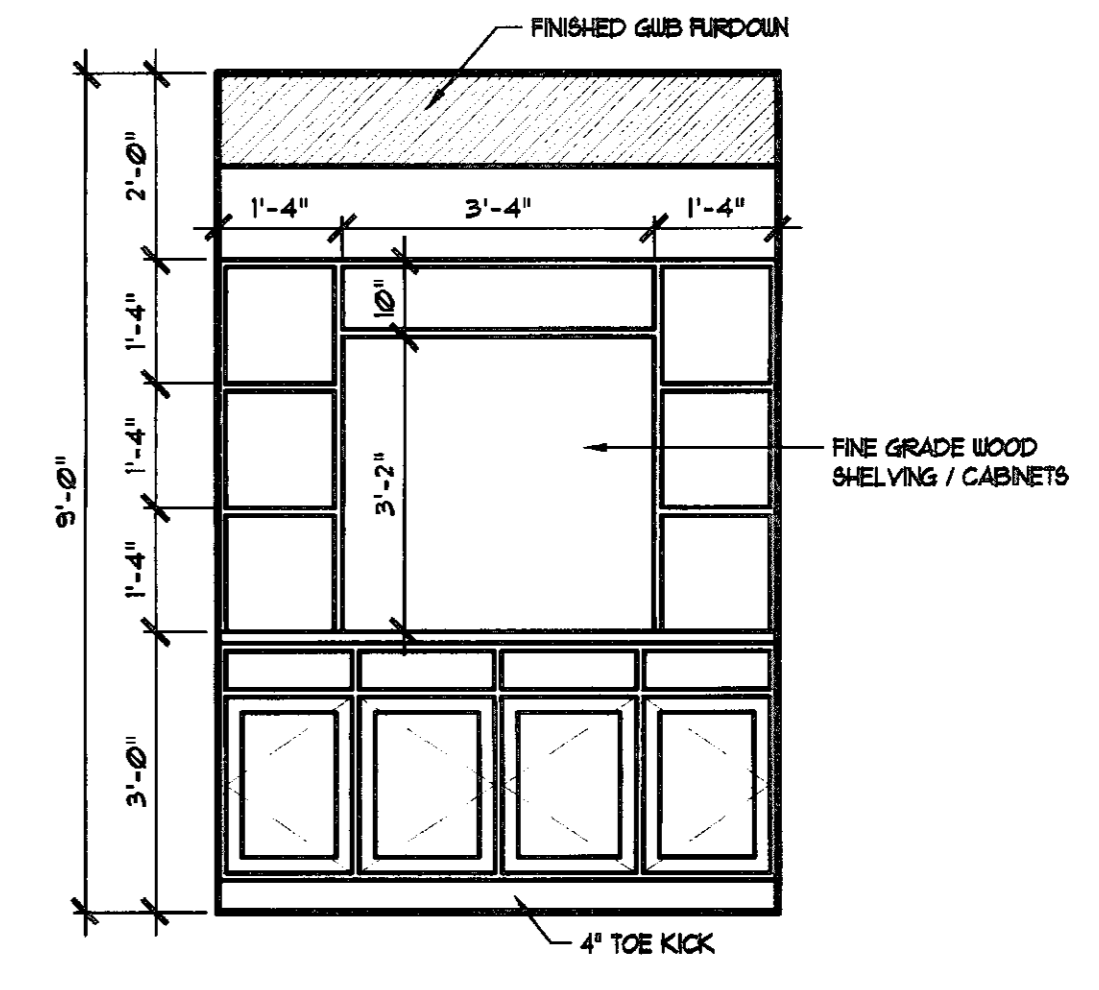
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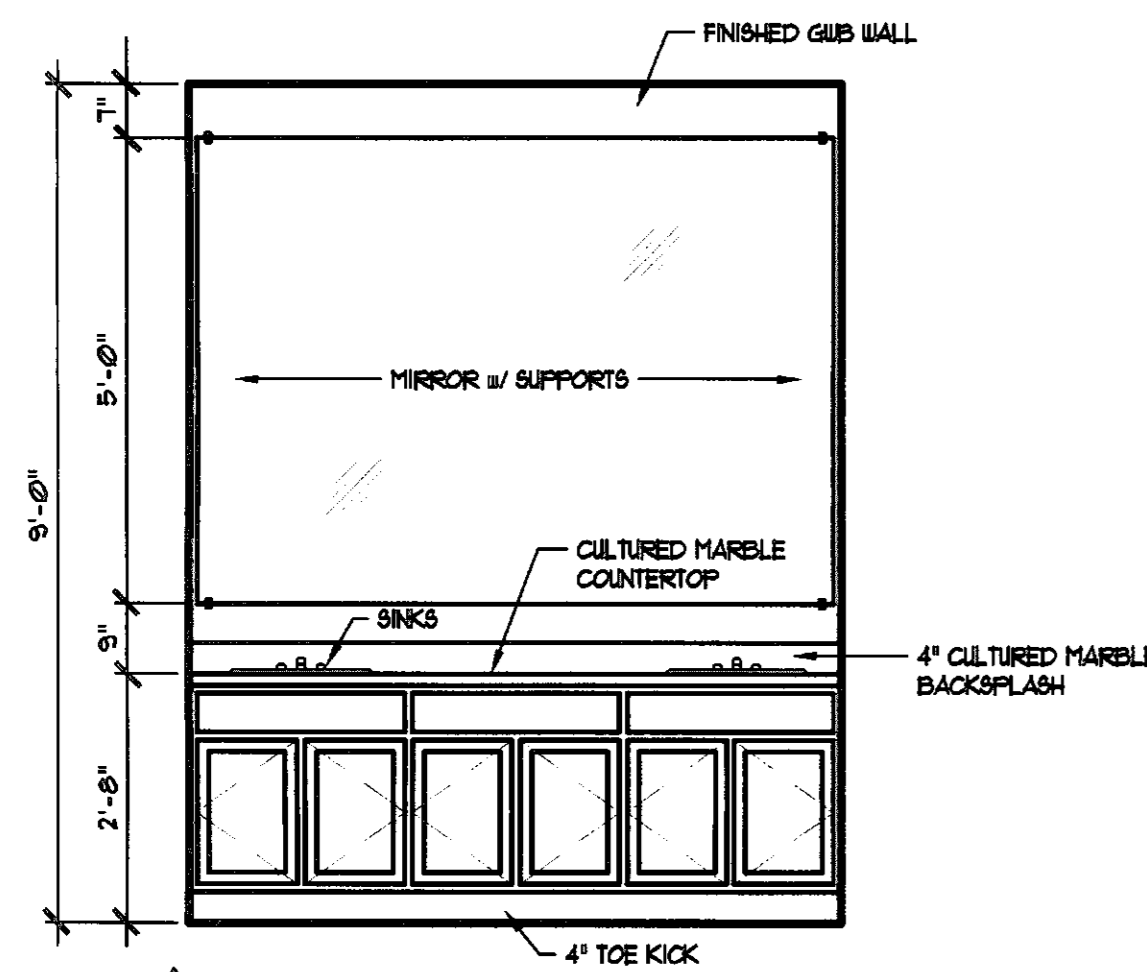
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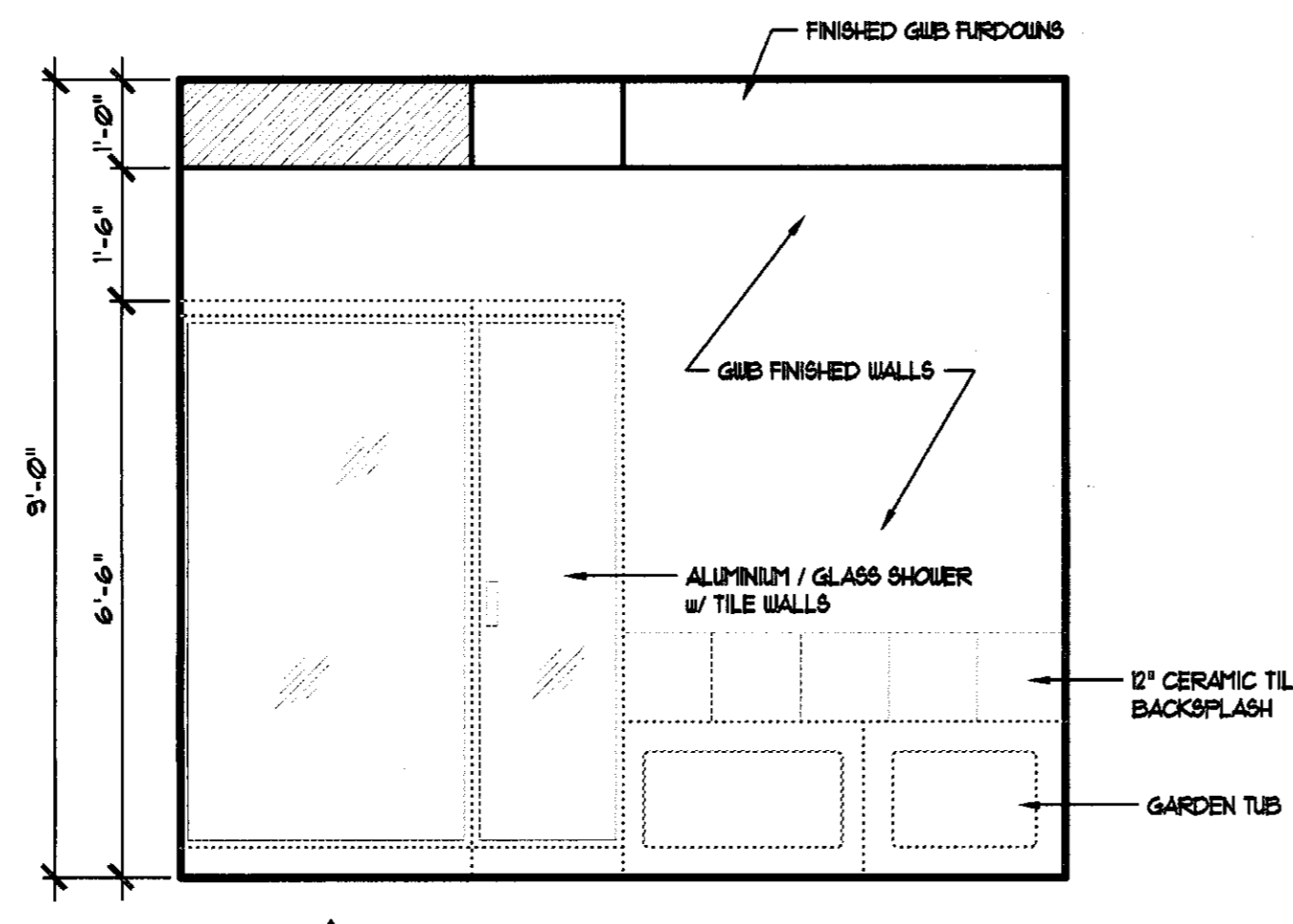
F WETBAR



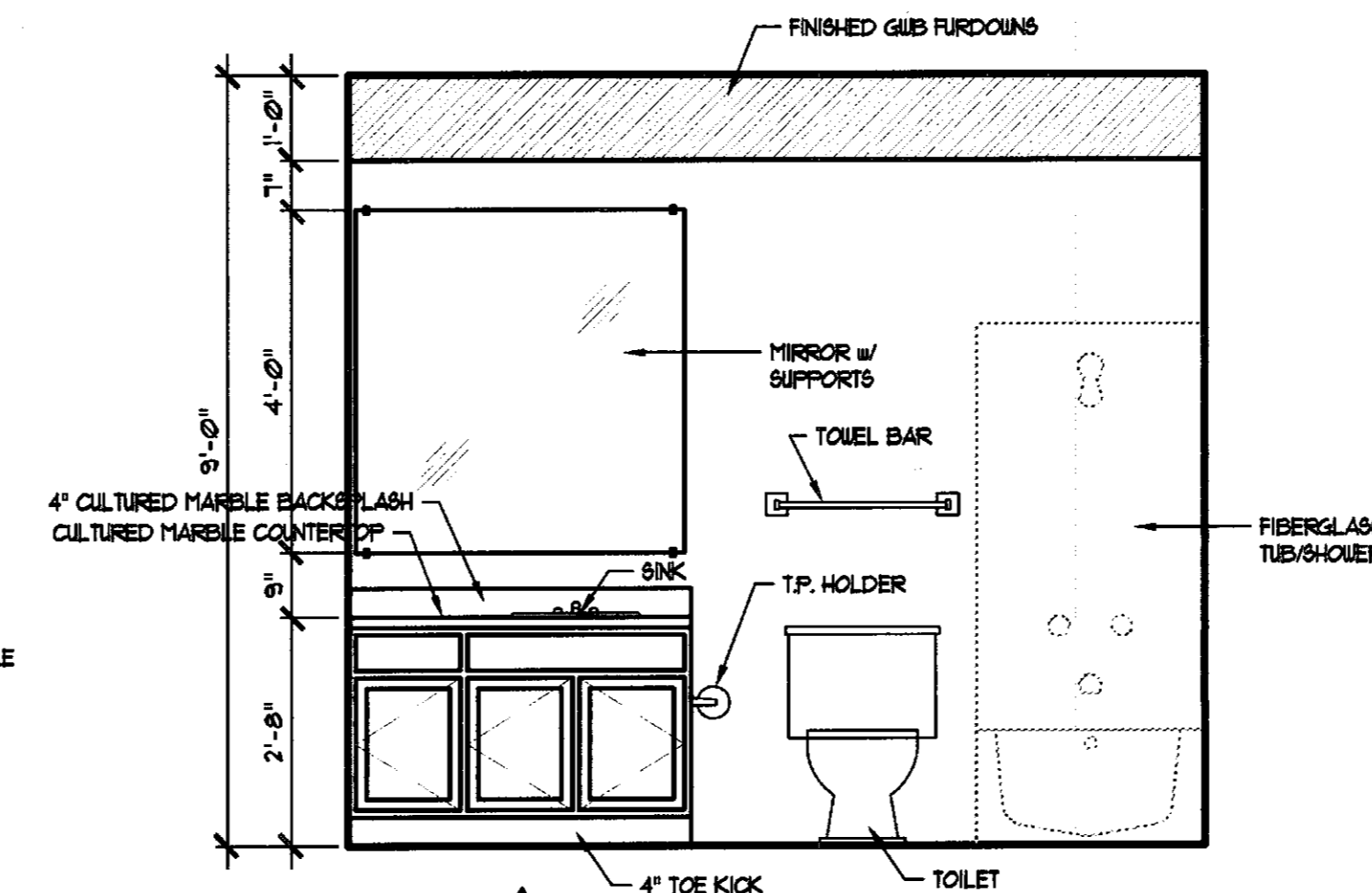
G ENTERTAINMENT



H MASTER VANITY



I MASTER BATH



J BATH

INTERIOR ELEVATIONS FOR ALL PENTHOUSE UNITS
1/2" = 1'-0"



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ARCHITECTURE & ENVIRONMENTAL DESIGN

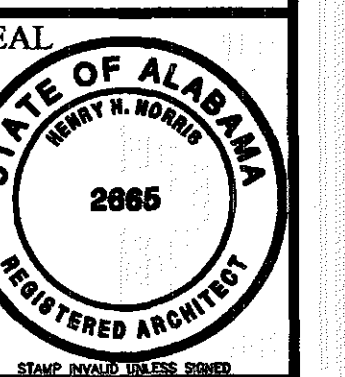
30 N. PALAFOX
PENSACOLA, FLORIDA 32501

(850) 432-6011
FAX 435-9001

Building Schedules

San Carlos Condominium
Gulf Shores, Alabama

JOB NO.: 200301
CAD: Rlan
CHECKED: HN
DATE: 5/21/04
REVISIONS:



SHEET

A22

OF 40

WINDOW SCHEDULE

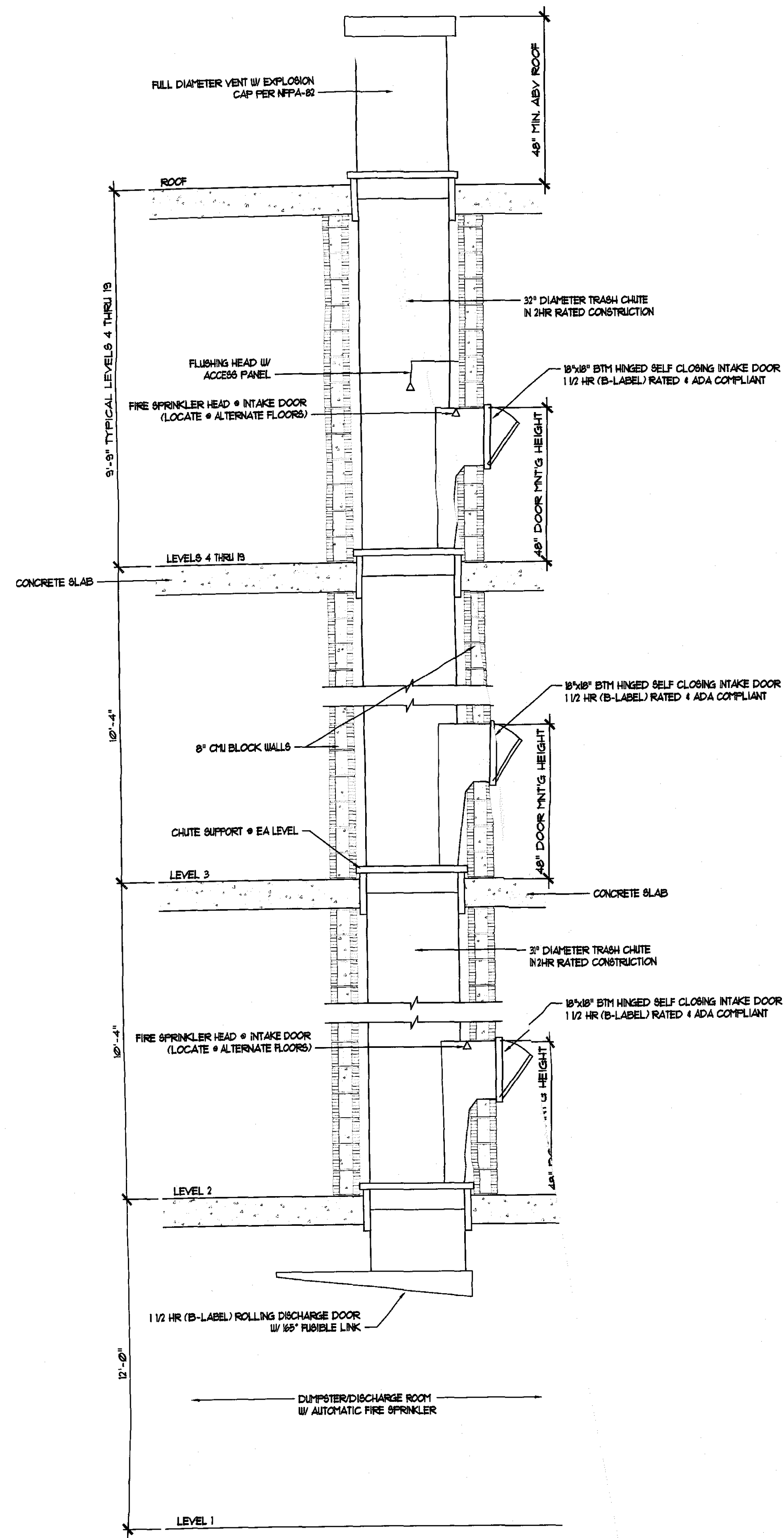
MK	TYPE	SIZE	GLASS	REMARKS
TYPICAL UNIT WINDOWS				
A	FIXED ALUMINIUM	3'x4'	INSUL/TINT/TEMP	
B	FIXED ALUMINIUM	6'x6'	INSUL/TINT/TEMP	2 EQUAL PANELS
C	FIXED ALUMINIUM	3'x5'	INSUL/TINT/TEMP	
D	FULL GLASS ALUMINIUM STOREFRONT	2'x9'	INSUL/TINT/TEMP	
E	FULL GLASS ALUMINIUM STOREFRONT	3'x9'	INSUL/TINT/TEMP	
F	FULL GLASS ALUMINIUM STOREFRONT	6'x9'	INSUL/TINT/TEMP	2 EQUAL PANELS
G	FULL GLASS ALUMINIUM STOREFRONT	3'x9'	INSUL/TINT/TEMP	
H	FULL GLASS ALUMINIUM STOREFRONT	1'x9'	INSUL/TINT/TEMP	2 EQUAL PANELS
I	FULL GLASS ALUMINIUM STOREFRONT	3'x9'	INSUL/TINT/TEMP	
J	FULL GLASS ALUMINIUM STOREFRONT	1'x9'	INSUL/TINT/TEMP	2 EQUAL PANELS
K	FULL GLASS ALUMINIUM STOREFRONT	11'x9'	INSUL/TINT/TEMP	3 EQUAL PANELS
OVERALL BUILDING WINDOWS				
L	FULL GLASS ALUMINIUM STOREFRONT	26'x9'	INSUL/TINT/TEMP	6 EQUAL PANELS
M	FULL GLASS ALUMINIUM STOREFRONT	28'x9'	INSUL/TINT/TEMP	7 EQUAL PANELS - TO BE HIGH RATED HEAT RESISTANT
N	FULL GLASS ALUMINIUM STOREFRONT	19'x9'	INSUL/TINT/TEMP	4 EQUAL PANELS - TO BE HIGH RATED HEAT RESISTANT
O	FULL GLASS ALUMINIUM STOREFRONT	22'x9'	INSUL/TINT/TEMP	5 EQUAL PANELS - TO BE HIGH RATED HEAT RESISTANT
P				
Q				
R				
S				
T				
U				
V				
W				
X				
Y				
Z				

- NOTES:
- CONTRACTOR TO FIELD VERIFY ALL OPENINGS PRIOR TO DOOR AND WINDOW PURCHASE.
 - COORDINATE ALL DOORS AND WINDOWS WITH MANUFACTURER PRIOR TO PURCHASE.
 - INSTALL DOORS AND WINDOWS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS.
 - ALL WINDOWS SHALL BE INSTALLED WITH HEAD AND SILL PAN FLASHING AS DETAILED.
 - ALL DOORS AND WINDOWS TO MEET 110MPH WIND LOAD REQUIREMENTS. (DESIGN AND MANUFACTURE TO WITHSTAND THE POSITIVE AND NEGATIVE PRESSURE WIND LOADS @ +118.0' ABOVE GRADE).
 - INSTALL SEALANT AND BACKING RODS AS PER INDUSTRY STANDARDS AND MANUFACTURERS RECOMMENDATION.

NOTE:
DIMENSION HEIGHTS FOR SOUTH SIDE STOREFRONTS AND SLIDING GLASS DOORS AT BUILDING LEVEL 3 VARY. CHECK BUILDING PLAN AND SECTIONS FOR DIMENSION CHANGES.

DOOR SCHEDULE

NO	MATERIAL	RATED	SIZE	FRAME	GLASS	HARDWARE							NOTES
						KEYLOCK	DEADBOLT	THRESHOLD	PASSAGE	PRIVACY	CLOSURE	LEVER HANDLE	
TYPICAL UNIT DOORS													
1	FLUSH GALV. STEEL ENTRY	20 MIN	3'x1'	GALV. STEEL		0	0	0			0	0	PEEP HOLE AND STAINLESS STEEL HINGES
2	ALUMINIUM SLIDING GLASS		FR 3'x9'	ALUMINIUM	INSUL/TINT/TEMP		0		0				TO BE RATED FOR WIND LOADS
3	6 PANEL HOLLOW CORE MASONITE		3'x6'	PRE-HUNG					0				
4	6 PANEL HOLLOW CORE MASONITE		FR 2'x6'	PRE-HUNG					0				
5	6 PANEL HOLLOW CORE MASONITE		2'x6'	PRE-HUNG					0				
6	6 PANEL HOLLOW CORE MASONITE		2'x6'	PRE-HUNG					0				
7	6 PANEL HOLLOW CORE MASONITE		2'x6'	PRE-HUNG					0				
8	6 PANEL HOLLOW CORE MASONITE		2'x6'	PRE-HUNG					0				
9	6 PANEL HOLLOW CORE MASONITE		2'x6'	PRE-HUNG					0				
10	6 PANEL HOLLOW CORE MASONITE		2'x6'	PRE-HUNG					0				
11	6 PANEL HOLLOW CORE MASONITE		2'x6'	PRE-HUNG					0				
12	6 PANEL HOLLOW CORE MASONITE - BIFOLD		2'x6'	PRE-HUNG					0				
13	FULL LOUVERED WOOD		2'x6'	PRE-HUNG					0				
14	FULL MIRRORED ALUMINIUM SLIDERS		FR 2'x6'	ALUMINIUM	MIRRORED				0				
15	FULL MIRRORED ALUMINIUM SLIDERS		FR 2'x6'	ALUMINIUM	MIRRORED				0				
16	FULL GLASS/ALUMINIUM SHOWER		FR 2'x6'	ALUMINIUM	TEMPERED								PRE-MANUFACTURED
3RD LEVEL MAIN LOBBY/AMENITIE DOORS													
17	FLUSH PANEL SOLID CORE		FR 3'x1'	PRE-HUNG					0				0 0 STAIN GRADE FINISH
18	FLUSH PANEL SOLID CORE		3'x1'	PRE-HUNG					0				0 0 STAIN GRADE FINISH
19	FLUSH PANEL SOLID CORE		3'x1'	PRE-HUNG					0				0 0 STAIN GRADE FINISH
20	FLUSH PANEL SOLID CORE		3'x1'	PRE-HUNG					0				0 0 STAIN GRADE FINISH
21	FLUSH PANEL SOLID CORE		FR 2'x1'	PRE-HUNG					0				STAIN GRADE FINISH
22	FULL LOUVERED WOOD		2'x1'	PRE-HUNG					0				0 0 STAIN GRADE FINISH
23	FULL GLASS ALUMINIUM STOREFRONT		3'x1'	ALUMINIUM	INSUL/TEMP				0				0 0
24	FULL GLASS ALUMINIUM STOREFRONT		3'x1'	ALUMINIUM	INSUL/TINT/TEMP				0				0 0
25	FIBERGLASS RESTROOM PARTITION DOORS												PRE-MANUFACTURED
OVERALL BUILDING DOORS													
26	FLUSH GALV. STEEL	90 MIN	3'x1'	GALV. STEEL					0				0 0 STAINLESS STEEL HINGES
27	FLUSH GALV. STEEL	45 MIN	FR 3'x1'	GALV. STEEL					0				0 0 STAINLESS STEEL HINGES
28	FLUSH GALV. STEEL	45 MIN	3'x1'	GALV. STEEL					0				0 0 STAINLESS STEEL HINGES
29	FLUSH GALV. STEEL		3'x1'	GALV. STEEL					0	0			0 0 STAINLESS STEEL HINGES
30	FLUSH GALV. STEEL		3'x1'	GALV. STEEL					0	0			0 0 STAINLESS STEEL HINGES
31	GALV. STEEL OVERHEAD ROLLER	45 MIN	10'x10'	GALV. STEEL					0				0
32	FULL GLASS ALUMINIUM STOREFRONT W/ 3'x1' SIDELIGHT		3'x1'	GALV. STEEL	INSUL/TINT/TEMP				0	0			0 0 TO BE RATED FOR WIND LOADS
33	FULL GLASS ALUMINIUM STOREFRONT W/ TWO 3'x1' SIDELIGHTS		3'x1'	GALV. STEEL	INSUL/TINT/TEMP				0	0			0 0 TO BE RATED FOR WIND LOADS
34													
35													
36													
37													
38													
39													
40													



1 TYP. TRASH CHUTE DETAIL
1/2" = 1'-0"

FINISHED SCHEDULE

ROOM	FLOOR	BASE	WALLS	CEILING	NOTES
UNIT PLAN FINISHES					
ENTRY	12" CERAMIC TILE	6" FINE GRADE WOOD	PAINTED ORANGE PEEL	PAINTED SPANISH LACE	
LIVING/DINING	CARPET				TO RECEIVE CROWN MOLDING
KITCHEN	12" CERAMIC TILE				
PANTRY	12" CERAMIC TILE				
MASTER BEDROOM	CARPET				TO RECEIVE CROWN MOLDING
MASTER BATH	12" CERAMIC TILE				
MASTER WALK IN CLOSETS	CARPET				
BEDROOMS	CARPET				
BATHS	12" CERAMIC TILE				
BEDROOM CLOSETS	CARPET				
LAUNDRY	12" CERAMIC TILE				
OWNERS CLOSET	12" CERAMIC TILE				
HALL CLOSET	12" CERAMIC TILE				
AC CLOSET	NONE	NONE	PAINTED GUB	PAINTED GUB	
WH CLOSET	12" CERAMIC TILE	6" FINE GRADE WOOD	PAINTED ORANGE PEEL	PAINTED SPANISH LACE	
BALCONY	"SONOGUARD" COATING	NONE	PAINTED STUCCO	TROUDEL ACRYLIC PLASTER	
3RD LEVEL MAIN LOBBY/AMENITIES					
ELEVATOR LOBBY	16" CERAMIC TILE	6" FINE GRADE WOOD	PAINTED ORANGE PEEL	PAINTED SPANISH LACE	
MAIN LOBBY					
CONFERENCE ROOM	HIGH TRAFFICABLE CARPET				TO RECEIVE CROWN MOLDING
STORAGE					
AC CLOSETS	NONE	NONE	PAINTED GUB	PAINTED GUB	TYPICAL ALL AC CLOSETS
KITCHEN	12" CERAMIC TILE	6" FINE GRADE WOOD	PAINTED ORANGE PEEL	PAINTED SPANISH LACE	
KITCHEN STORAGE					
OFFICE'S	HIGH TRAFFICABLE CARPET				
RECEPTION	16" CERAMIC TILE				
FITNESS	ATHLETIC RUBBER MATS				
DRY SAUNA	CEDAR	NONE	CEDAR	CEDAR	PRE-MANUFACTURED CEDAR UNIT
RESTROOMS	12" CERAMIC TILE	6" FINE GRADE WOOD	PAINTED ORANGE PEEL	PAINTED SPANISH LACE	48"H TILE WEINSCOAT FOR WALLS
SHOWER ROOMS	12" CERAMIC TILE	6" CERAMIC TILE			48"H TILE WEINSCOAT FOR WALLS
JANITORS CLOSET	12" CERAMIC TILE	6" CERAMIC TILE			
OVERALL BUILDING FINISHES					
ELEVATOR LOBBIES	12" CERAMIC TILE	6" CERAMIC TILE	PAINTED STUCCO	PAINTED SPANISH LACE	
INSIDE STAIRWAYS	NONE	NONE	SMOOTHED/PAINTED	SMOOTHED/PAINTED	
WALKWAYS	"SONOGUARD" COATING	NONE	PAINTED STUCCO	TROUDEL ACRYLIC PLASTER	
INSIDE ELEVATOR PITS	"BURLOCK" WATERPROOF COATING	NONE	"BURLOCK" WATERPROOF COATING	NONE	
OUTDOOR POOL	INTERLOCKING CONCRETE PAVERS	NONE	NONE	NONE	
POOL RESTROOMS	12" CERAMIC TILE	6" CERAMIC TILE	STUCCO	PAINTED SPANISH LACE	

NOTE: ALL TILE TO RECEIVE QUARTER ROUND SHOE MOLDING W/ WOOD BASEBOARDS.



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

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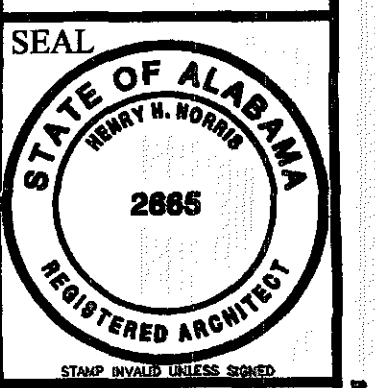
(850) 432-6011 FAX 435-9001

Building Schedules

San Carlos Condominium

Gulf Shores, Alabama

JOB NO.: 200301
CAD: Rlan
CHECKED: HN
DATE: 5/21/04
REVISIONS:

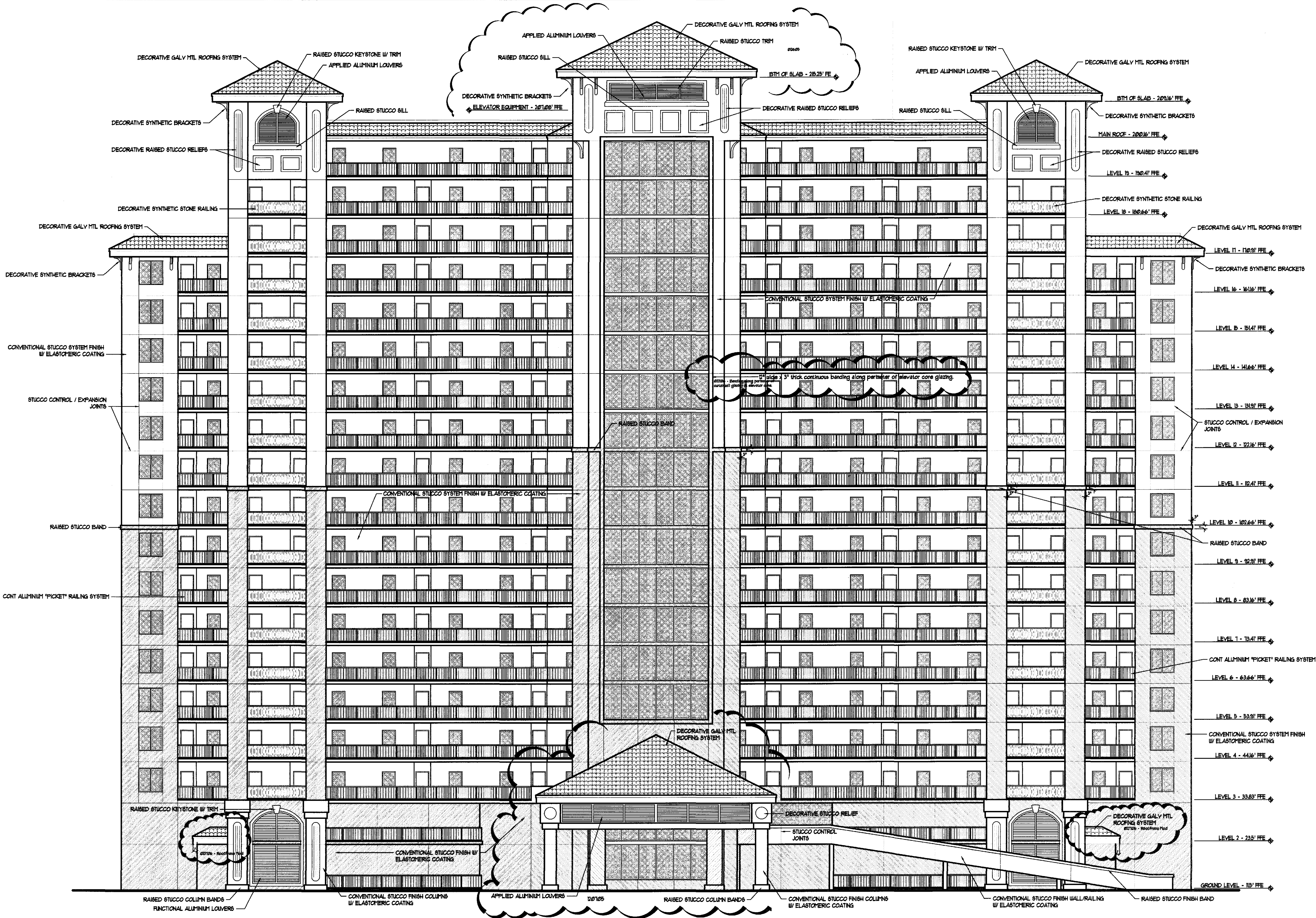


SHEET

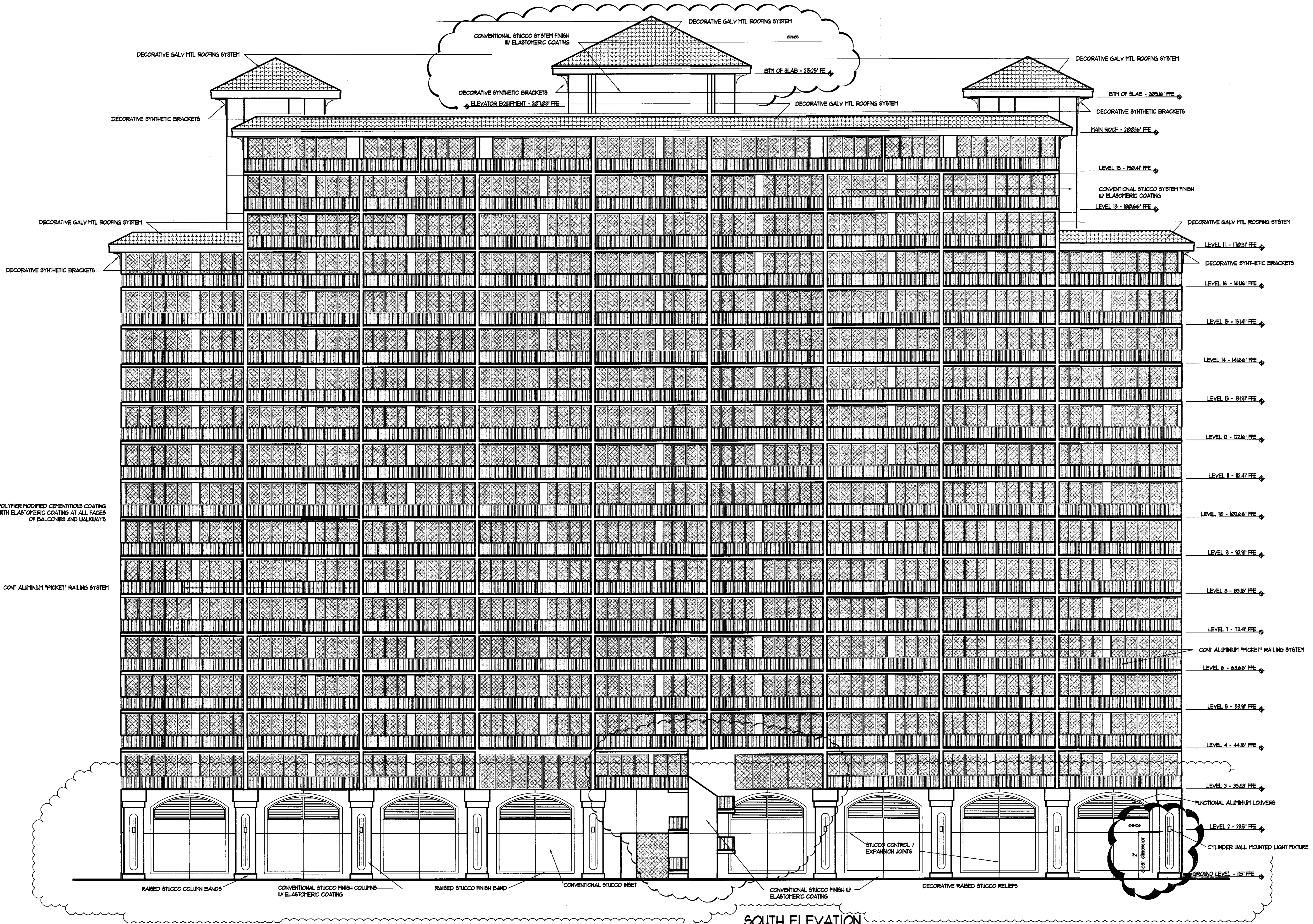
A23

OF 40

"Need Not Be Built"

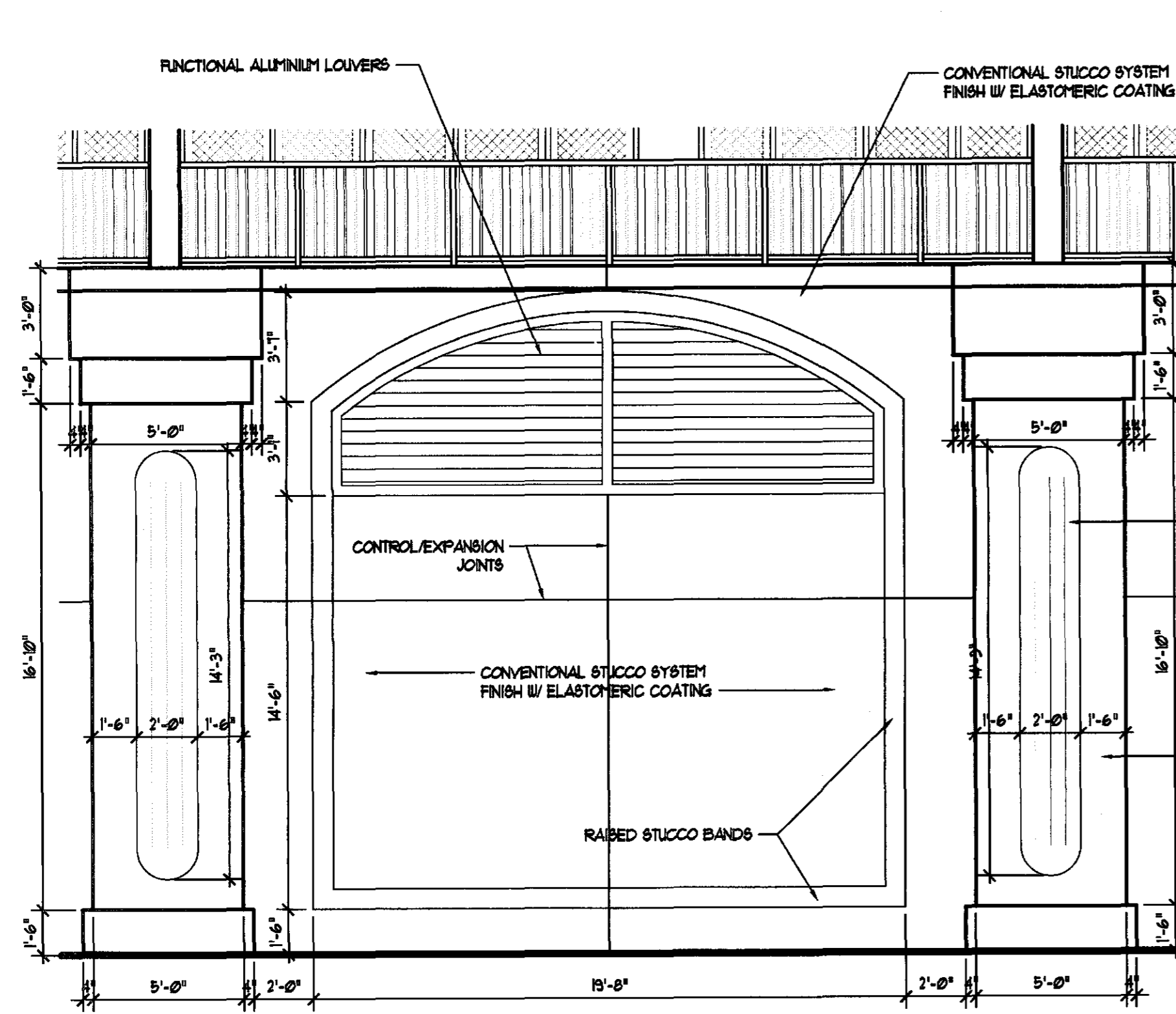


NORTH ELEVATION
3/32" = 1'-0"

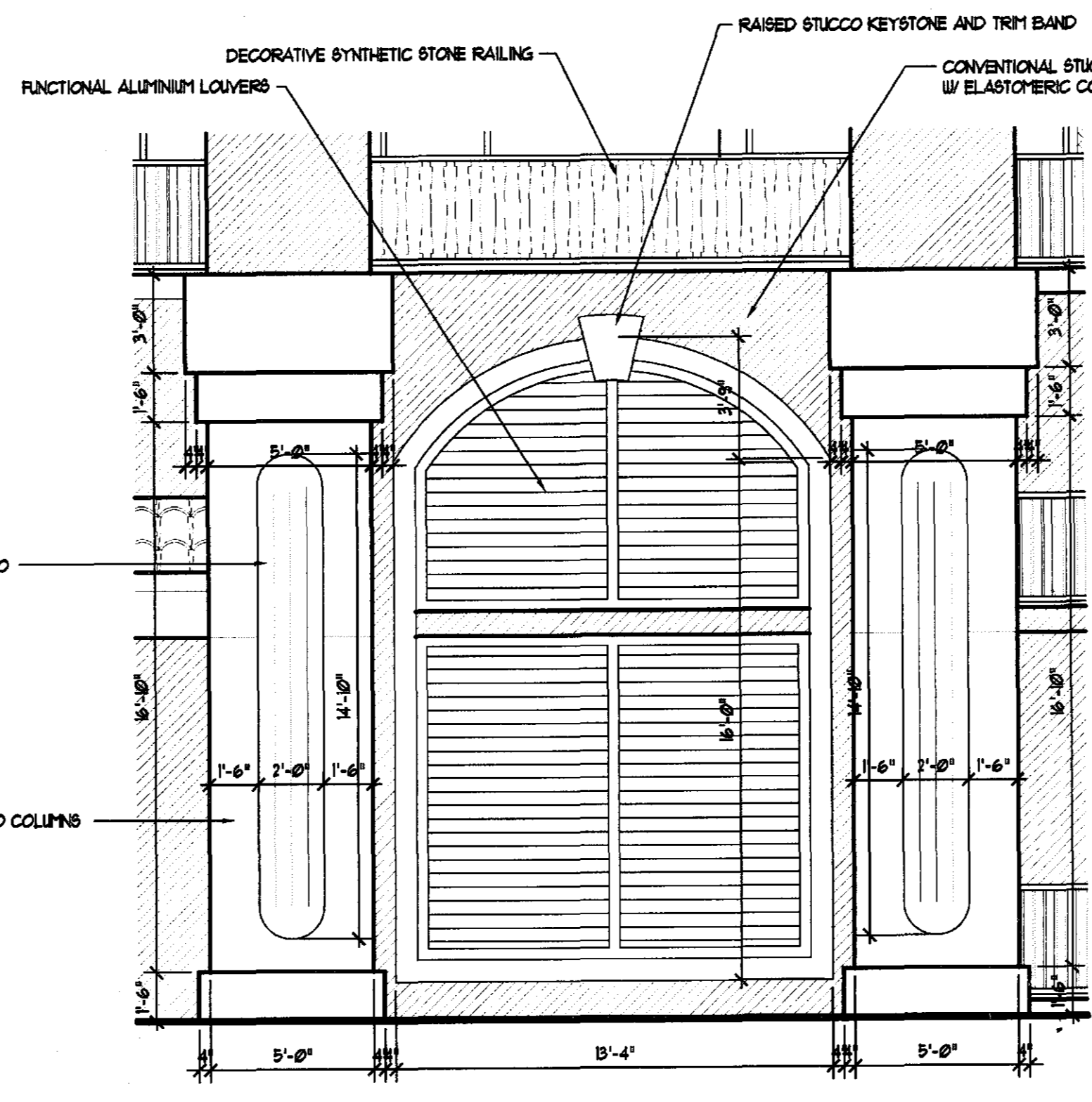


SOUTH ELEVATION
3/32" = 1'-0"

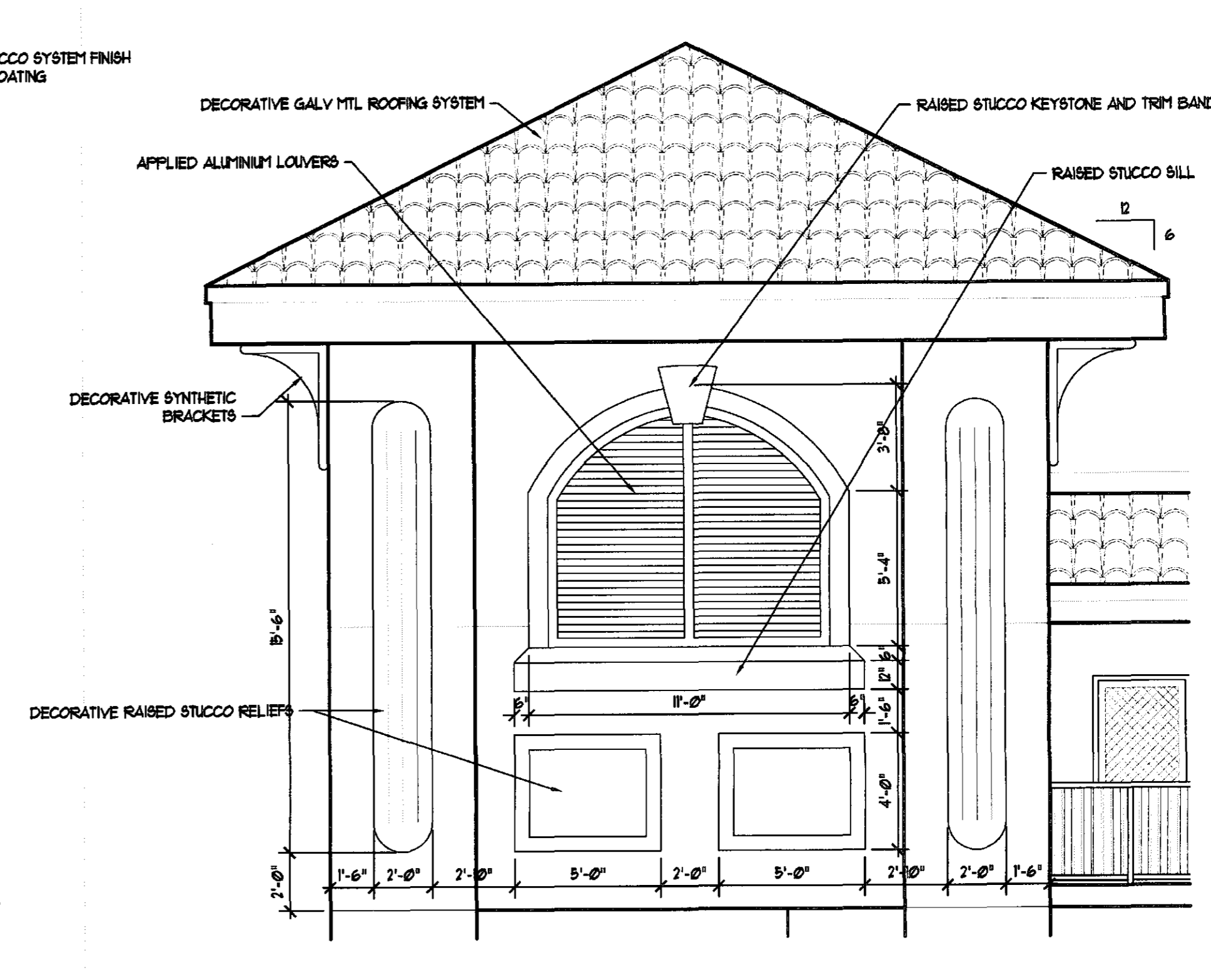
"Need Not Be Built"



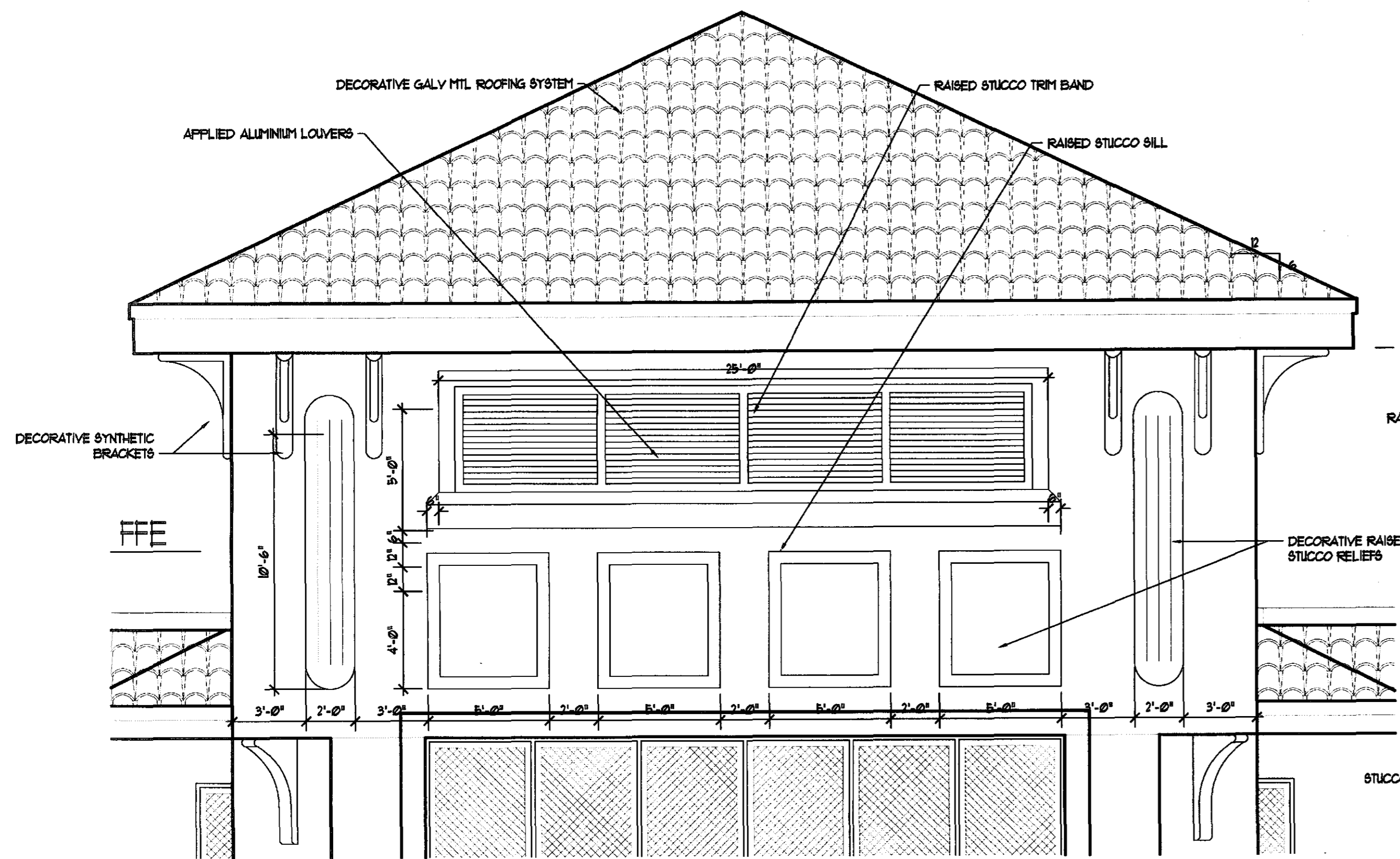
ENLARGED SOUTH ELEVATION @ GARAGE PARKING
1/4" = 1'-0"



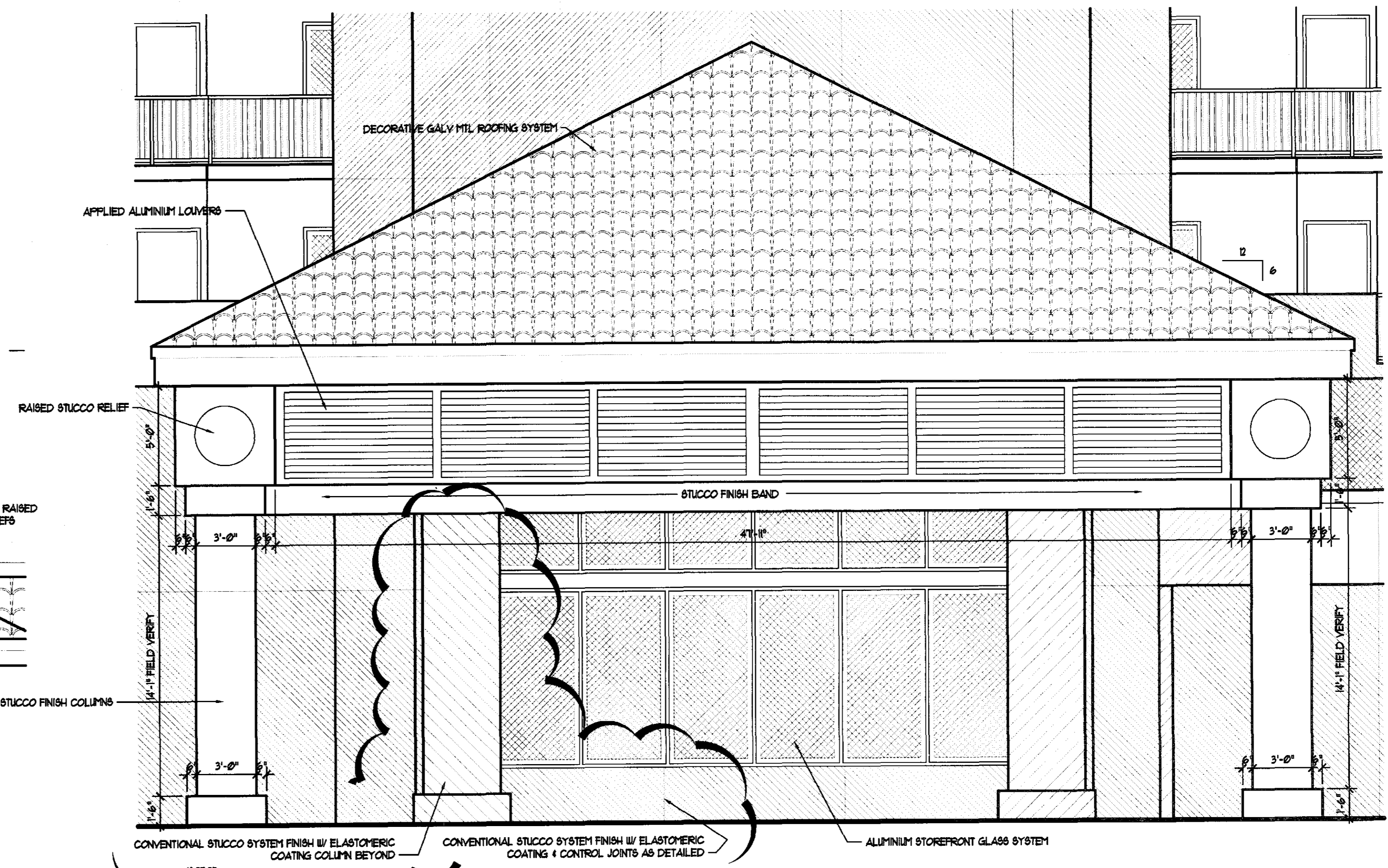
ENLARGED NORTH ELEVATION BELOW BALCONIES
1/4" = 1'-0"



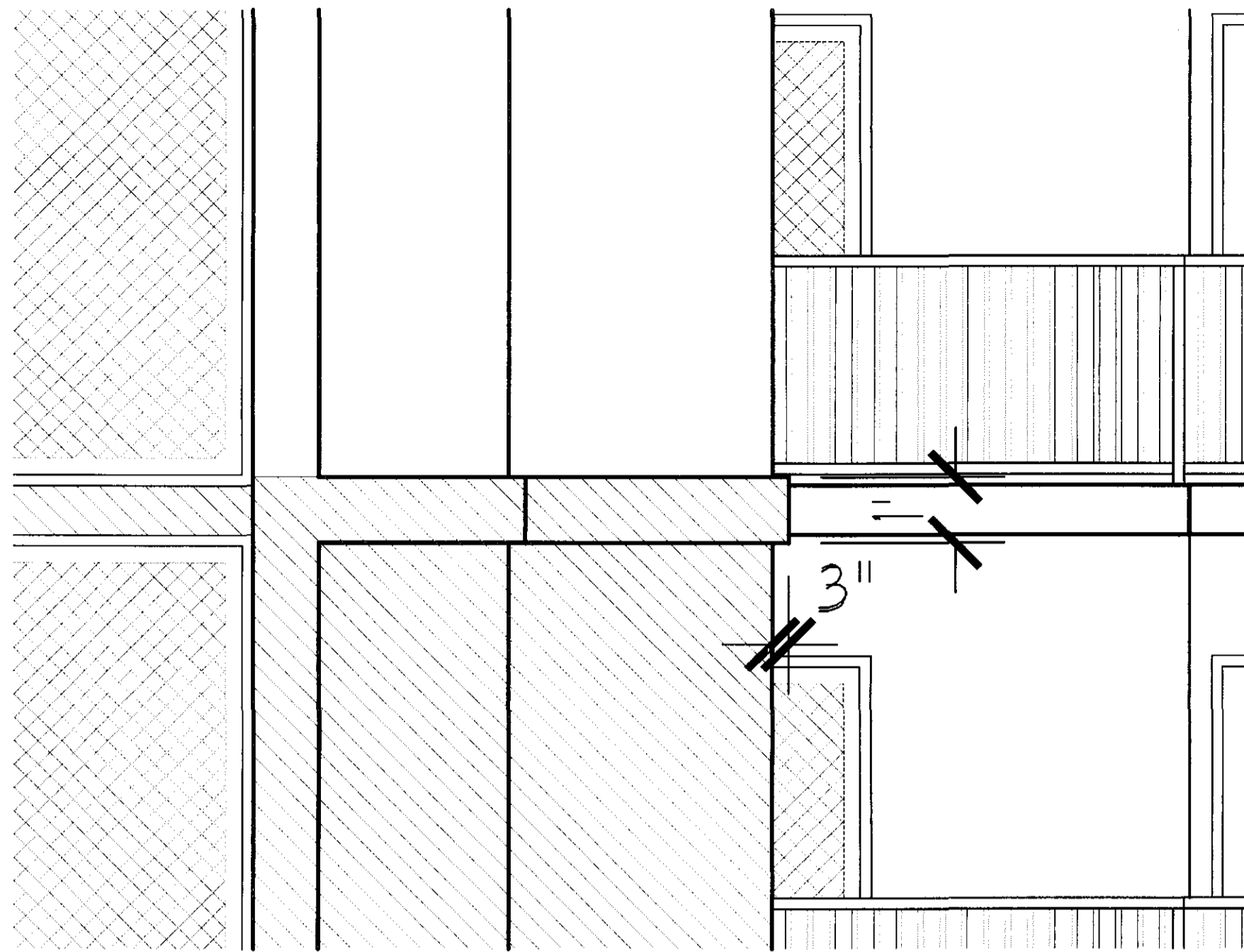
ENLARGED NORTH ELEVATION ABOVE BALCONIES
1/4" = 1'-0"



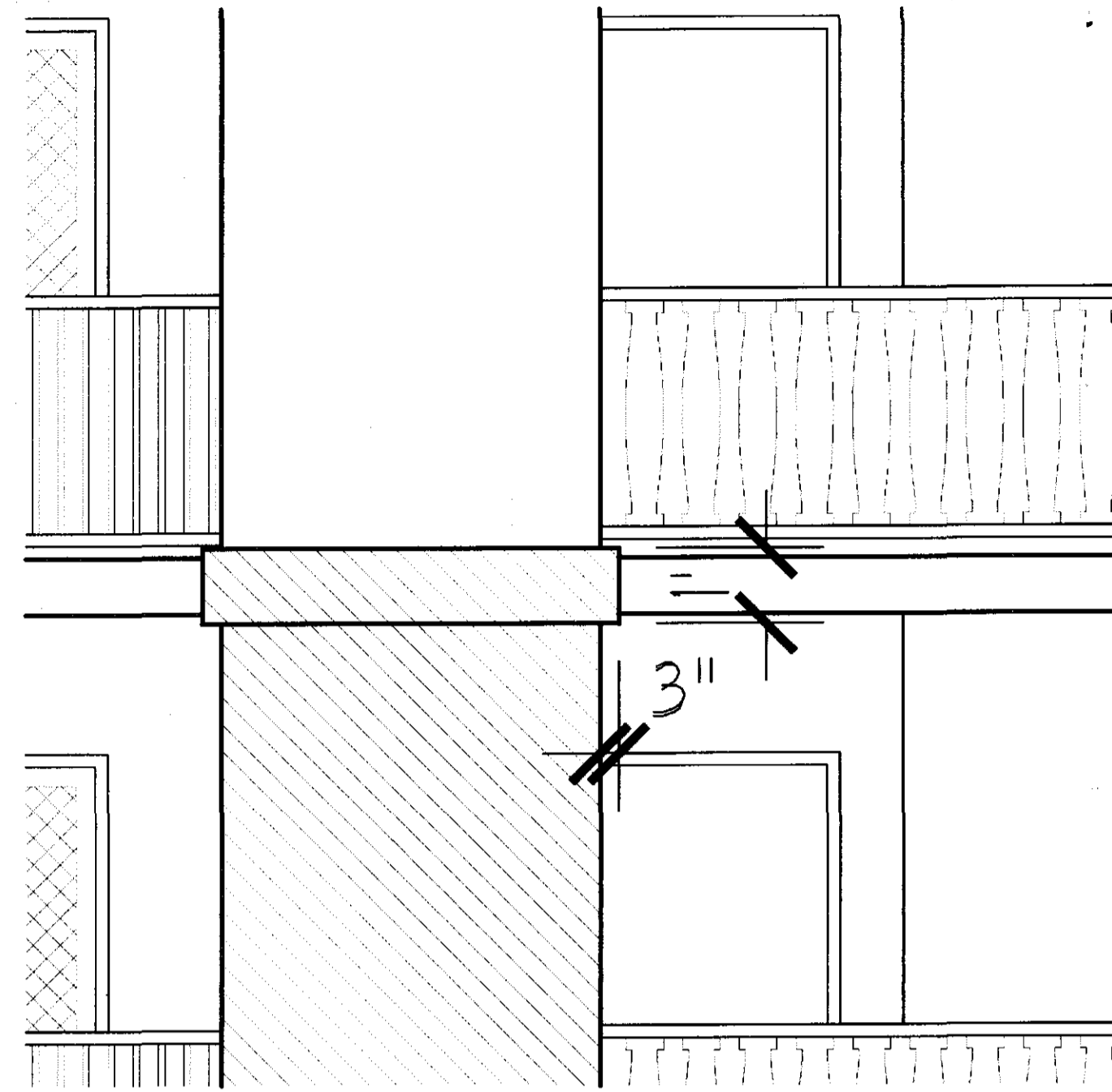
ENLARGED NORTH ELEVATION @ ELEVATORS
1/4" = 1'-0"



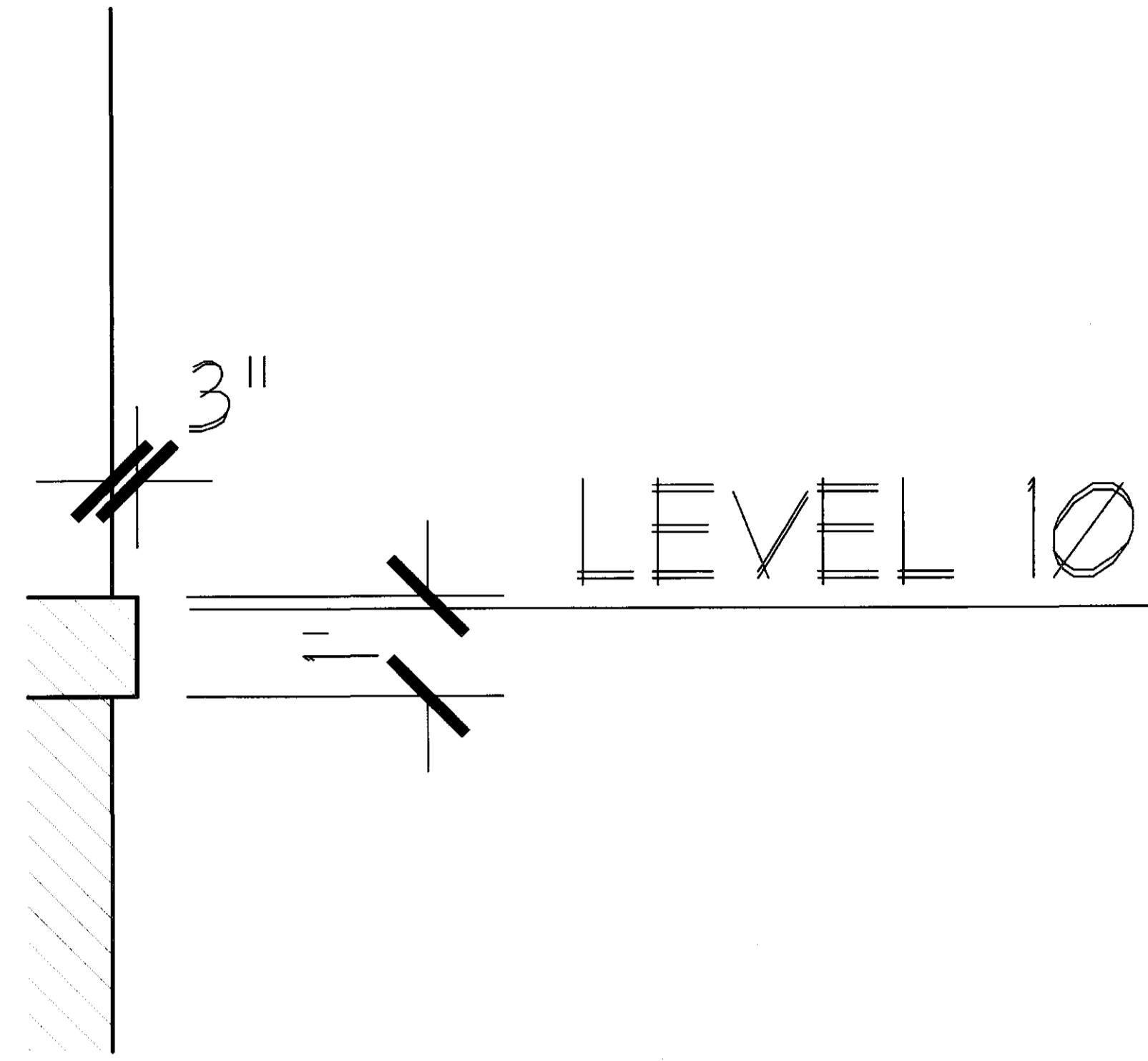
ENLARGED NORTH ELEVATION @ PORTICO
1/4" = 1'-0"



1 ENLARGED BANDING PROFILE ELEVATION @ LEVEL 12
1/2" = 1'-0"



2 ENLARGED BANDING PROFILE ELEVATION @ LEVEL 11
1/2" = 1'-0"



3 ENLARGED BANDING PROFILE ELEVATION @ LEVEL 10
3/4" = 1'-0"

NOTE: FURNISH SLIGHT SLOPE ON TOP OF BANDING TO ENSURE POSITIVE DRAINAGE.



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ARCHITECTURE & ENVIRONMENTAL DESIGN

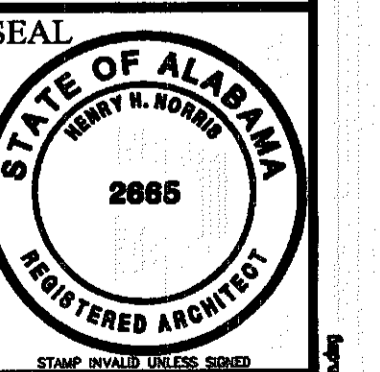
30 N. PALAFOX
PENSACOLA,
FLORIDA 32501

(850) 432-6011
FAX 435-9001

Building Elevations

San Carlos Condominium
Gulf Shores, Alabama

JOB NO.: 200301
CAD: kbc
CHECKED: HN
DATE: 1/24/06
REVISIONS:

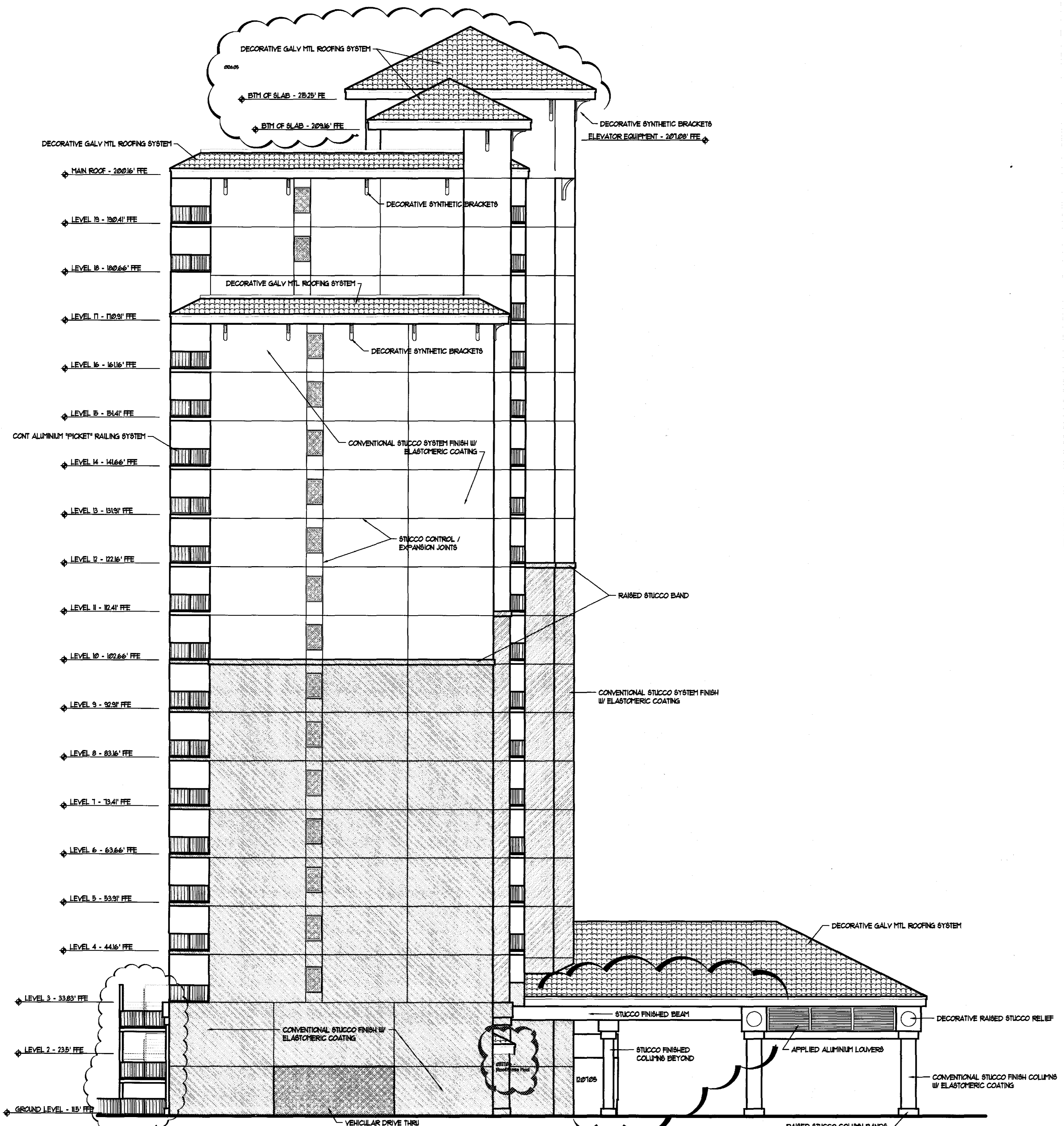


SHEET

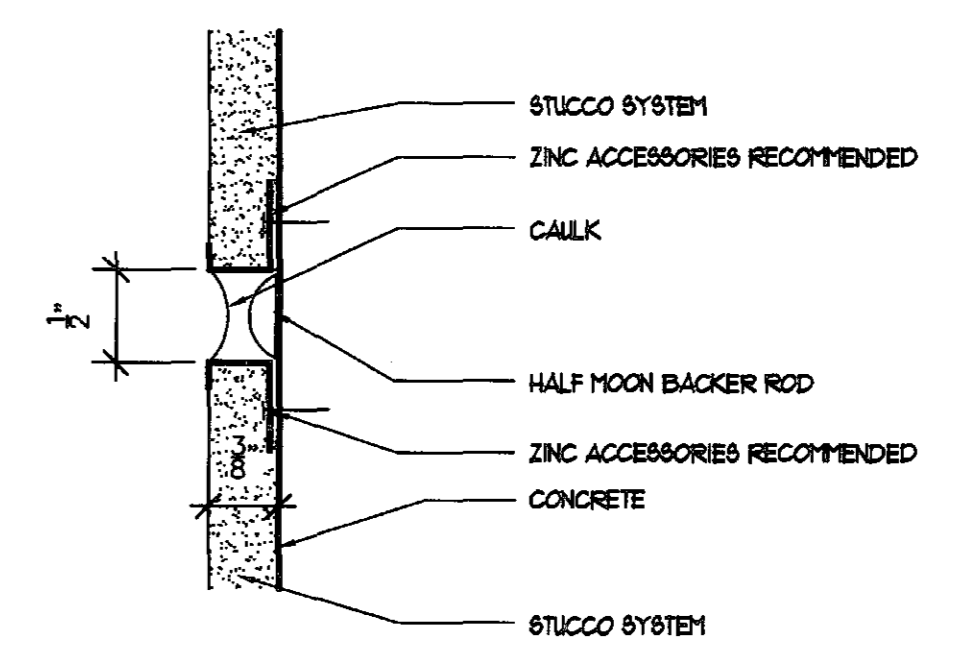
A26.1

OF 40

"Need Not Be Built"



EAST ELEVATION
3/32" = 1'-0"



1 STUCCO CONTROL / EXPANSION JOINT DTL.
FULL SCALE

NOTE: OPEN AREA OF STUCCO NOT TO EXCEED 144 SF. WITHOUT A STUCCO CONTROL JOINT AS DETAILED

HN

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ARCHITECTURE & ENVIRONMENTAL DESIGN

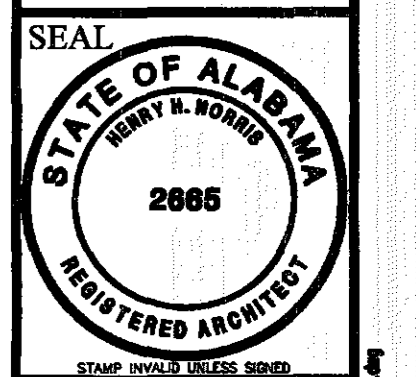
30 N. PALAFOX
PENSACOLA, FLORIDA 32501

(850) 432-6011
FAX 435-9001

Building Elevations

San Carlos Condominium
Gulf Shores, Alabama

JOB NO.: 200301
CAD: RM
CHECKED: HN
DATE: 5/21/04
REVISIONS:
0505 - Revised Elevator Equipment Room
Slab Elevation and Dis. of Dis. of
Elevator Equipment Room Slab Elevation
0508 - Added column under Plans
Columns.
0523 - Roof/Phase Flood



SHEET

A27
OF 40

San Carlos Condominium

Gulf Shores, Alabama

JOB NO.: 200301

CAD: R1an

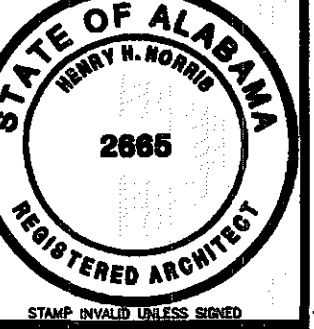
CHECKED: HN

DATE: 5/21/04

REVISIONS:

07/04 - Revise Elevator Equipment Room Floor Elevation and Top of Rise of Elevator Equipment Room Floor Elevation.
08/05 - Added columns under Porch Columns.
02/06 - RoofFrame Mod

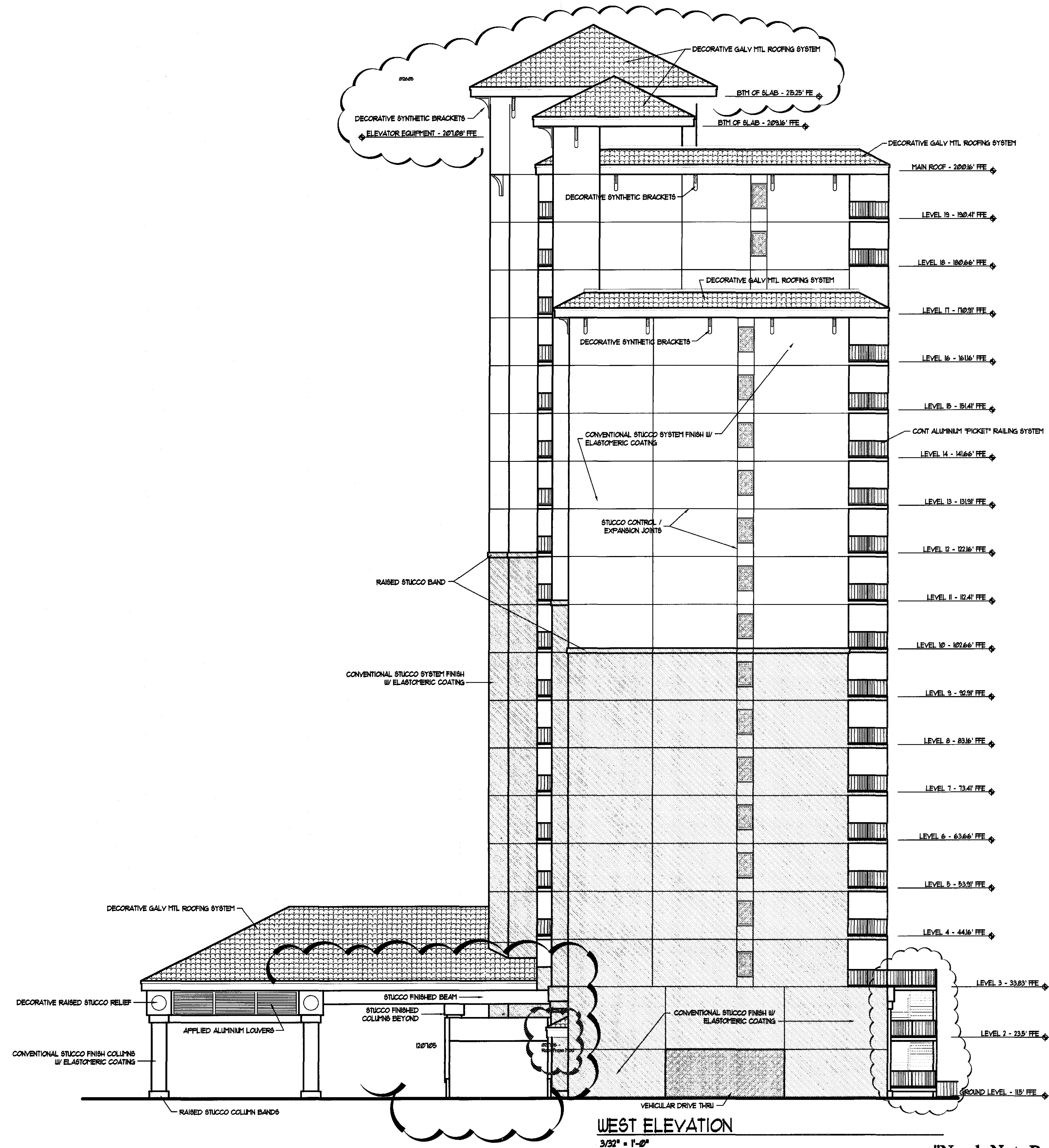
SEAL



SHEET

A28

OF 40



WEST ELEVATION
3/32" = 1'-0"

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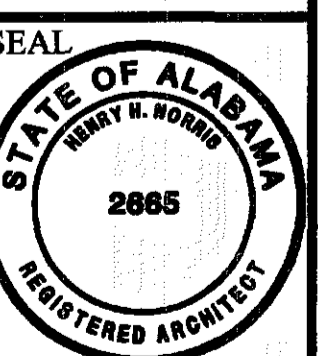
30 N. PALAFOX
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FLORIDA 32501

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Framing
Plans

San Carlos Condominium
Gulf Shores, Alabama

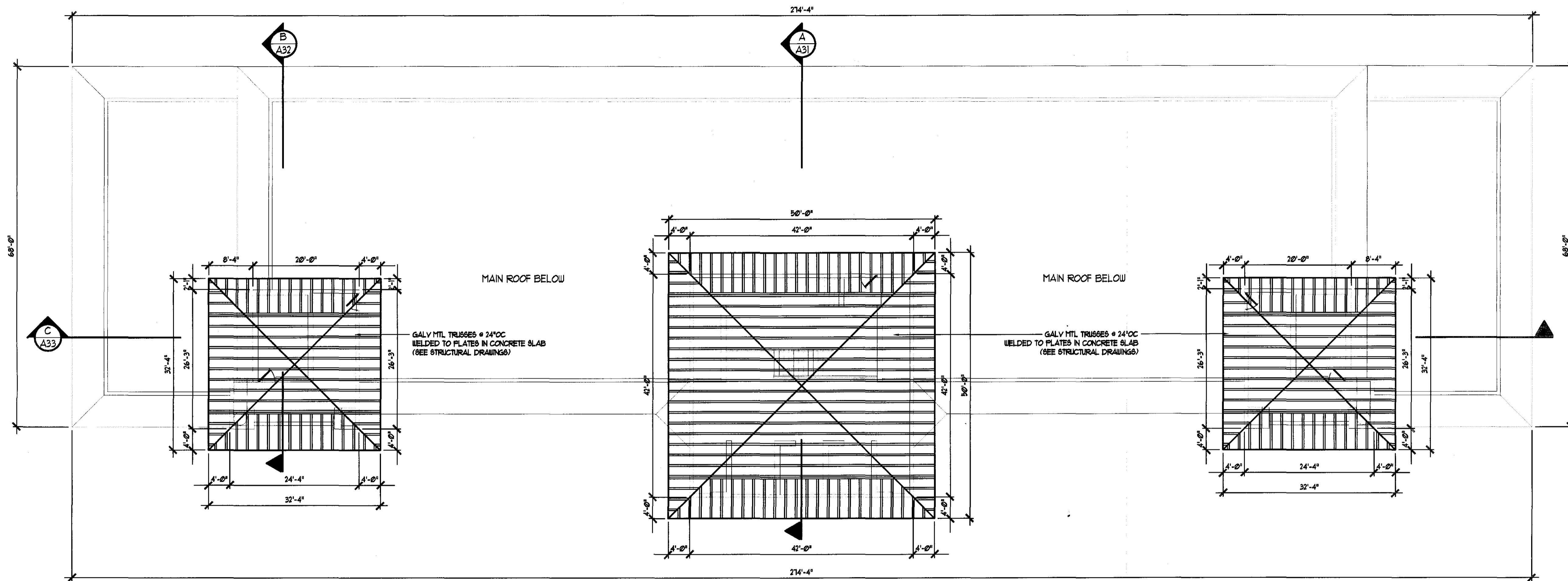
JOB NO.: 200301
CAD: RMan
CHECKED: LN
DATE: 5/21/04
REVISIONS:



SHEET

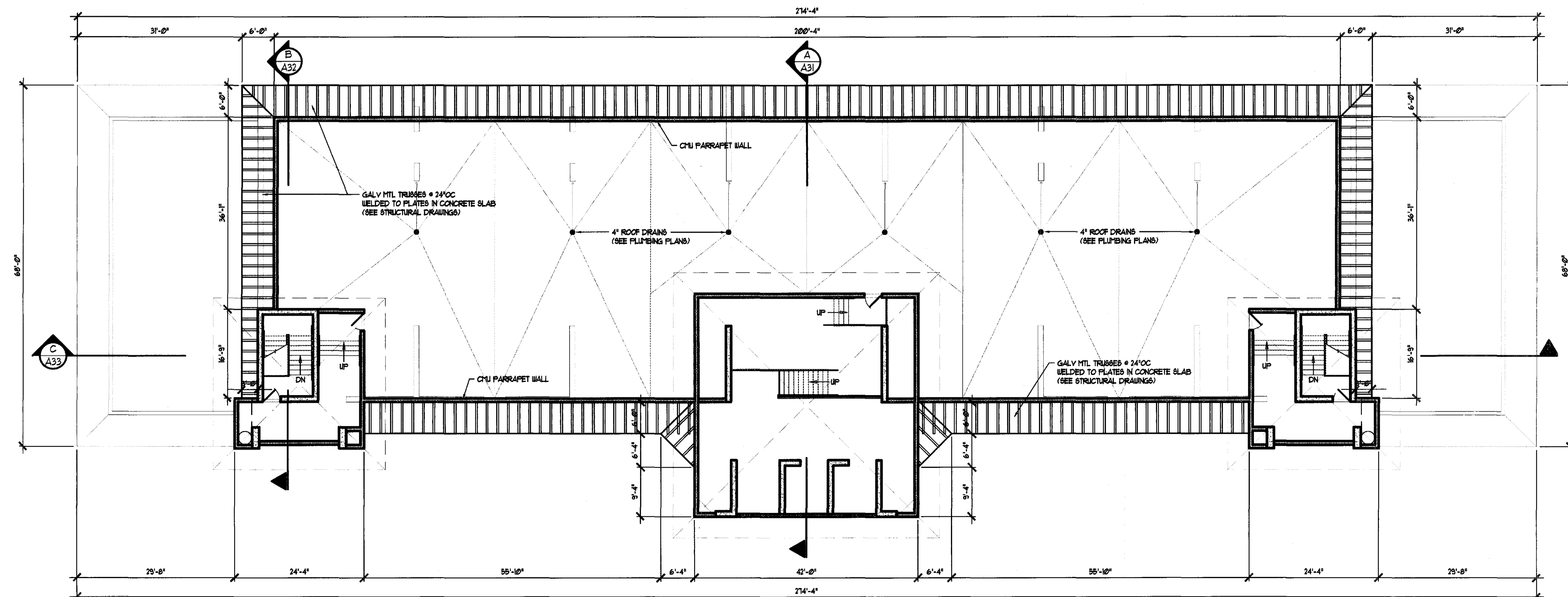
A29

OF 40



BUILDING UPPER METAL ROOF FRAMING PLAN

3/32" = 1'-0"



BUILDING MAIN ROOF FRAMING PLAN

3/32" = 1'-0"



"Need Not Be Built"



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ARCHITECTURE & ENVIRONMENTAL DESIGN

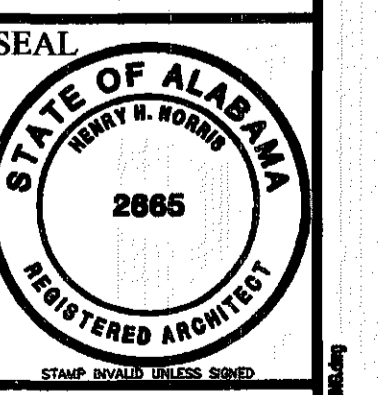
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FAX 435-9001

Framing
Plans

San Carlos Condominium
Gulf Shores, Alabama

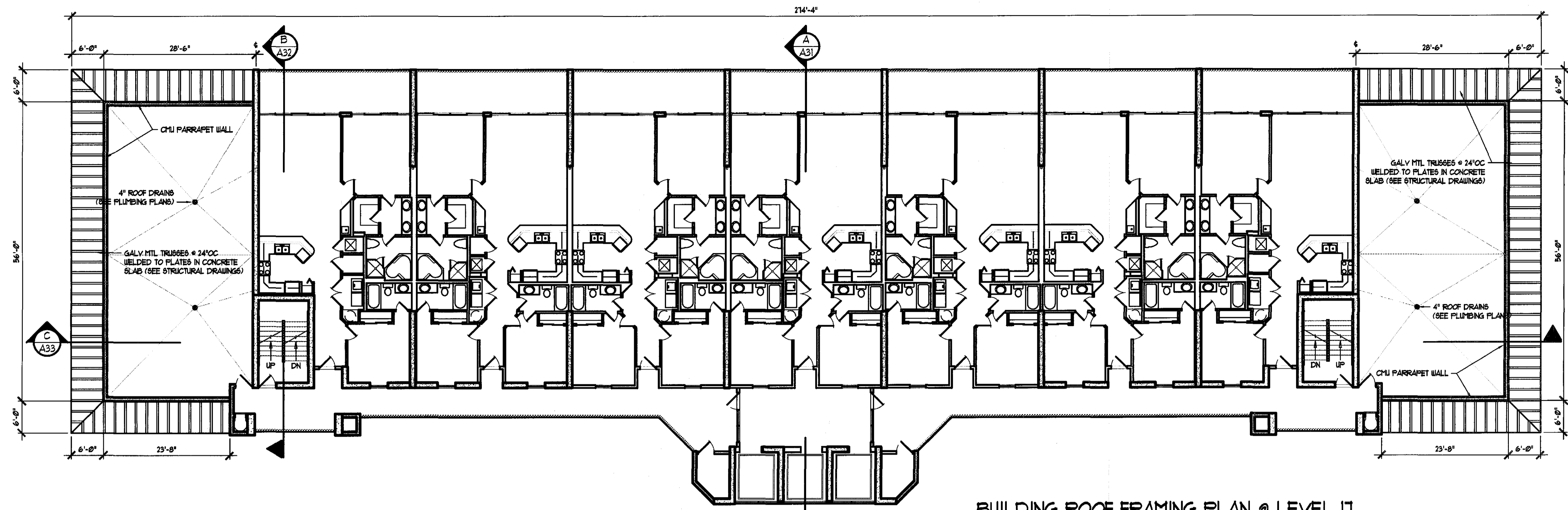
JOB NO.: 200301
CAD: RMan
CHECKED: HN
DATE: 5/21/04
REVISIONS:



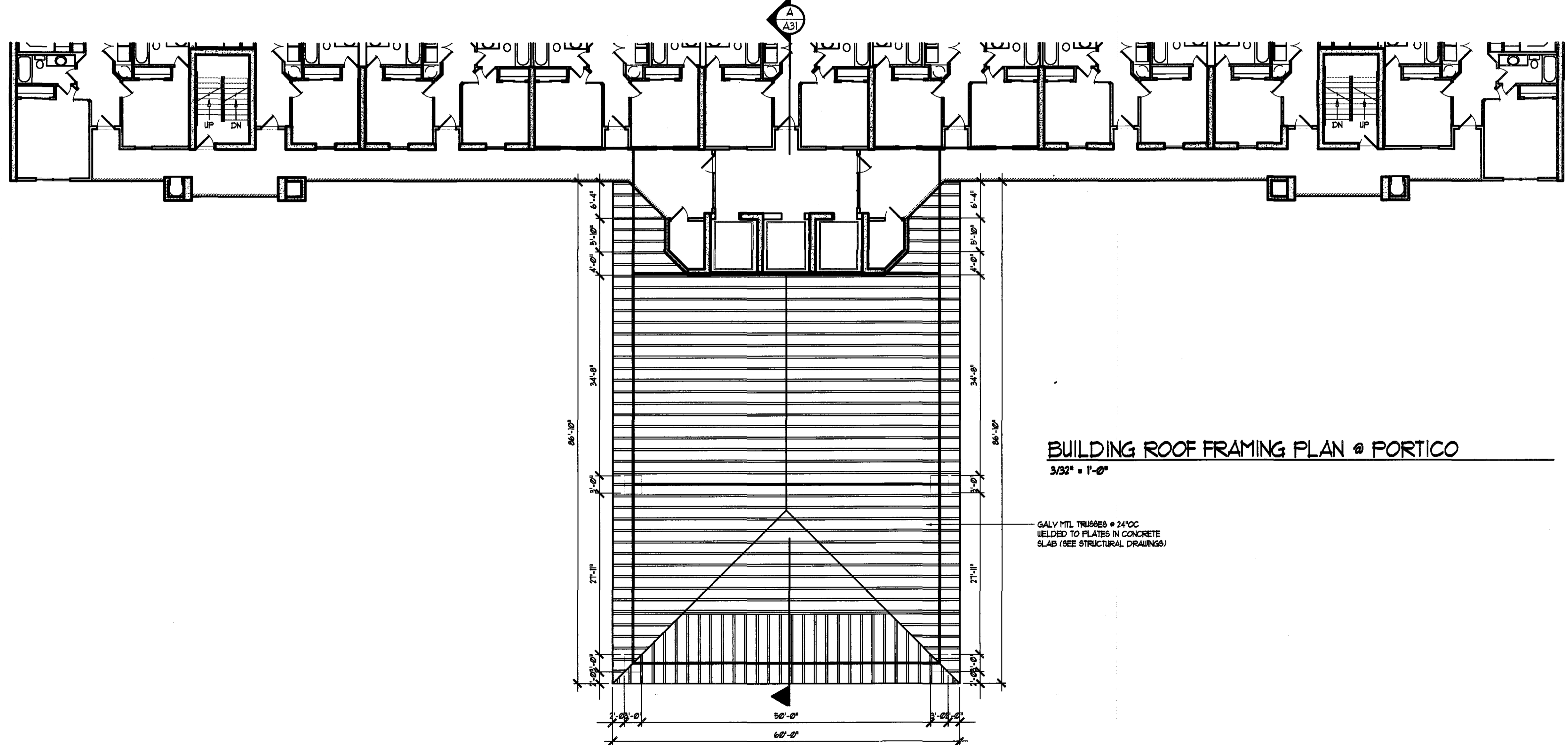
SHEET

A30

OF 40



BUILDING ROOF FRAMING PLAN @ LEVEL 17
3/32" = 1'-0"



BUILDING ROOF FRAMING PLAN @ PORTICO
3/32" = 1'-0"



"Need Not Be Built"



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ARCHITECTURE & ENVIRONMENTAL DESIGN

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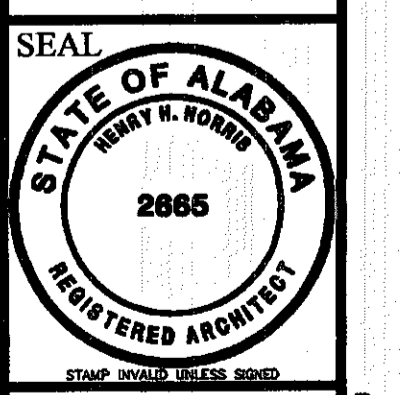
Building Sections

San Carlos Condominium
Gulf Shores, Alabama

JOB NO.: 200301
CAD: R1an
CHECKED: HN
DATE: 5/21/04

REVISIONS:

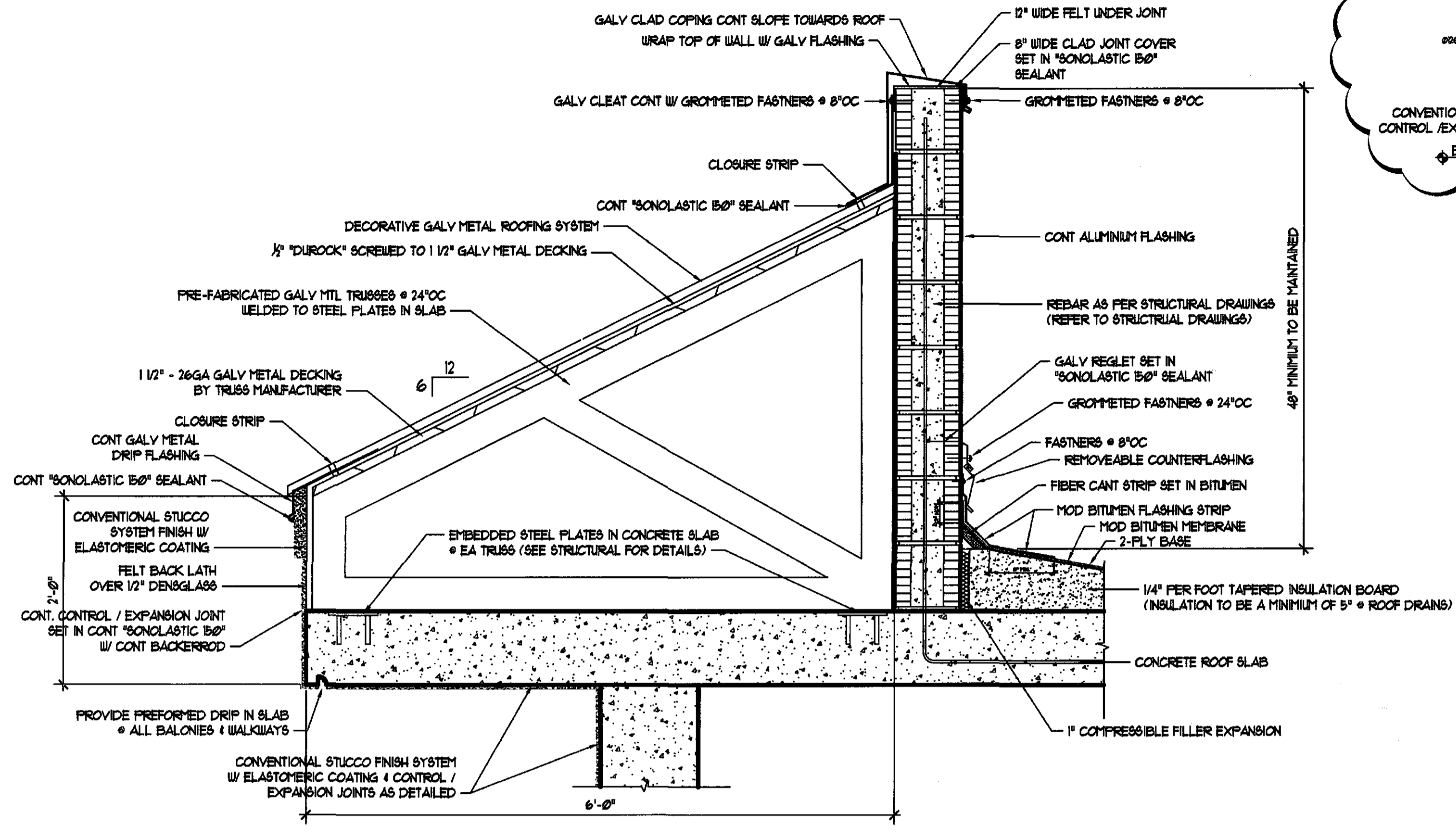
05/21/04 - Revise Elevator Equipment Room 5th Floor and 1st of 5th of Elevator Equipment Room 5th Floor



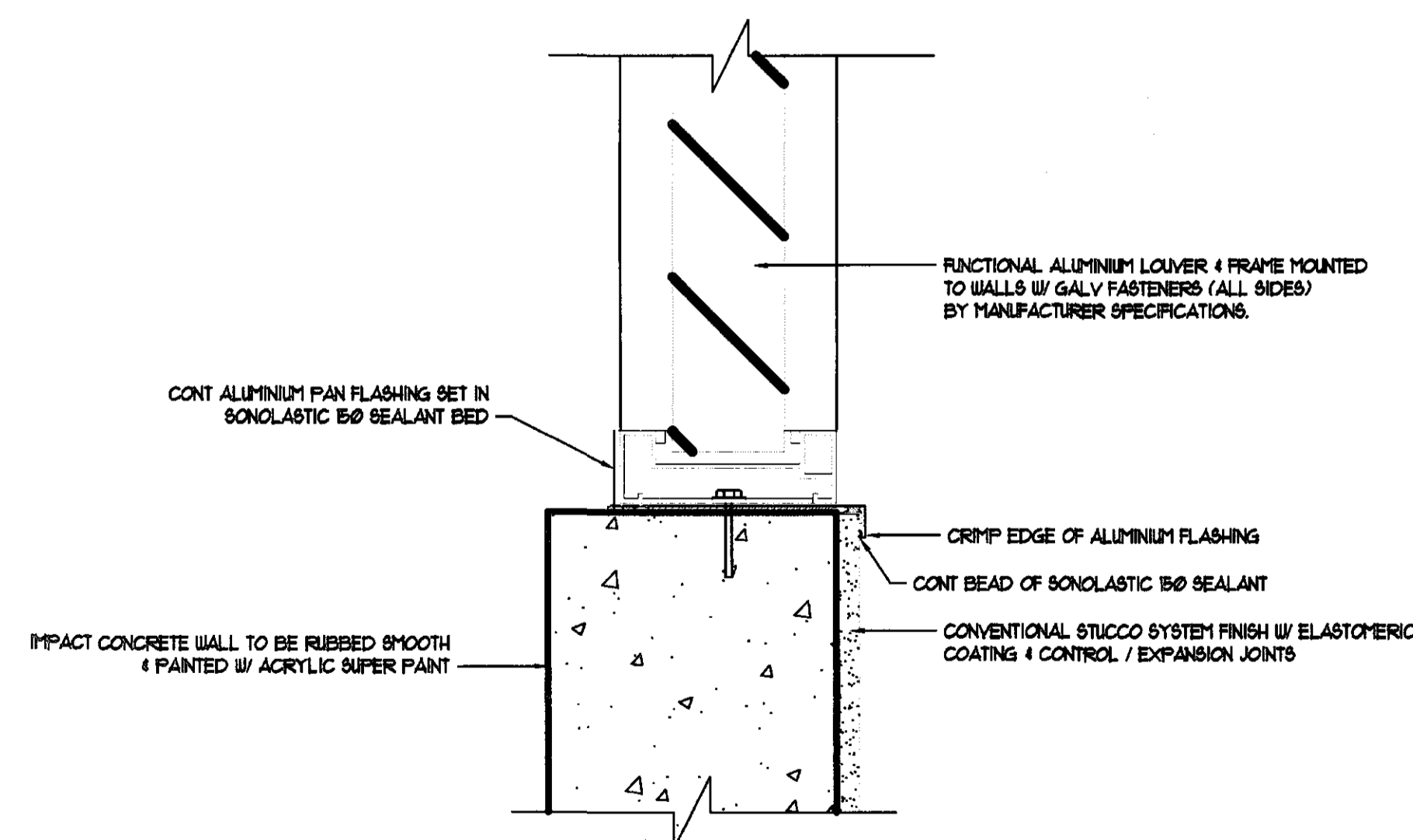
SHEET

A31

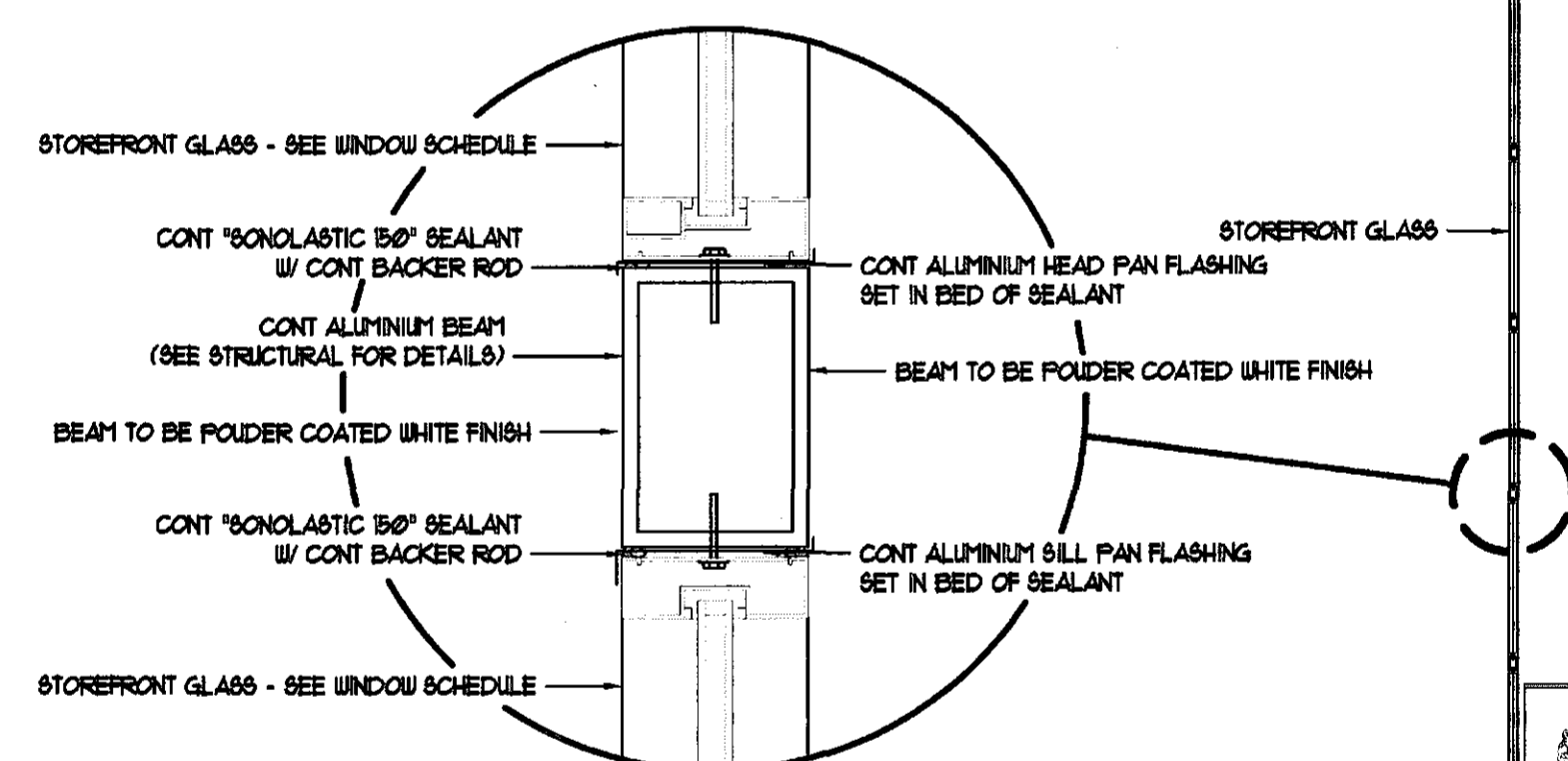
OF 40



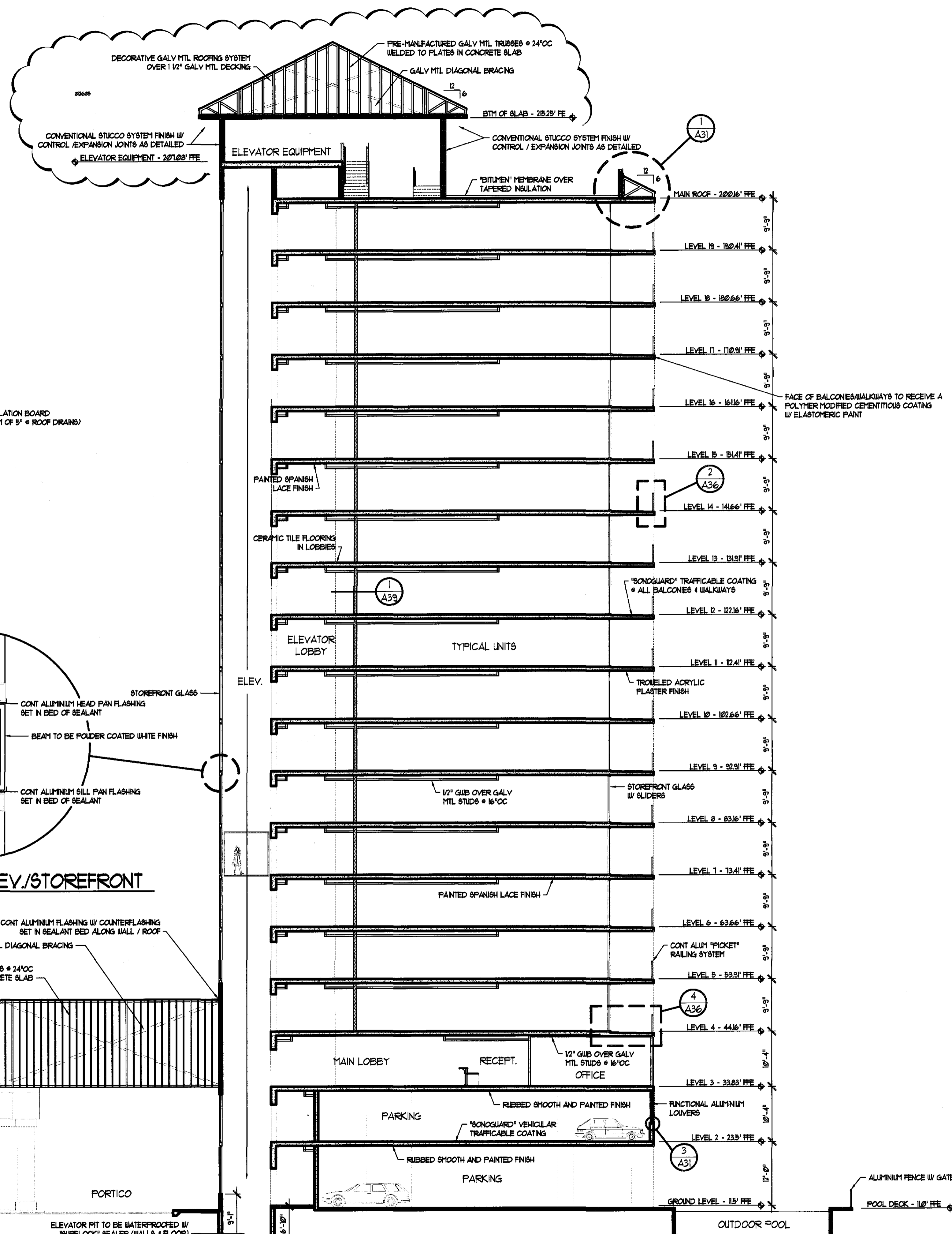
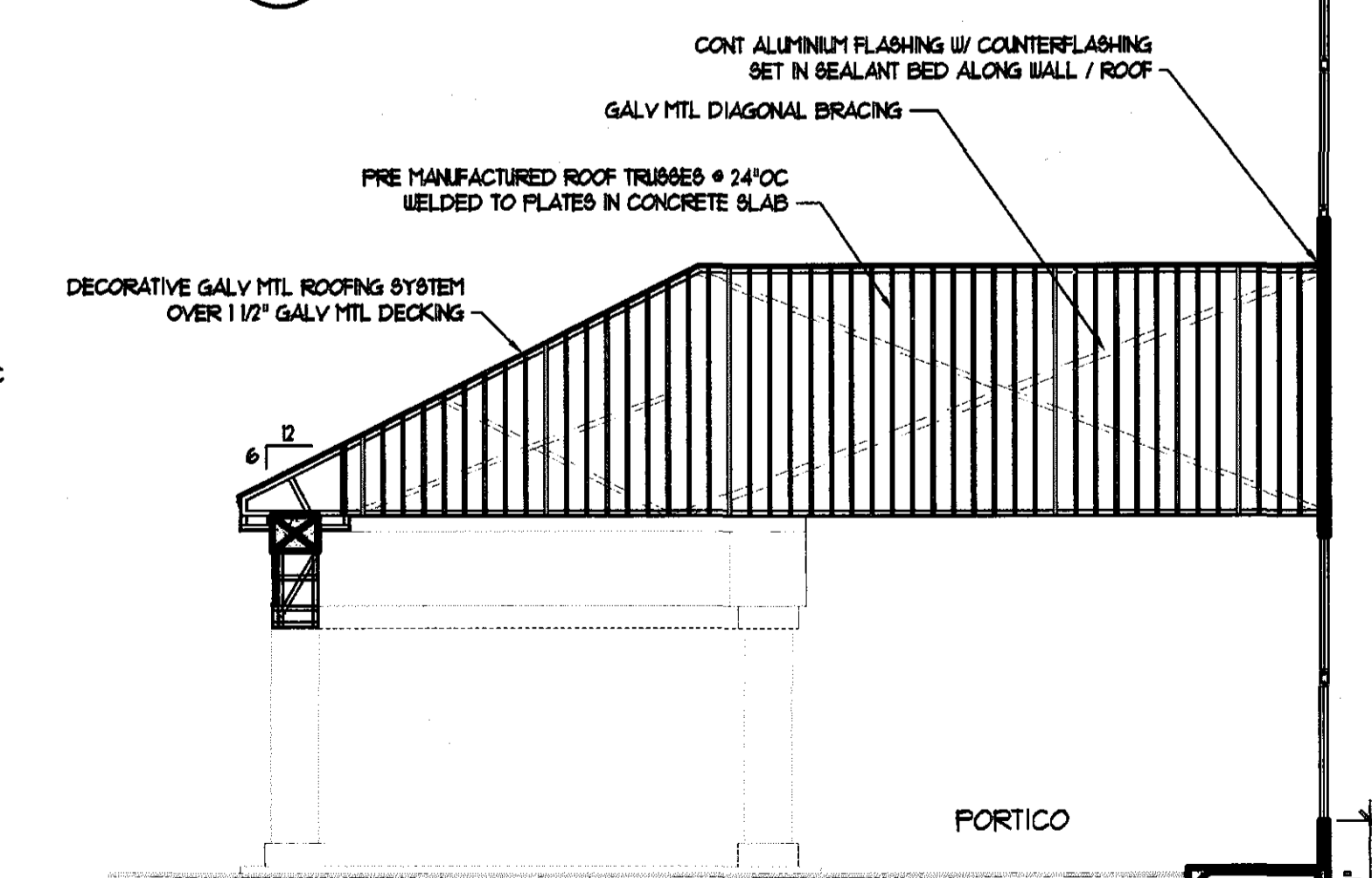
1 TYPICAL ROOF/PARAPET DETAIL
1" = 1'-0"



3 LOUVER DETAIL @ PARKING
3" = 1'-0"



2 DETAIL @ ELEV./STOREFRONT
NOT TO SCALE



BUILDING SECTION "A"

3/32" = 1'-0"

"Need Not Be Built"



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DESIGN

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FLORIDA 32501

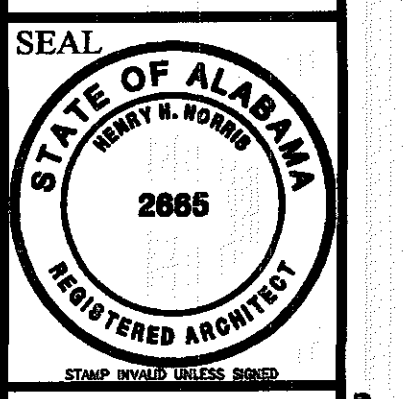
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Building
Sections

San Carlos Condominium

Gulf Shores, Alabama

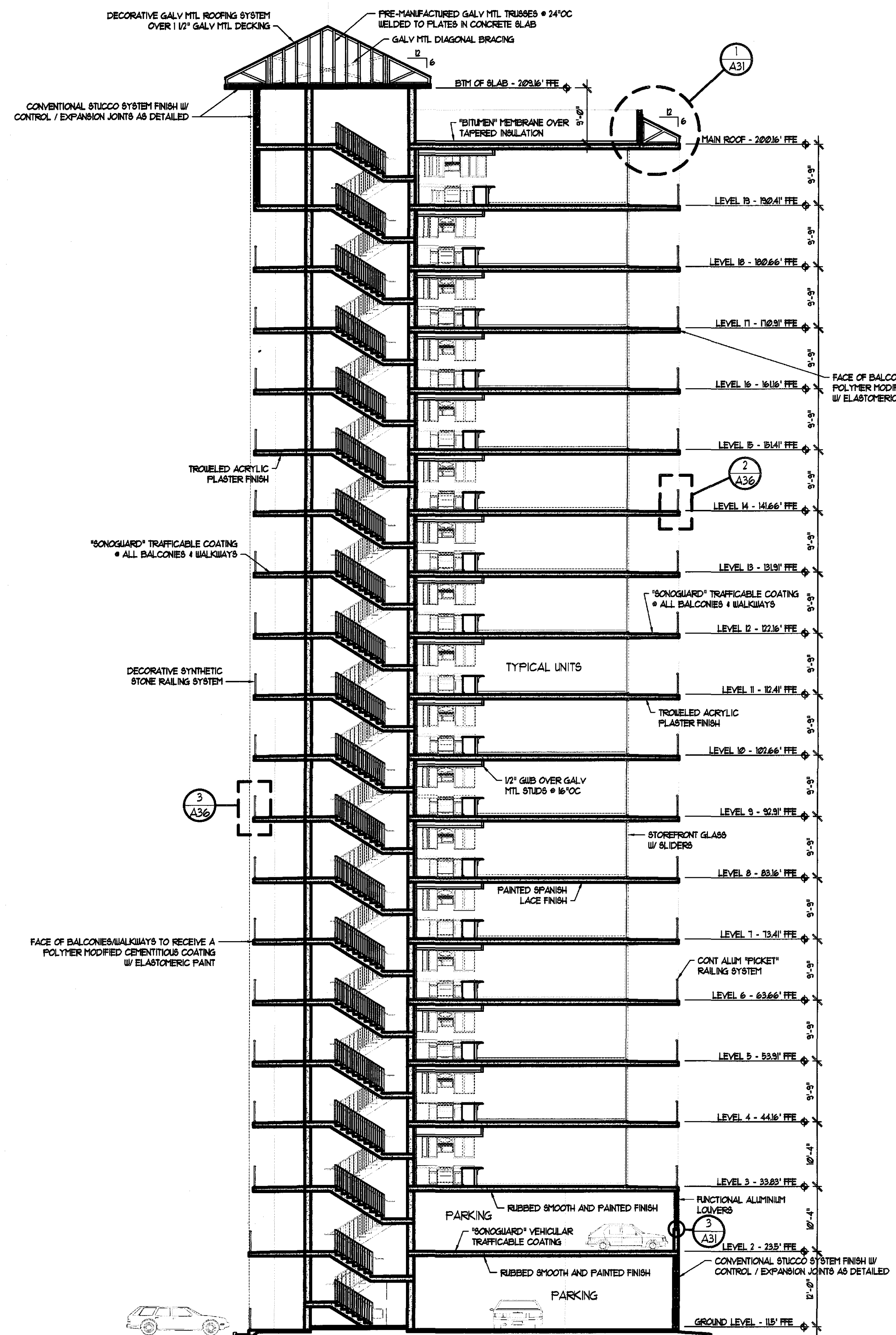
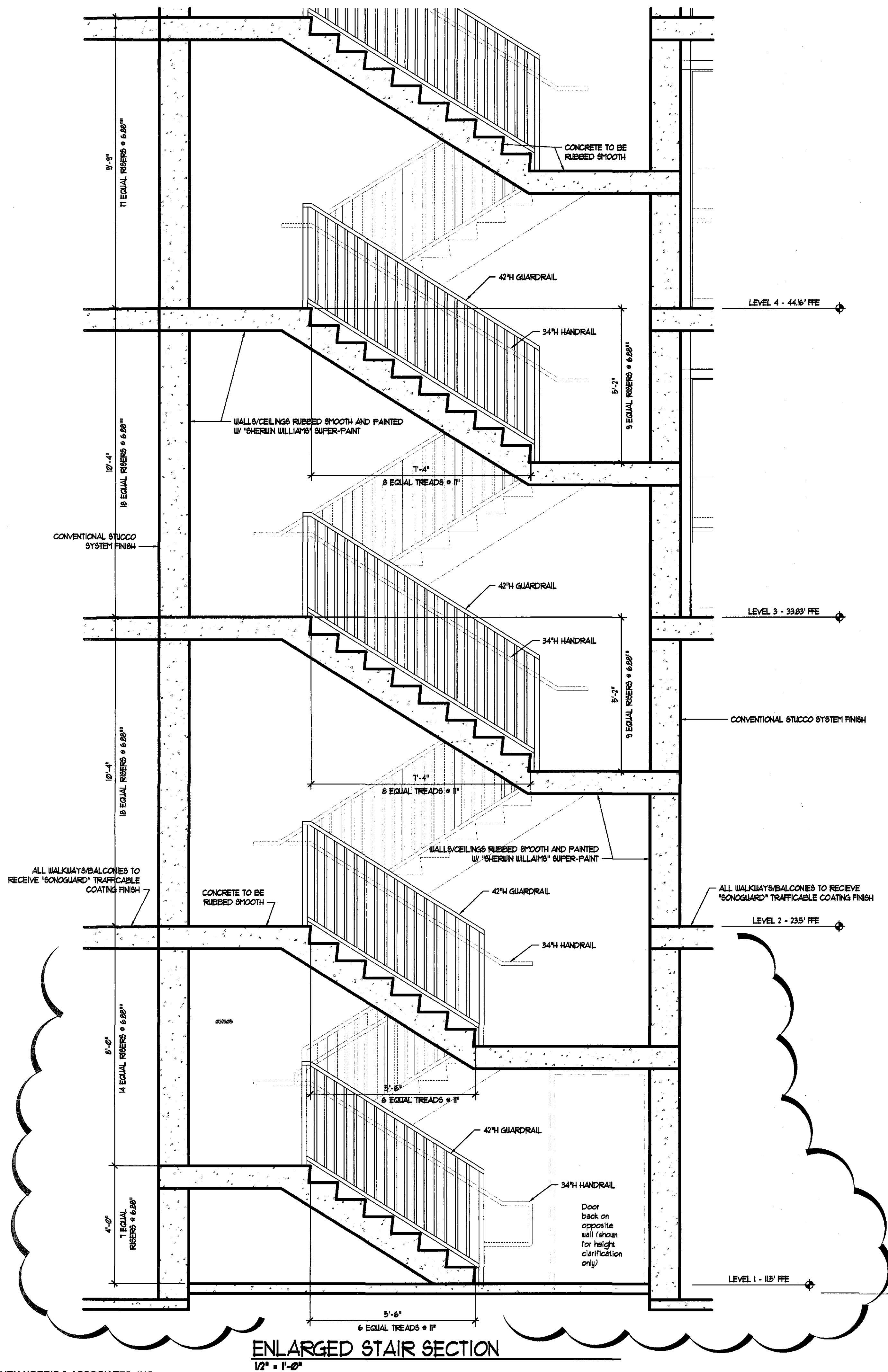
JOB NO.: 200301
CAD: R18n
CHECKED: HN
DATE: 5/21/04
REVISIONS:



SHEET

A32

OF 40



FACE OF BALCONIES/WALKWAYS TO RECEIVE A POLYMER MODIFIED CEMENTITIOUS COATING W/ ELASTOMERIC PAINT

CONVENTIONAL STUCCO SYSTEM FINISH W/ CONTROL / EXPANSION JOINTS AS DETAILED

FUNCTIONAL ALUMINUM LOWERS

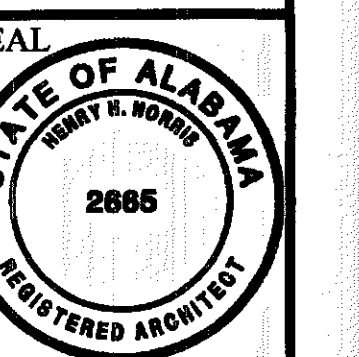
RUBBED SMOOTH AND PAINTED FINISH

RUBBED SMOOTH AND PAINTED FINISH

San Carlos Condominium
Gulf Shores, Alabama

JOB NO.: 200301
CAD: Plan
CHECKED: HN
DATE: 5/21/04

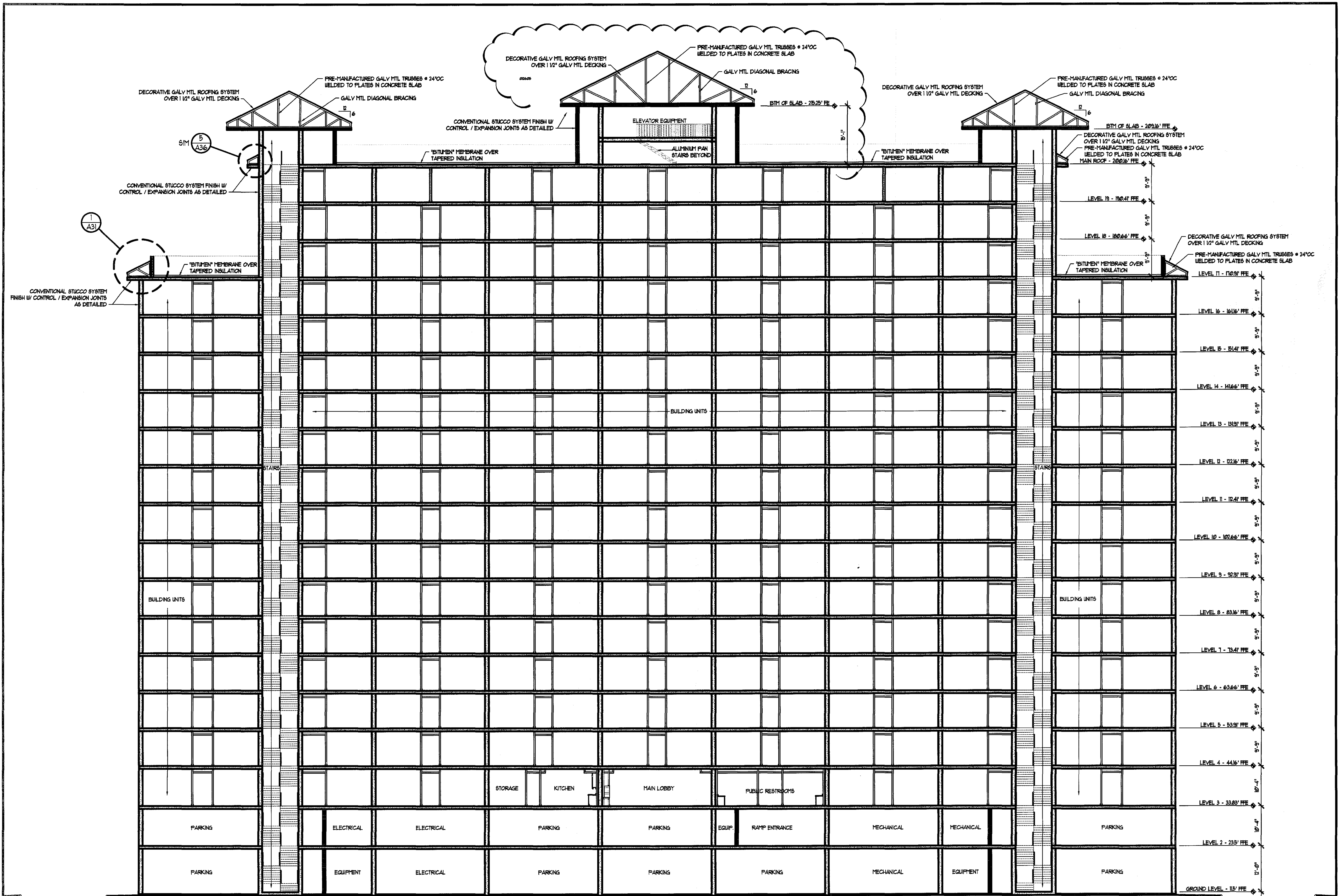
REVISIONS:
010405 - Revise Elevator Equipment Room 5th Elevation and the 6th of Elevator Equipment Room 6th Elevation.



SHEET

A33

OF 40



BUILDING SECTION "C"
3/32" = 1'-0"

"Need Not Be Built"



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

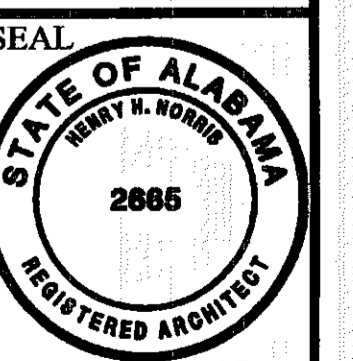
30 N. PALAFOX PENSACOLA, FLORIDA 32501

(850) 432-6011 FAX 435-9001

Building sections

San Carlos Condominium
Gulf Breeze, Alabama

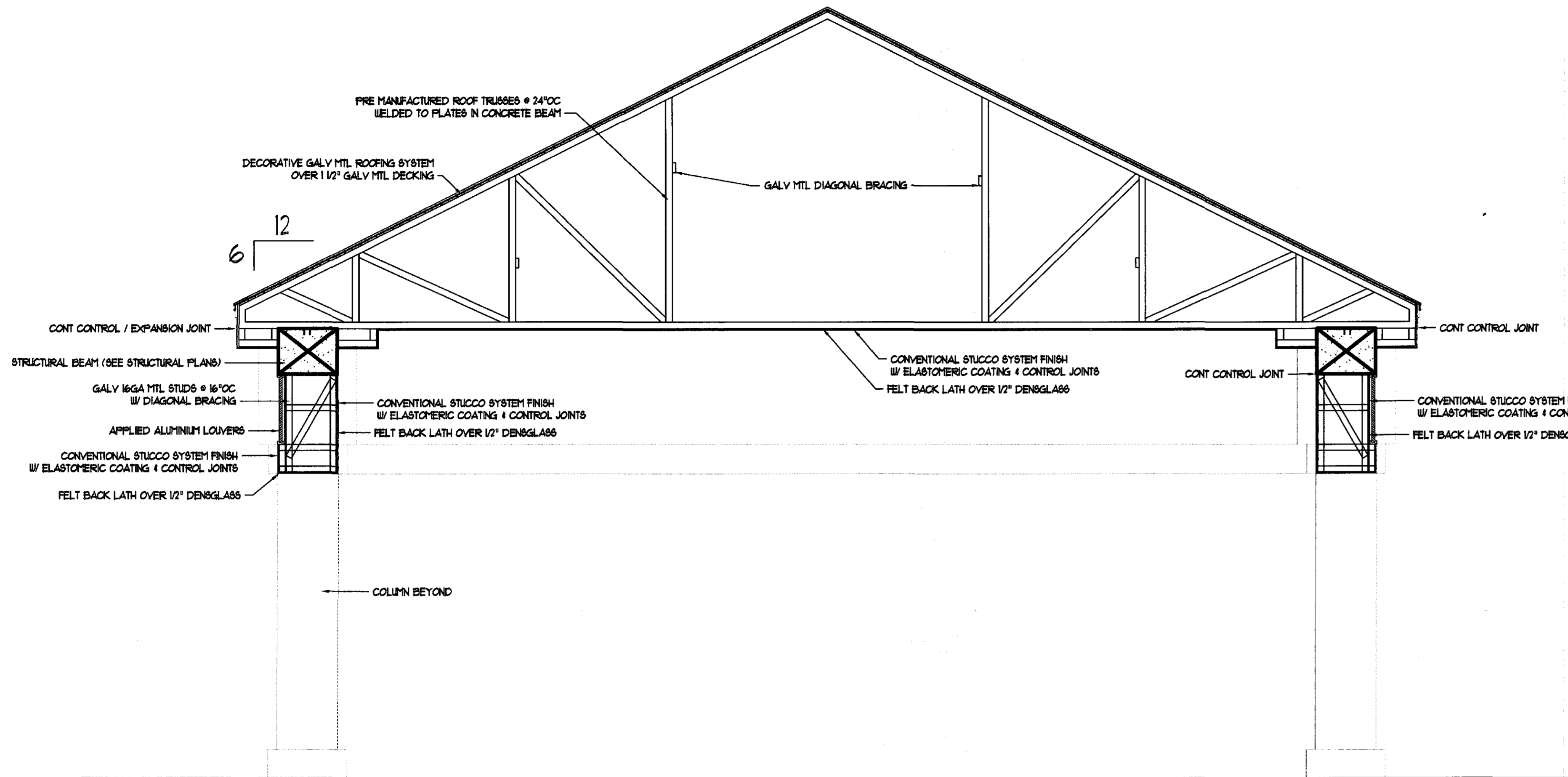
JOB NO.: 200301
CAD: RMan
CHECKED: HN
DATE: 5/21/04
REVISIONS:



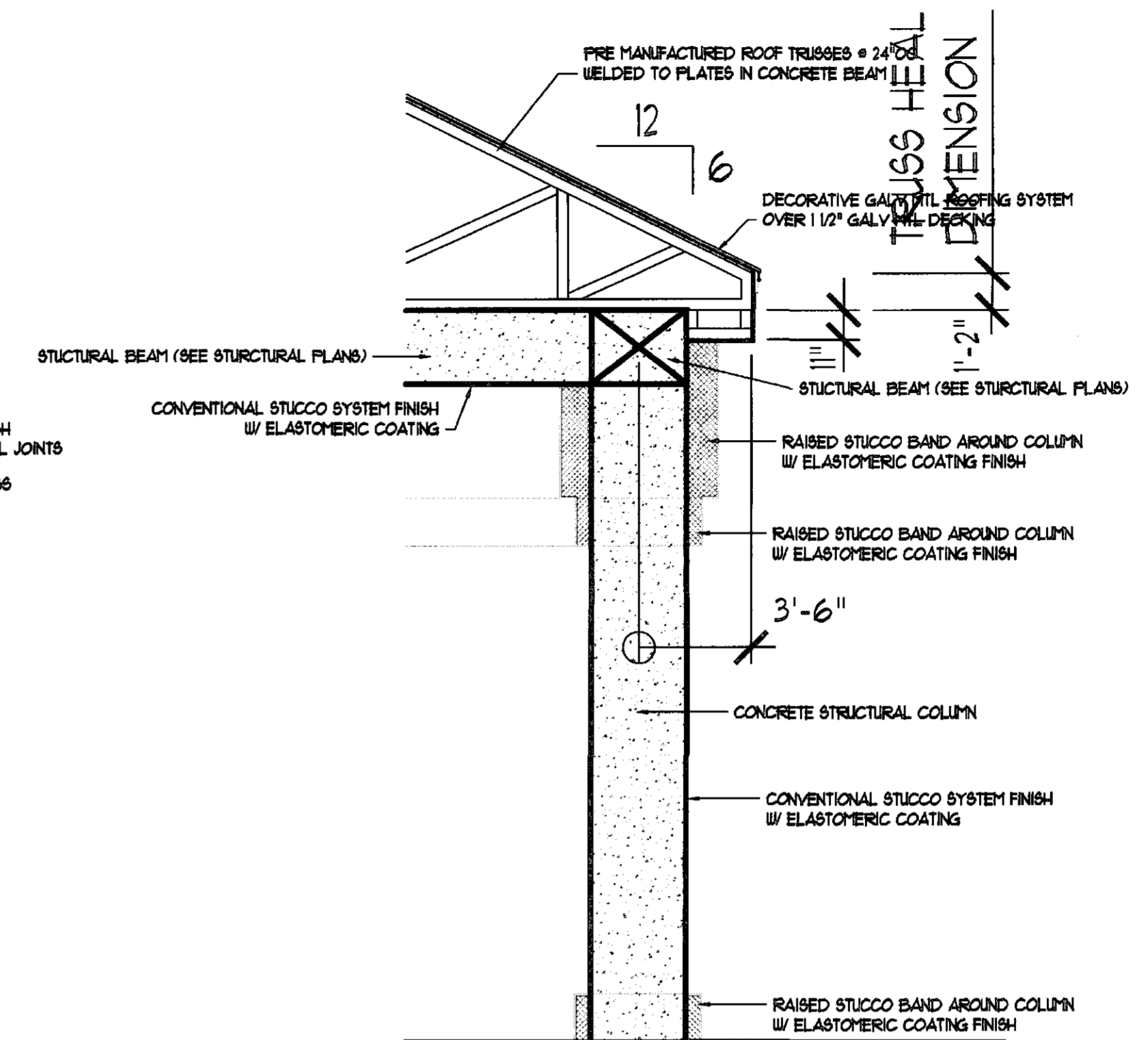
SHEET

A34

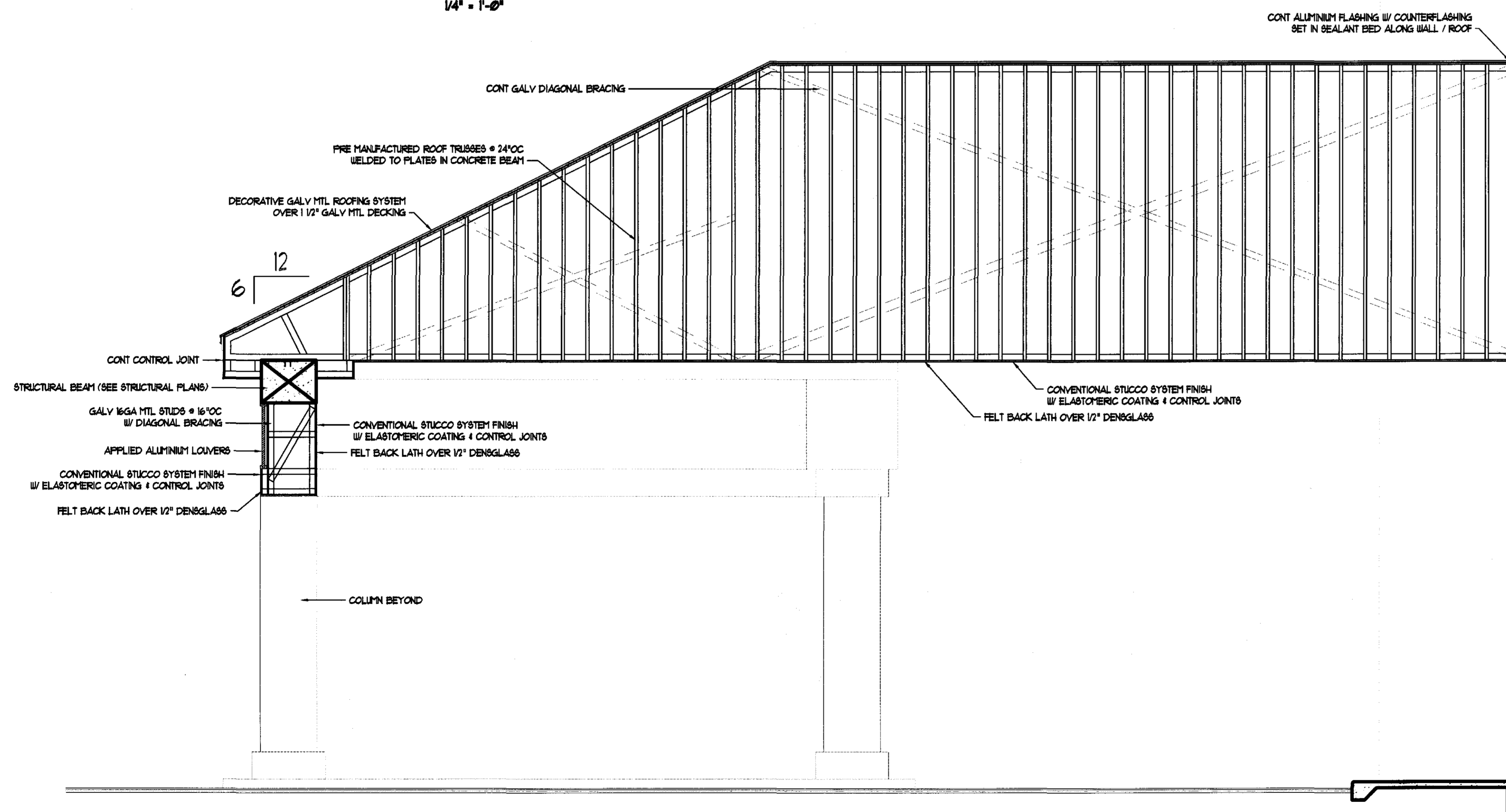
OF 40



"PORTICO" SECTION "D"
1/4" = 1'-0"



SECTION @ "PORTICO" COLUMN
1/4" = 1'-0"



ENLARGED BUILDING SECTION "A" @ "PORTICO"
1/4" = 1'-0"



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ARCHITECTURE & ENVIRONMENTAL DESIGN

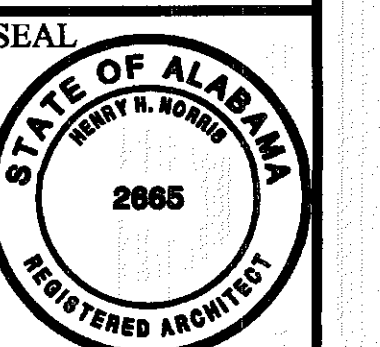
30 N. PALAFOX
PENSACOLA,
FLORIDA 32501

(850) 432-6011
FAX 435-9001

Enlarged
Plans

San Carlos Condominium
Gulf Shores, Alabama

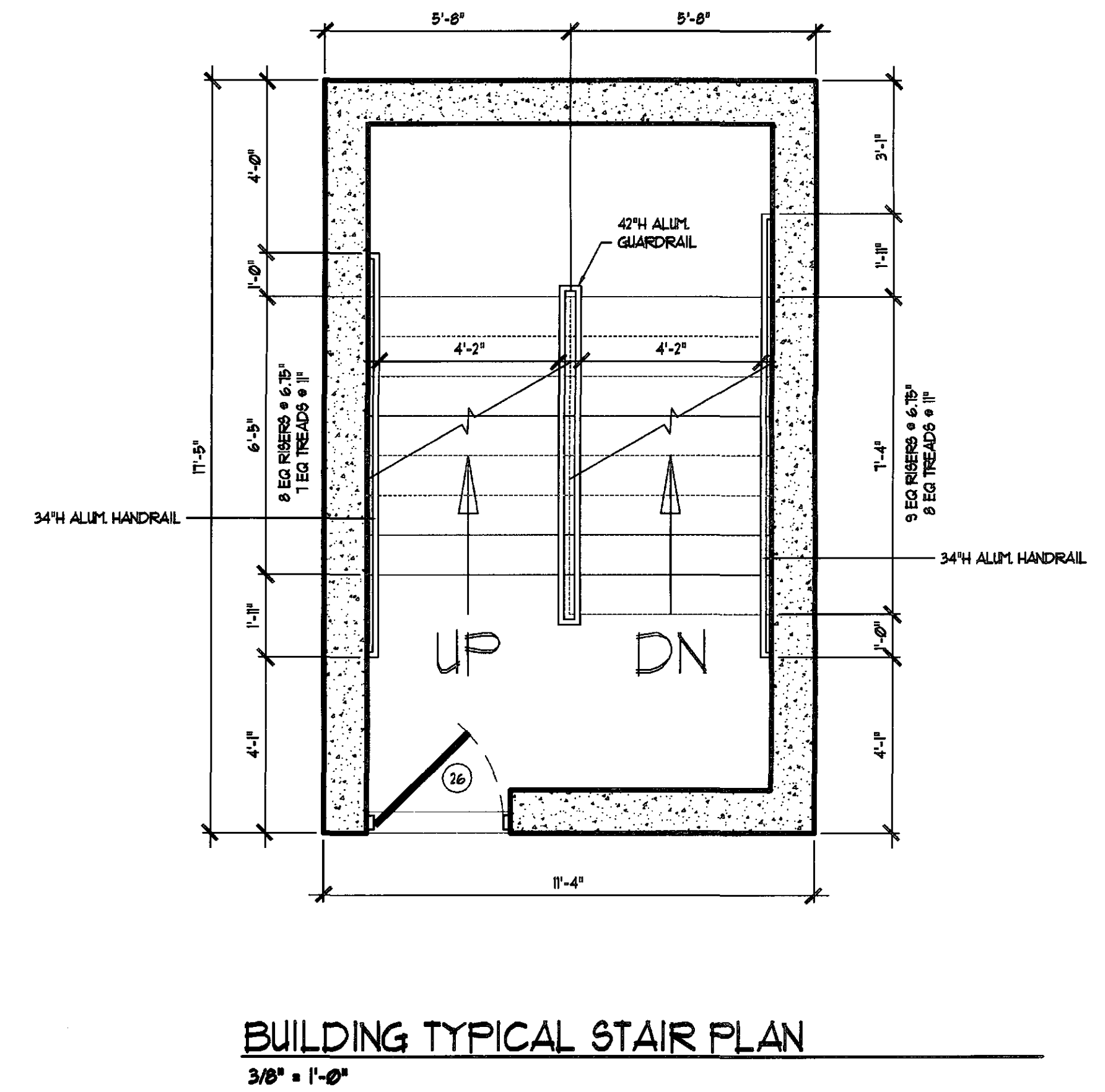
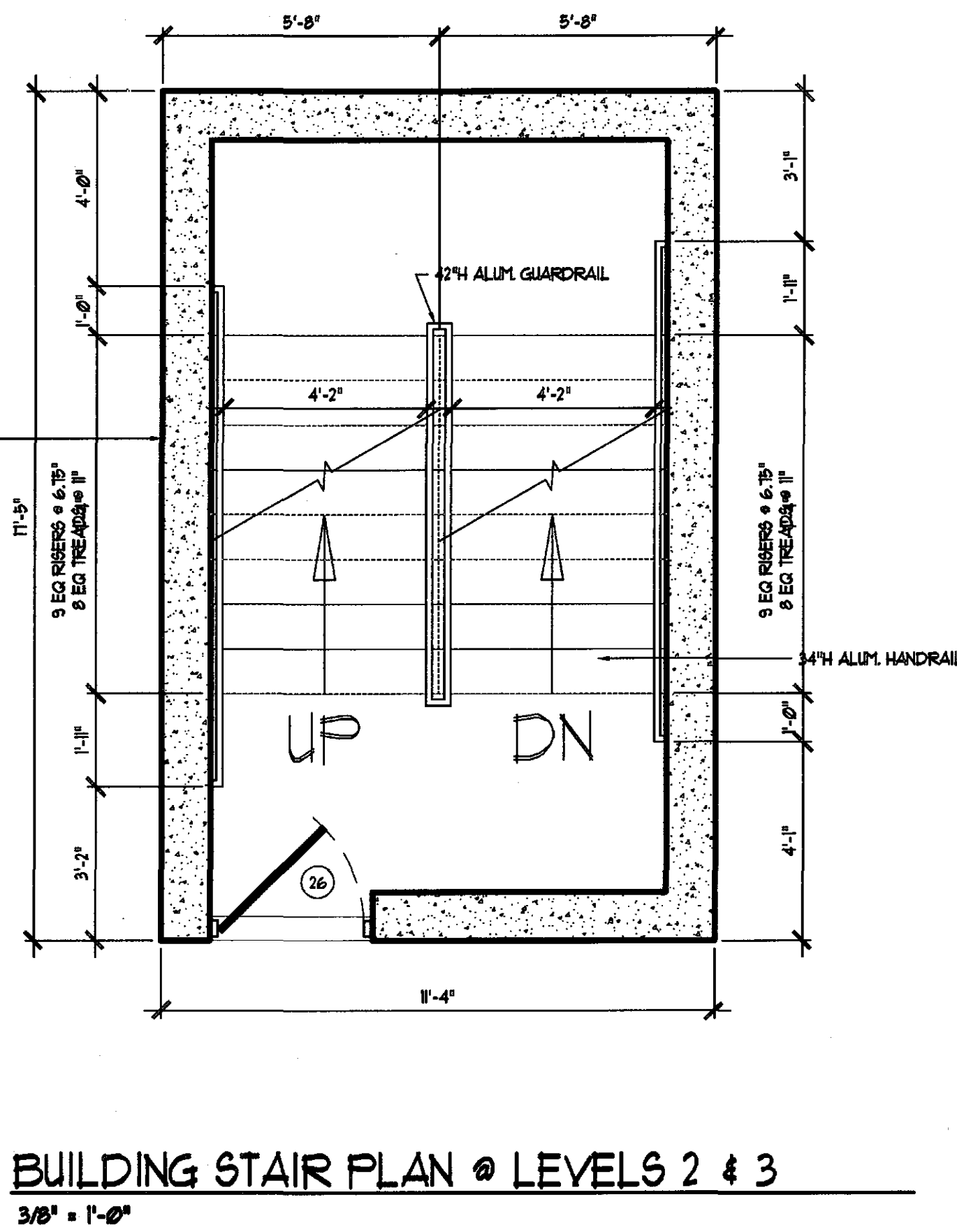
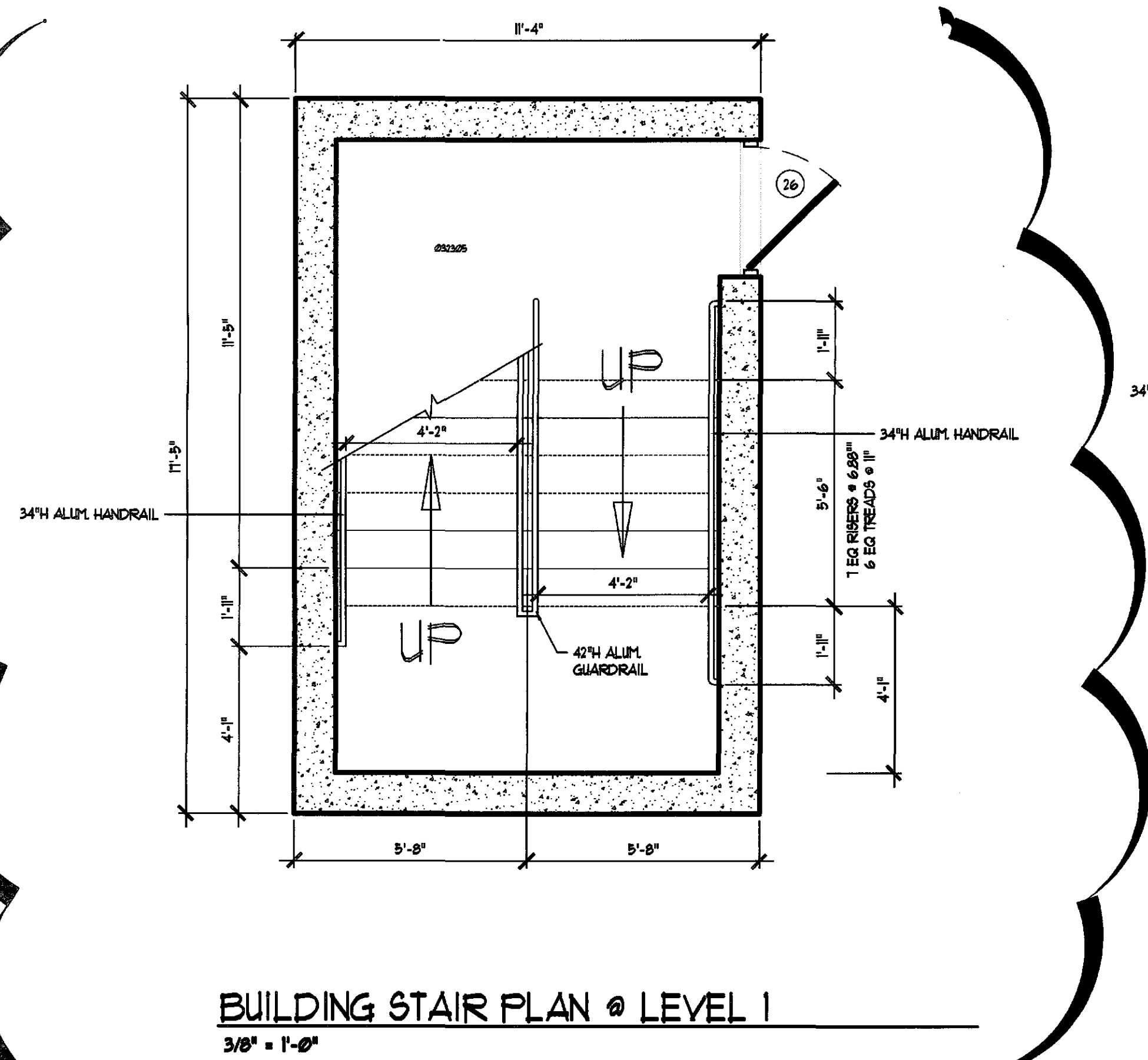
JOB NO.: 200301
CAD: R1an
CHECKED: HN
DATE: 5/21/04
REVISIONS:
022305 - Revision to sit level each plan



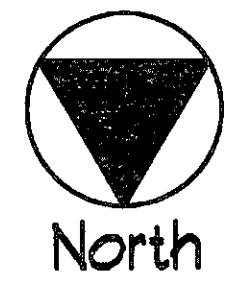
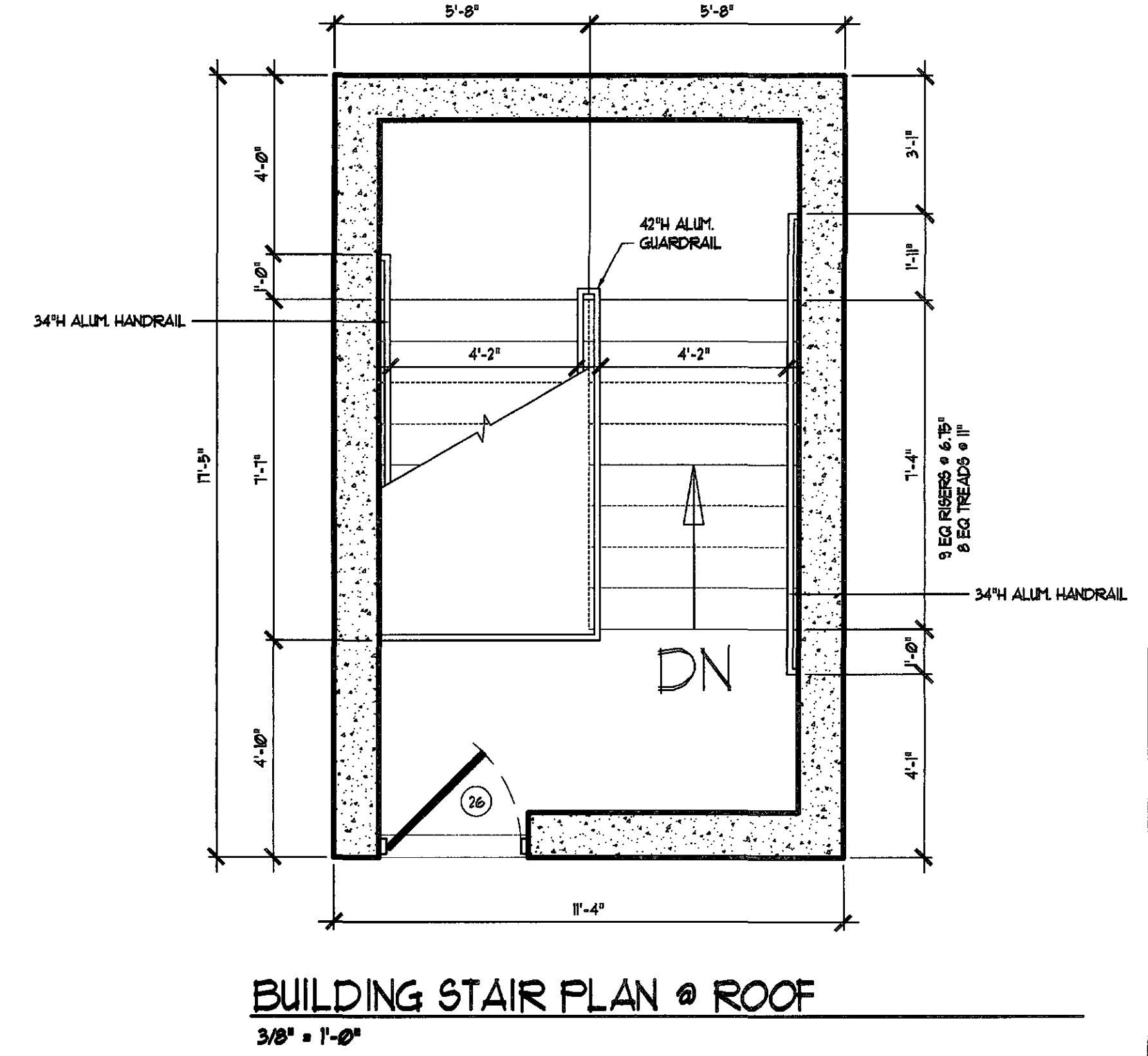
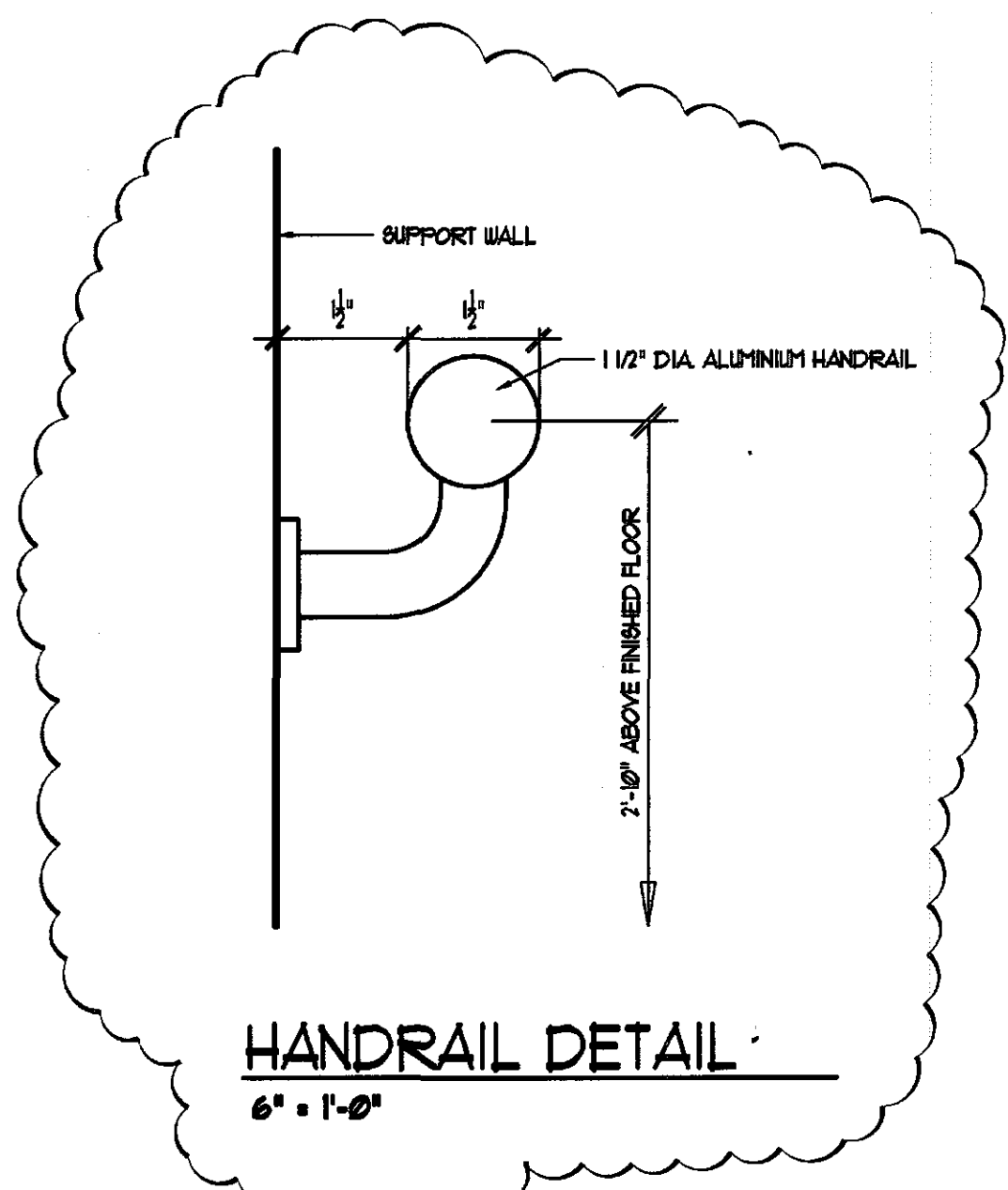
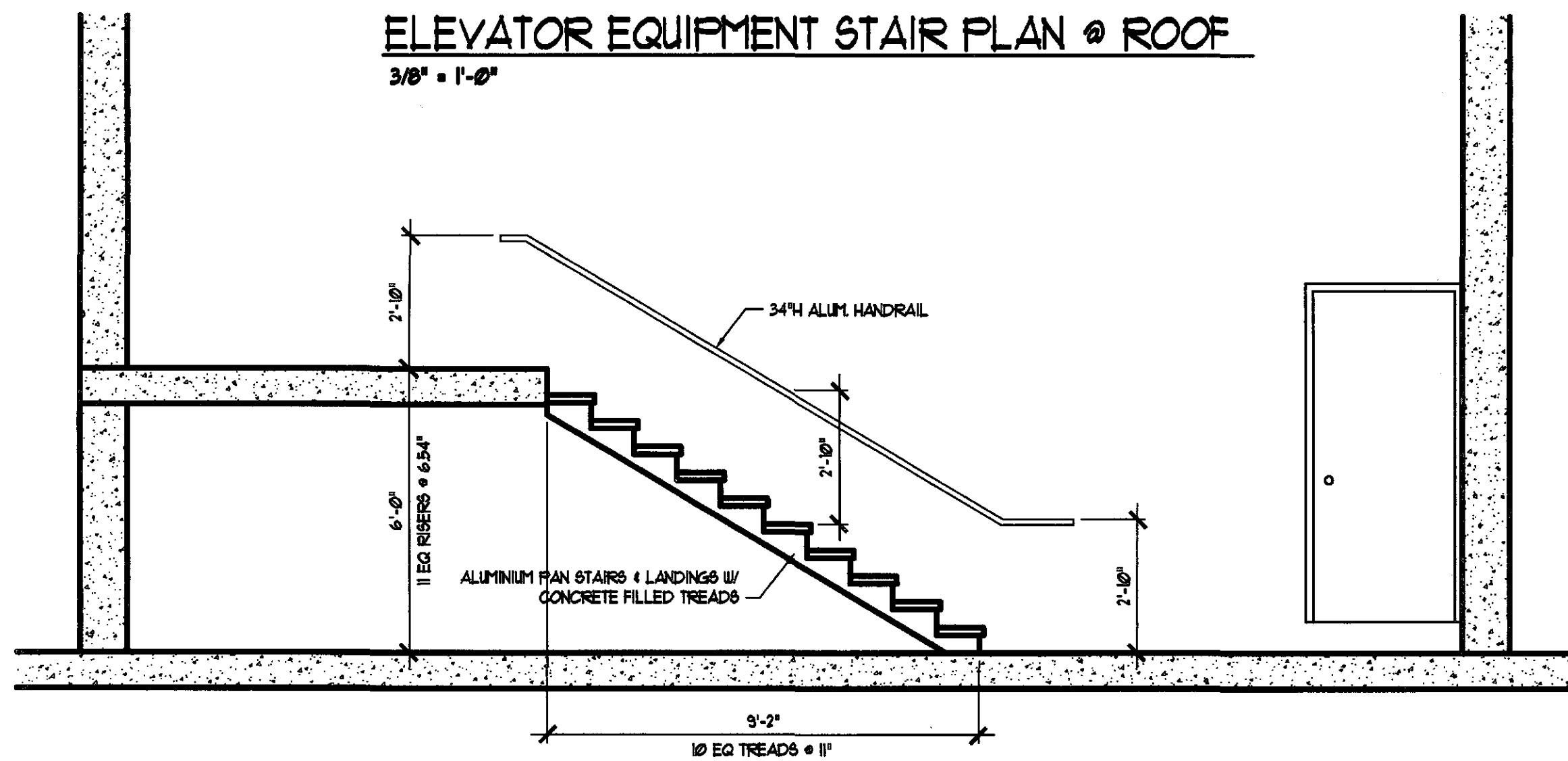
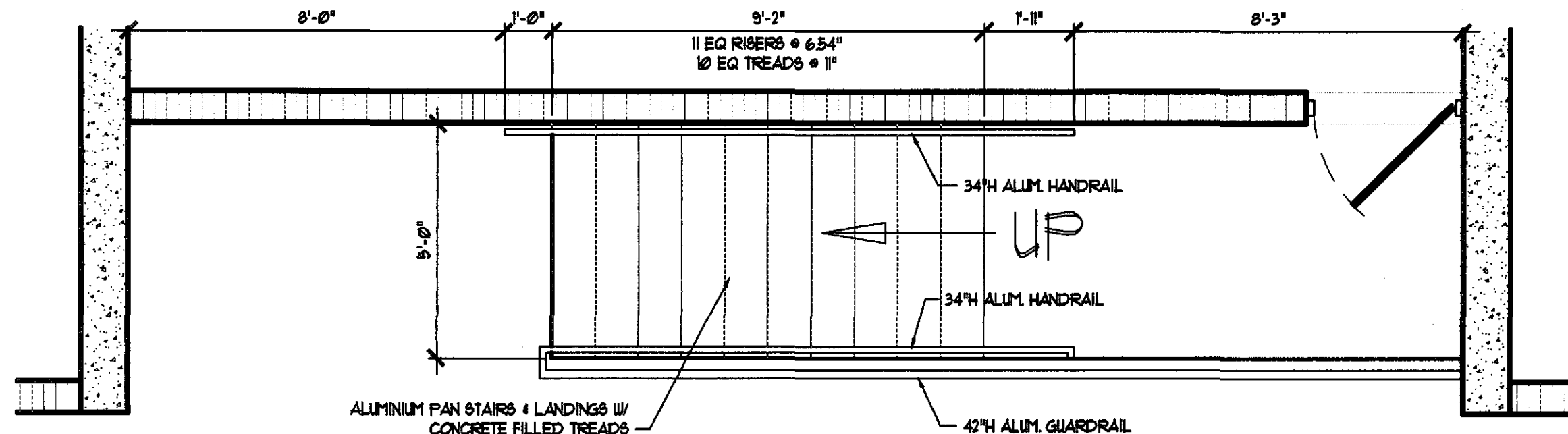
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A35

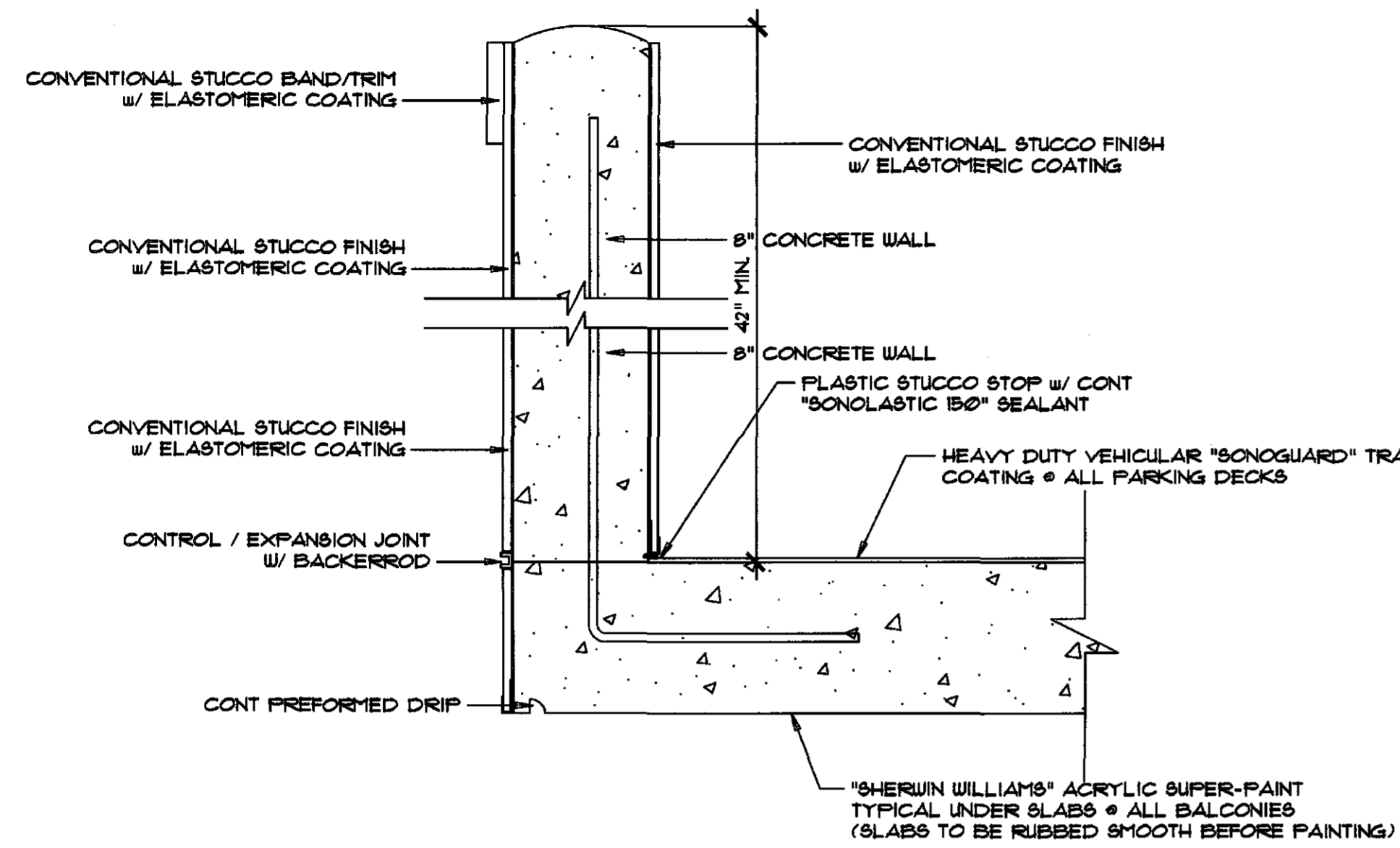
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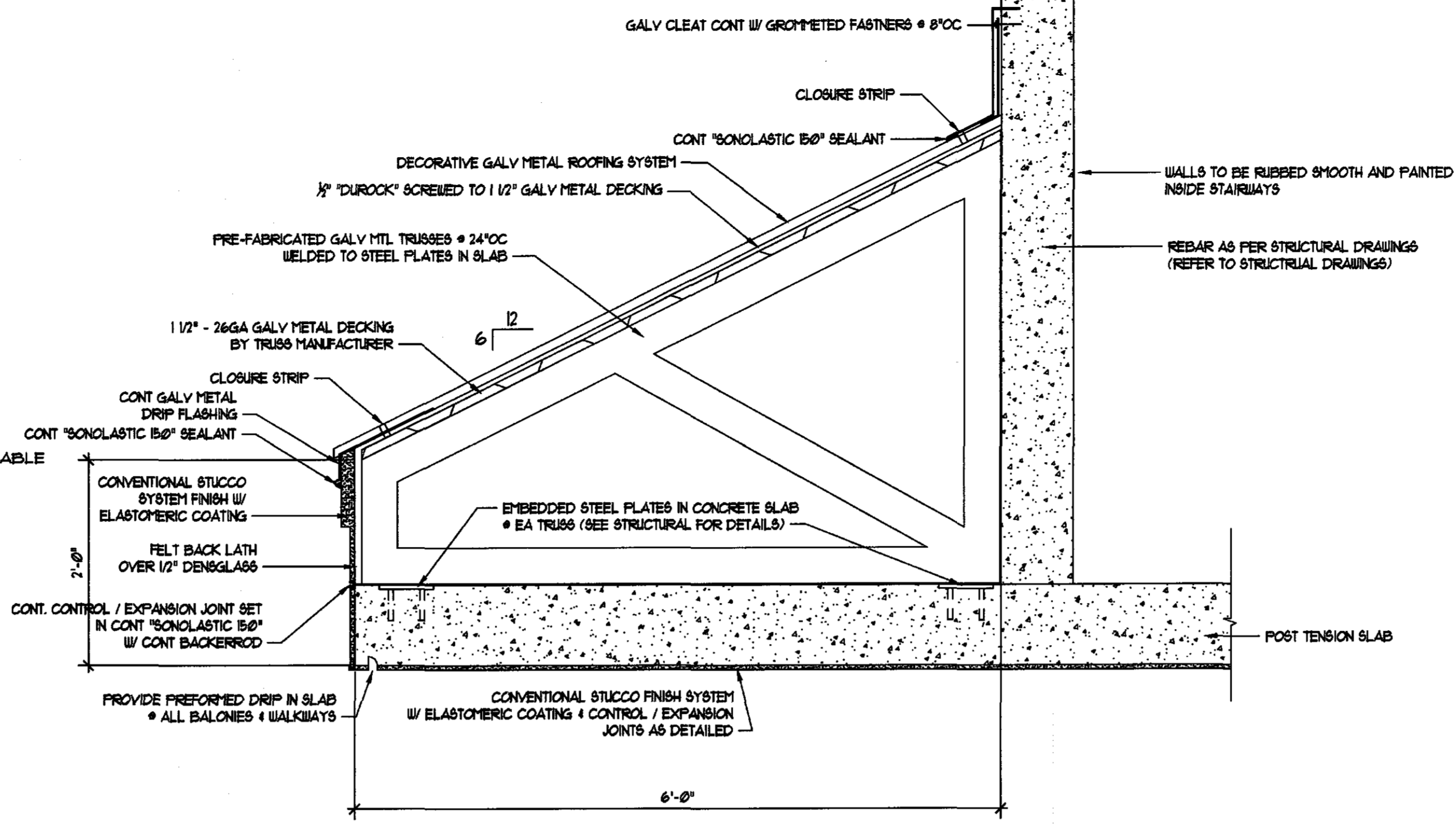
NOTE:
OUTSIDE WALLS OF STAIRS TO BE CONVENTIONAL STUCCO SYSTEM FINISH
INSIDE WALLS, CEILINGS, AND UNDER LANDINGS TO BE RUBBED SMOOTH AND PAINTED WITH "SHERWIN WILLIAMS" SUPER PAINT.
FLOORS TO REMAIN SMOOTH RAW CONCRETE. (NO FINISH)



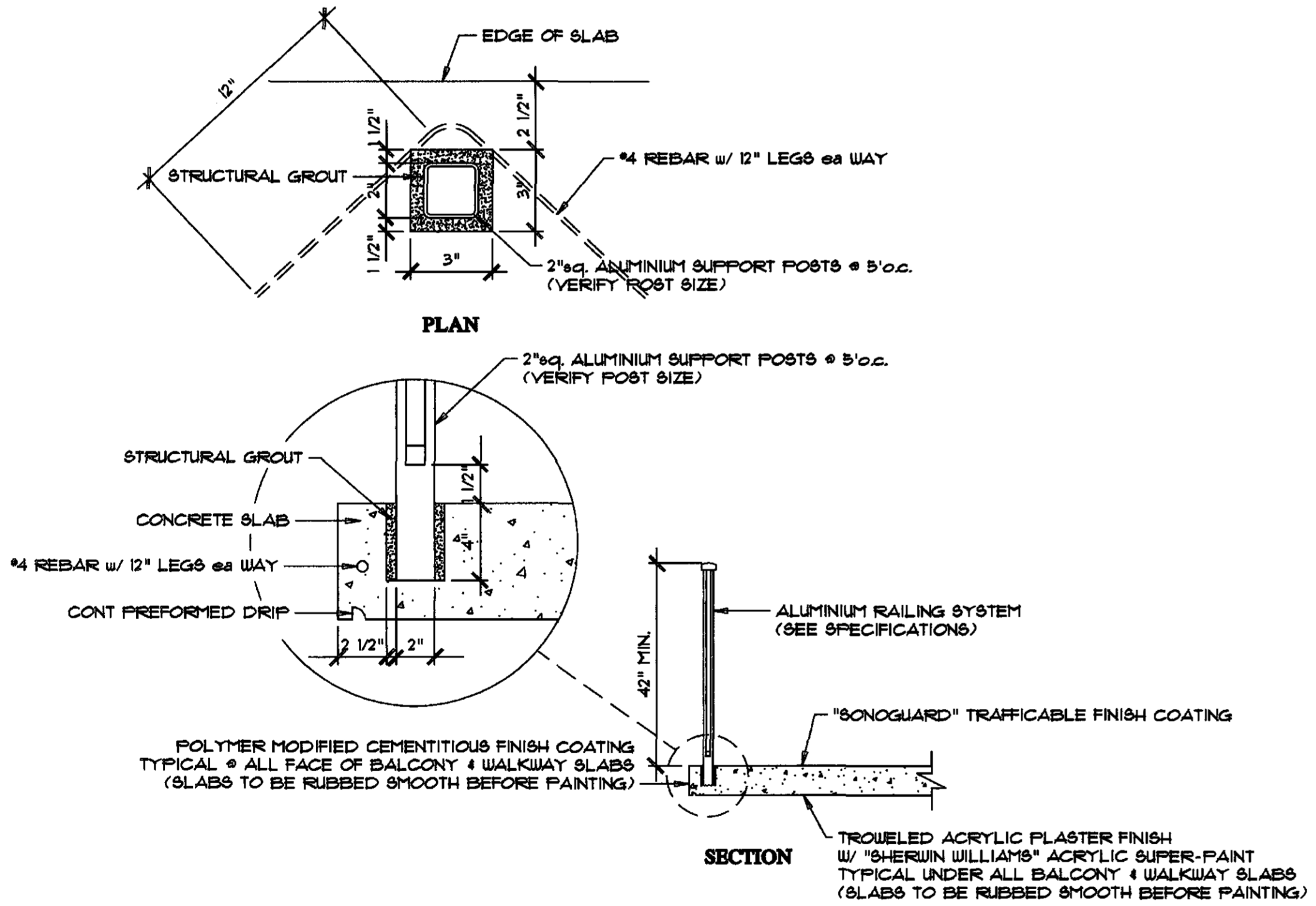
"Need Not Be Built"



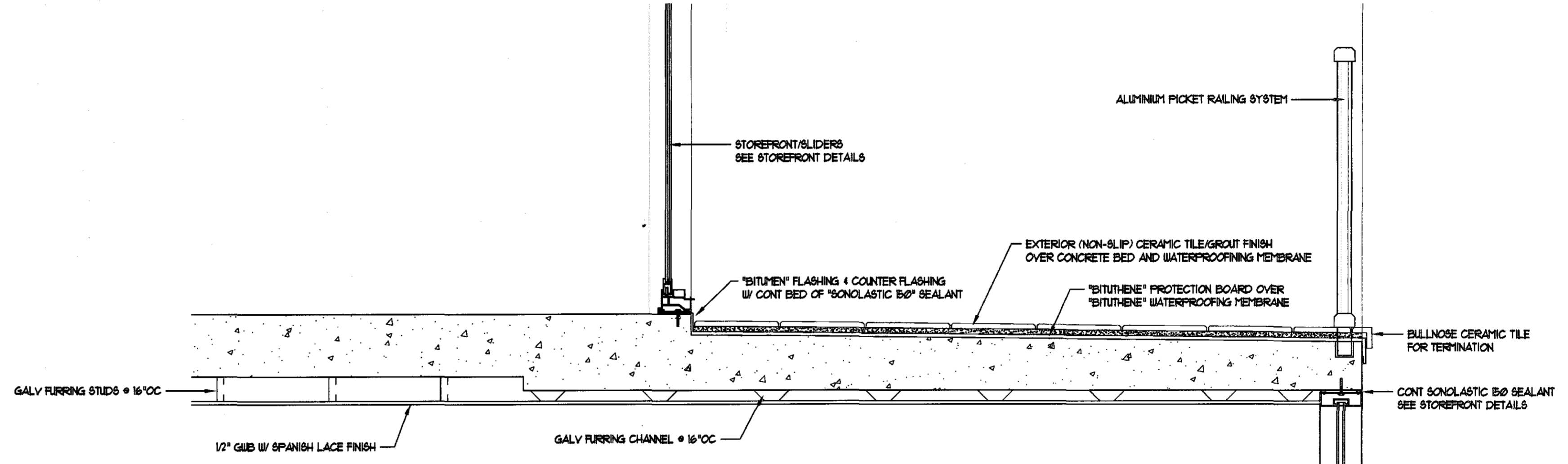
1 TYP DRIVE RAMP RAILING
1 1/2" = 1'-0"



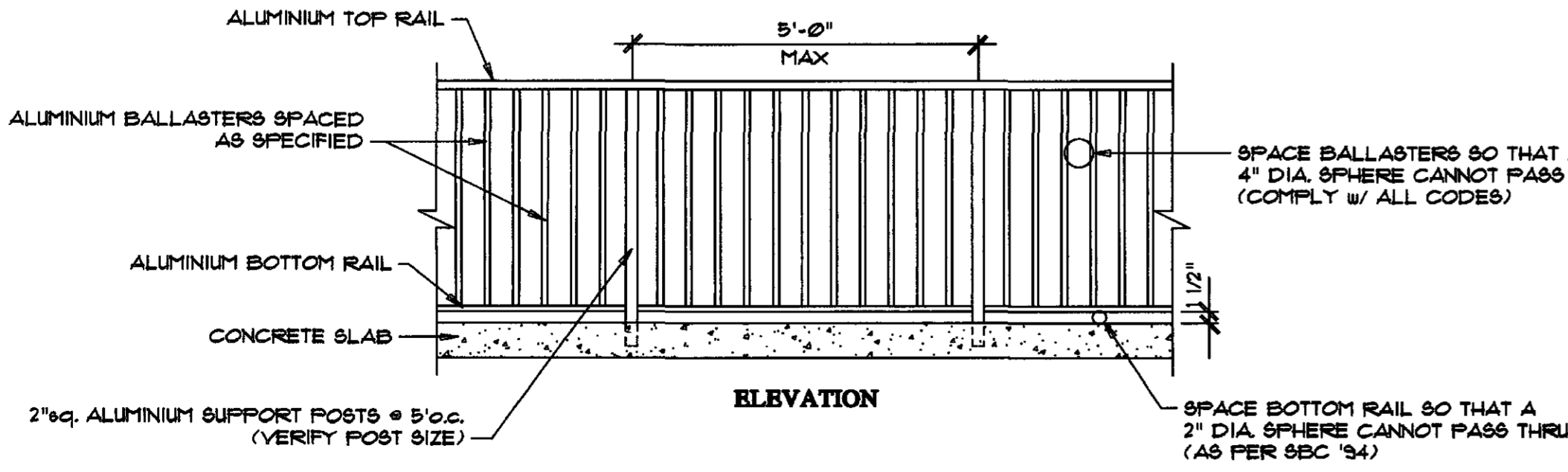
5 TYPICAL ROOF DETAIL
1" = 1'-0"



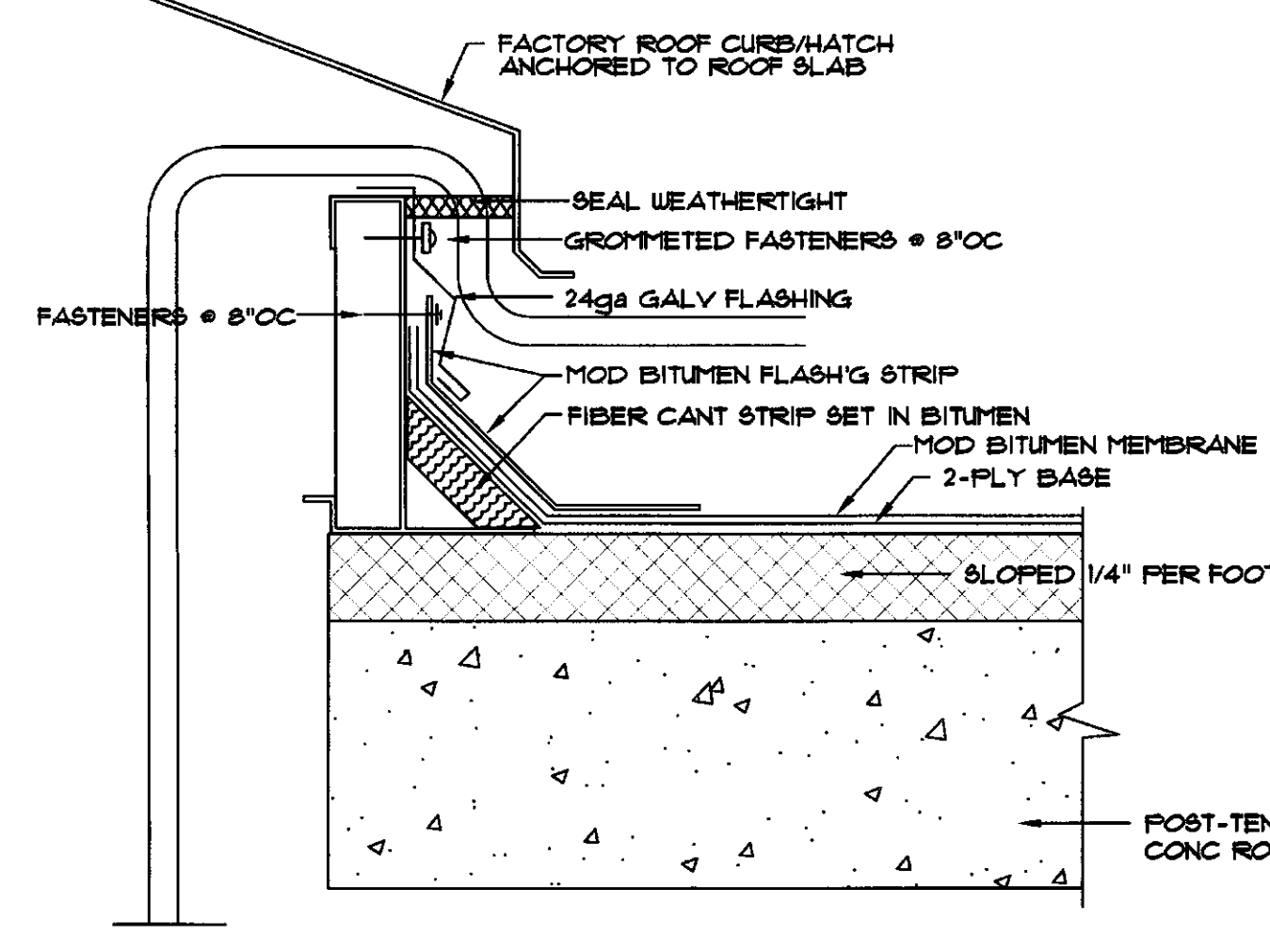
2 TYP ALUM RAILING
1/2" = 1'-0"



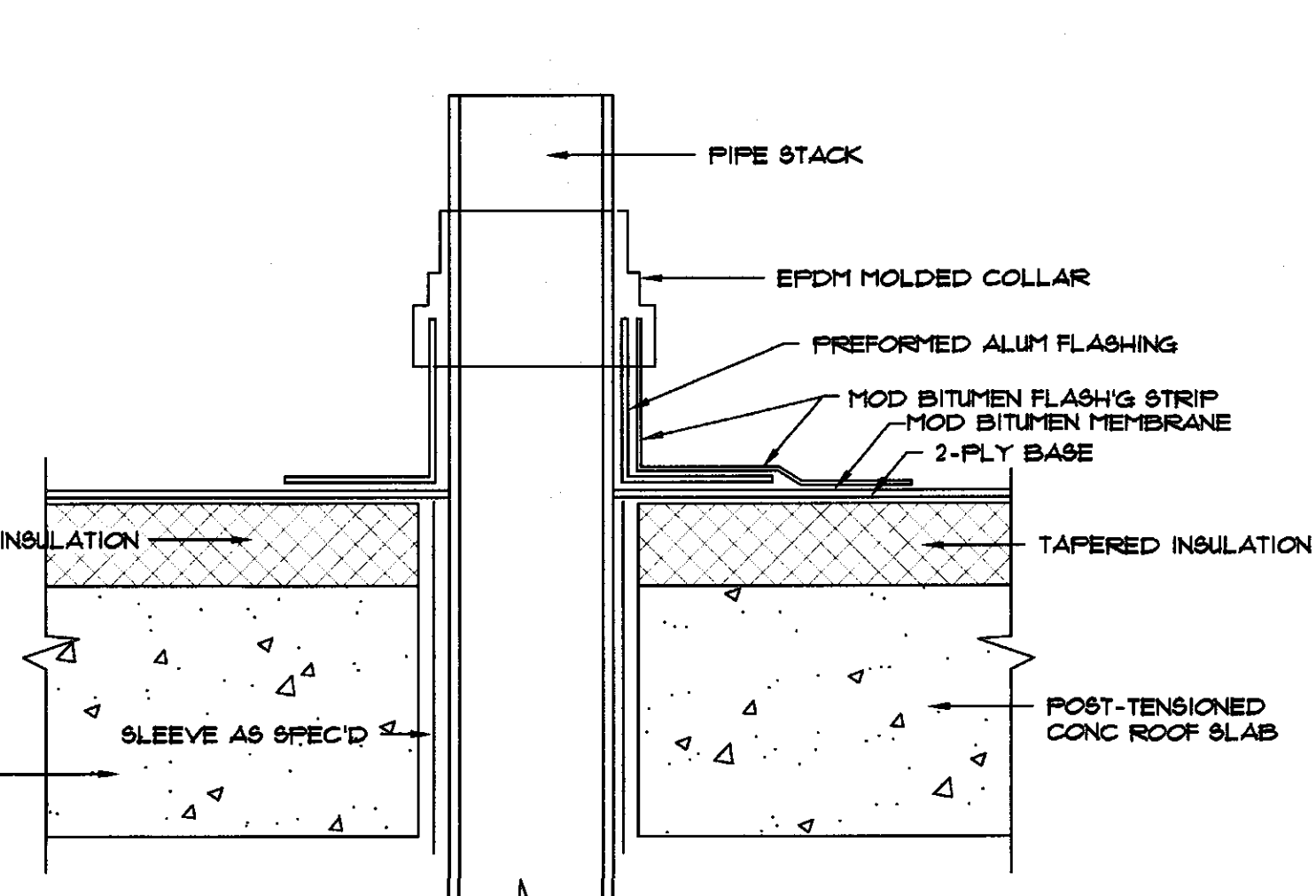
4 TILE BALCONY DETAIL @ BUILDING LEVEL 4
1" = 1'-0"



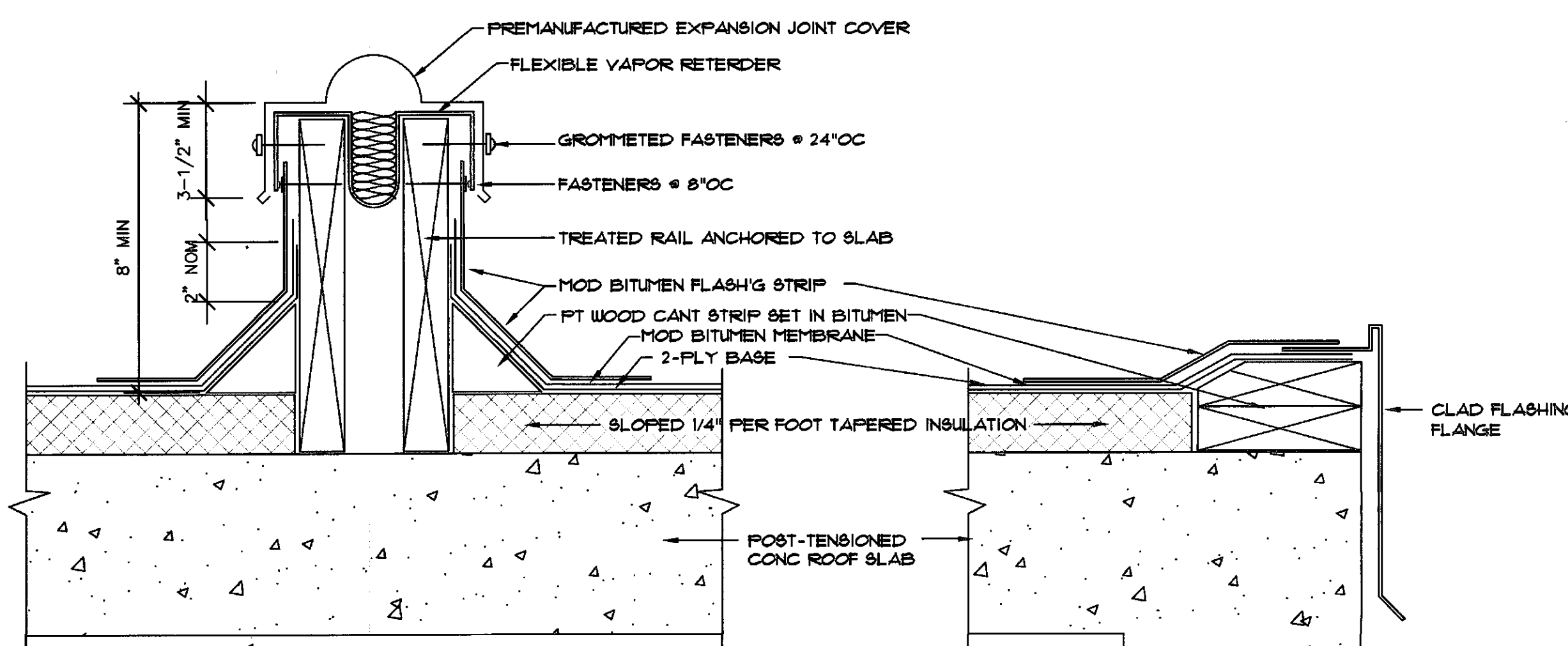
3 TYP SYNTHETIC STONE RAILING
1/2" = 1'-0"



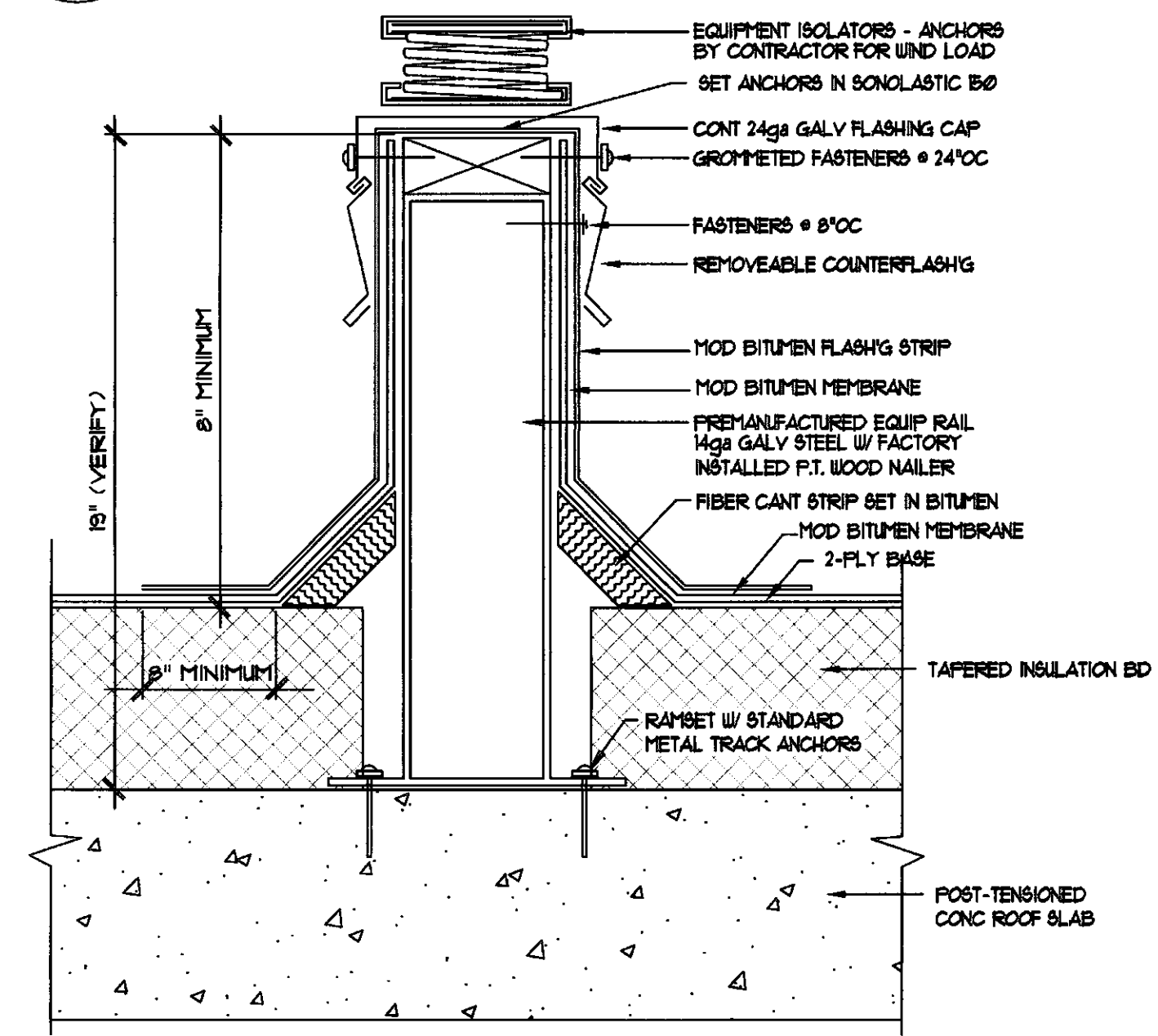
1 ROOF CURB/HATCH
A37 3'-1'-0"



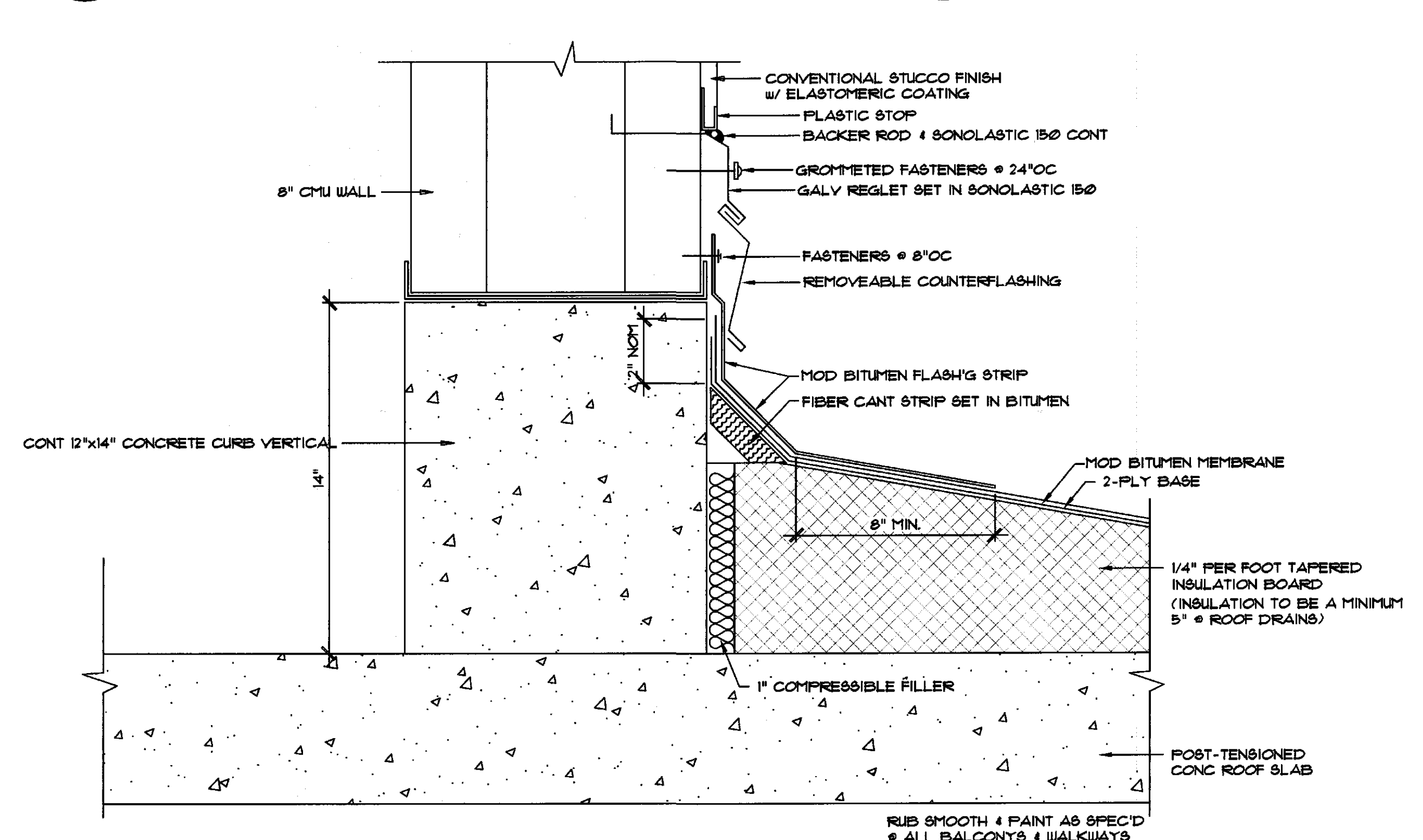
2 PIPE/VENT STACK
A37 3'-1'-0"



3 EXPANSION JOINT
A37 3'-1'-0"

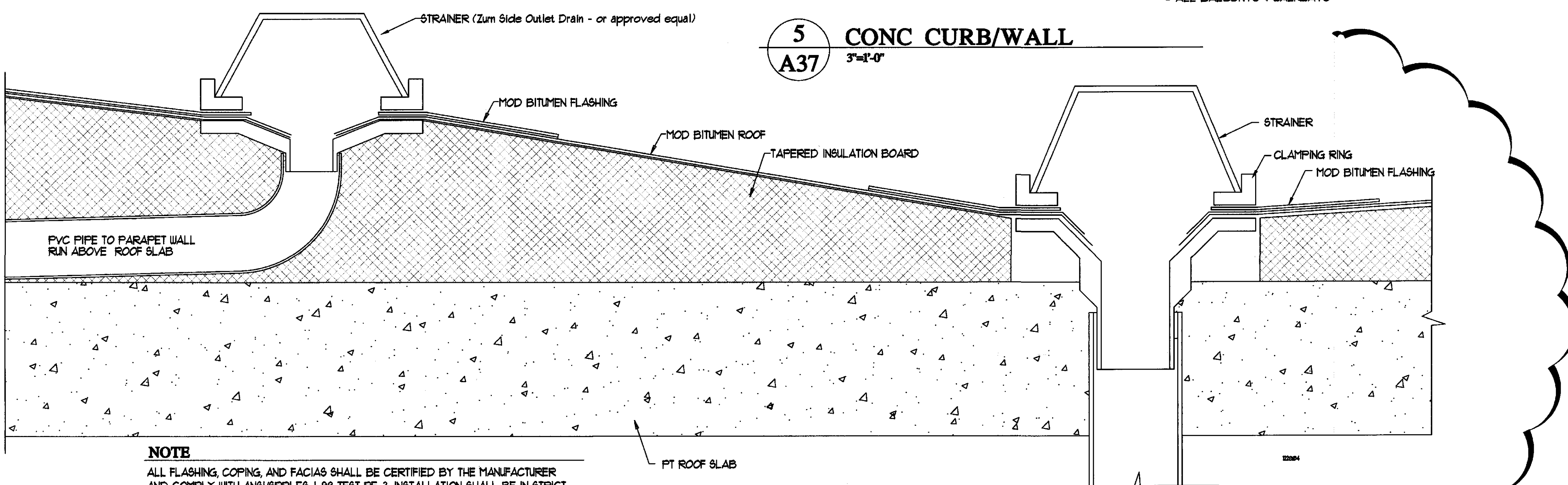


7 EQUIPMENT RAIL
A37 3'-1'-0"



5 CONC CURB/WALL
A37 3'-1'-0"

4 PERIMETER CURB
A37 3'-1'-0"

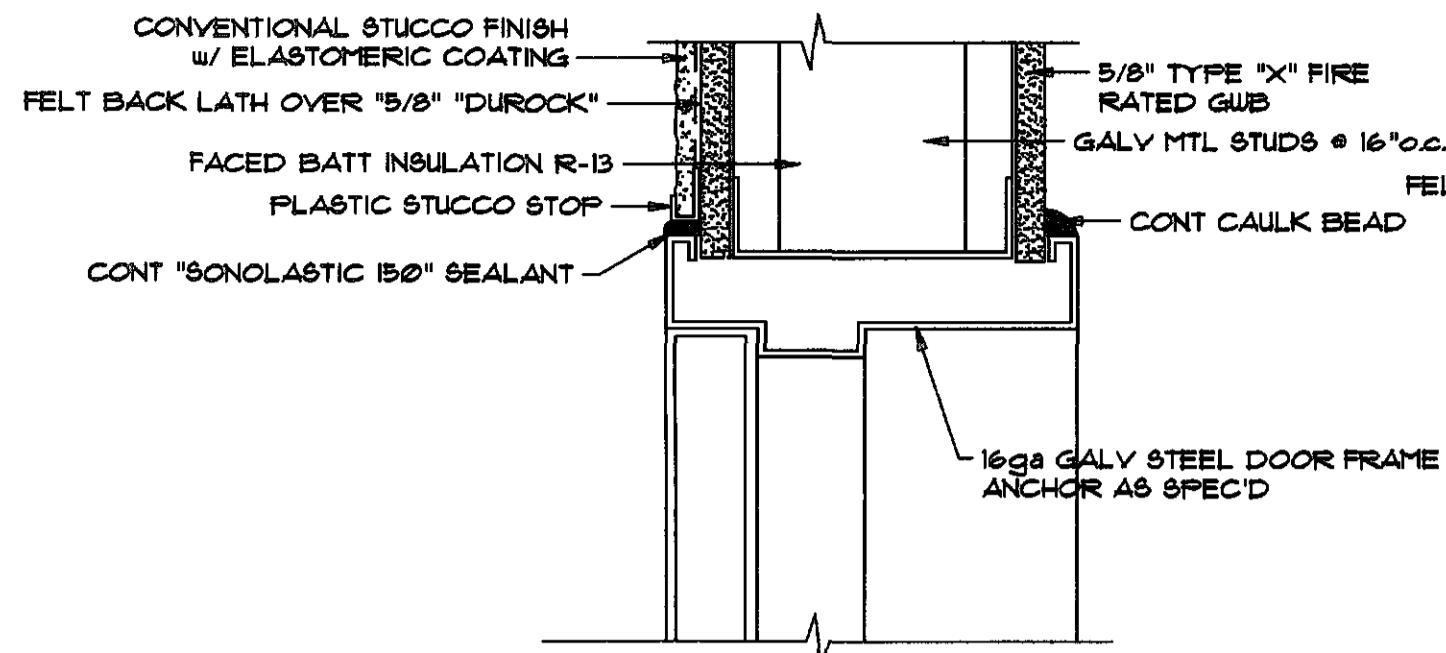


10a EMERGENCY ROOF DRAIN
A7.5 3'-1'-0"

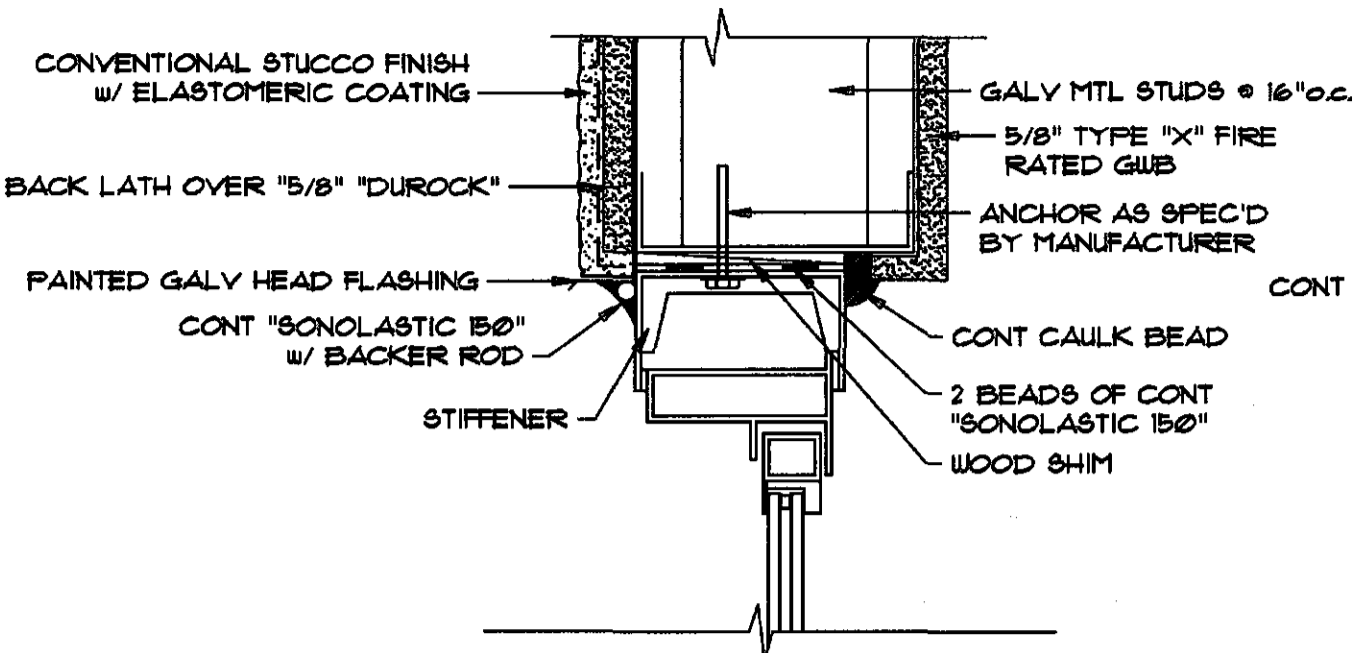
10 ROOF DRAIN
A7.5 3'-1'-0"

NOTE
ALL FLASHING, COPING, AND FACIAS SHALL BE CERTIFIED BY THE MANUFACTURER AND COMPLY WITH ANSI/SPRI E9-1-98 TEST RE-3. INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS AND SPECIFICATIONS

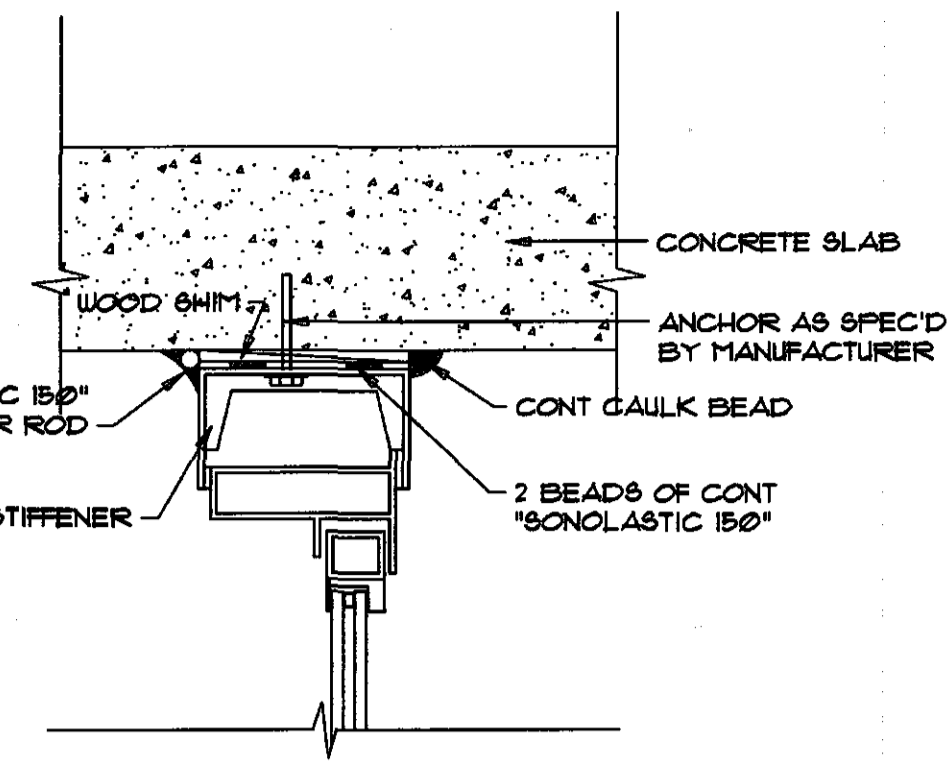
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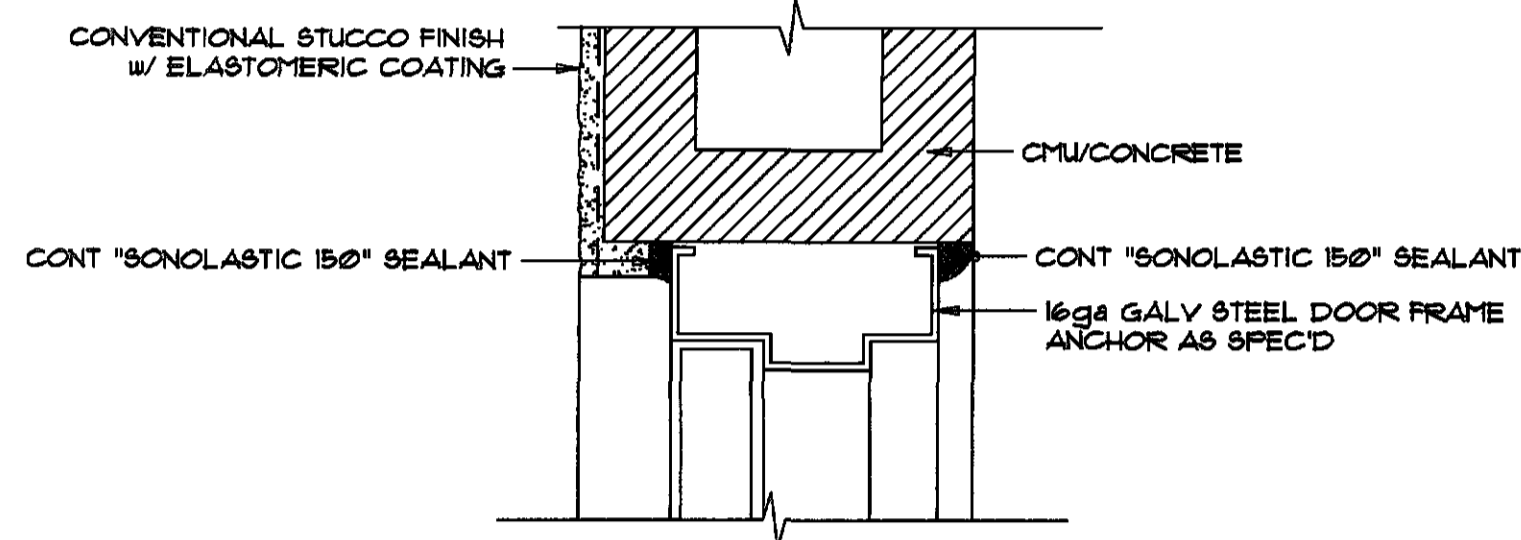
1 HEAD/JAMB SIM



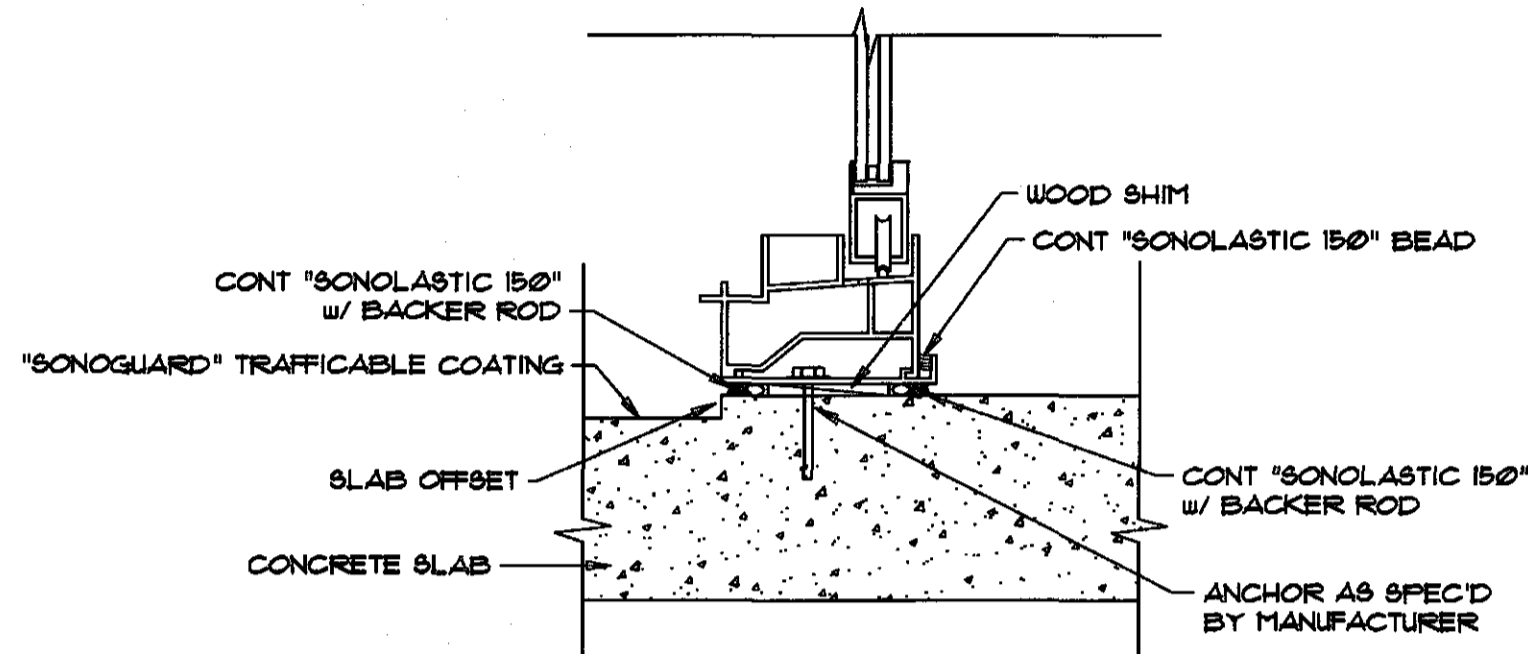
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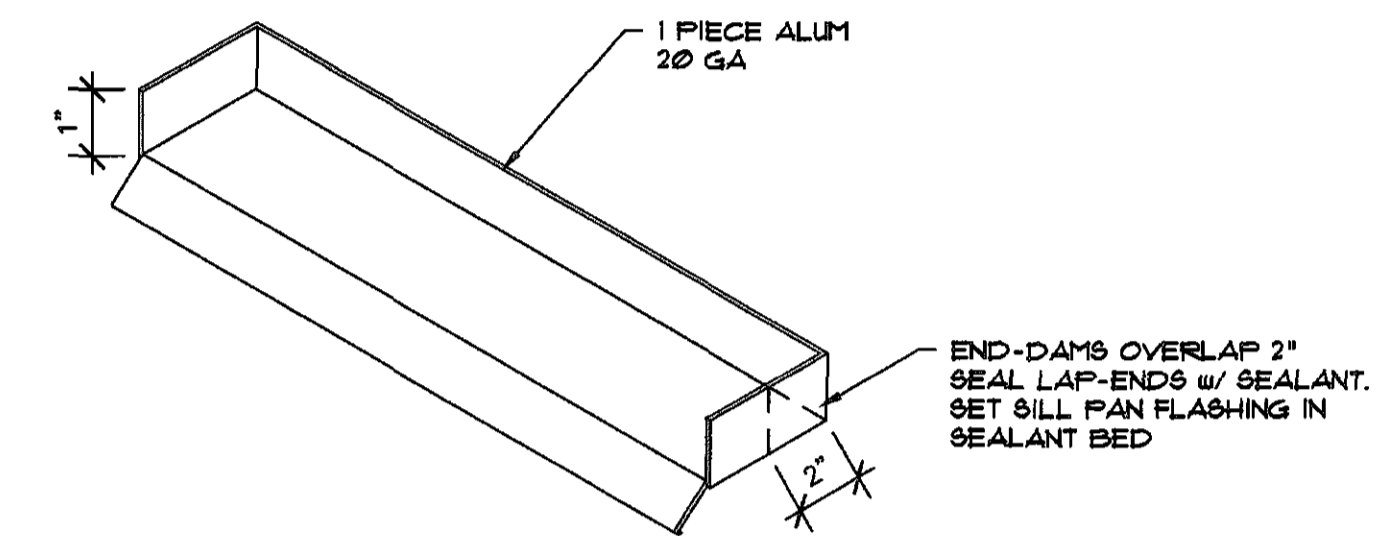
HEAD/JAMB SIM



2 HEAD/JAMB SIM



3 SILL

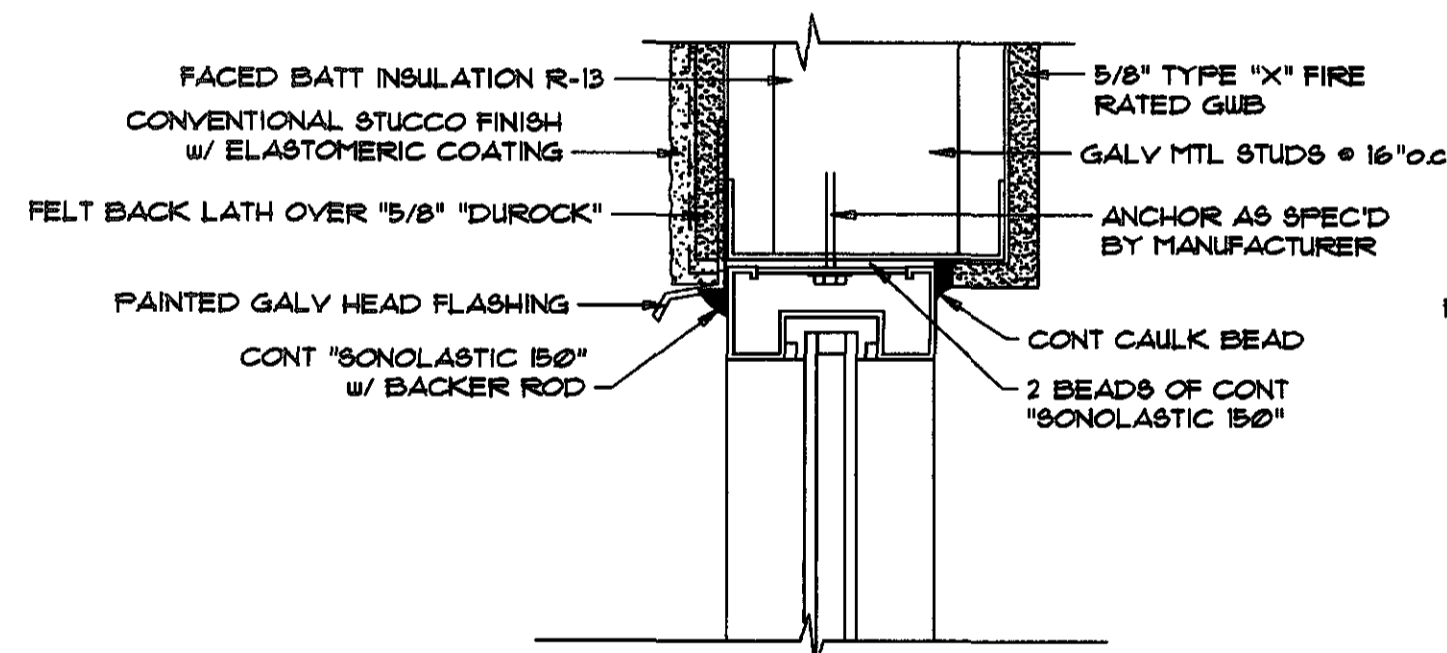


SILL PAN FLASHING

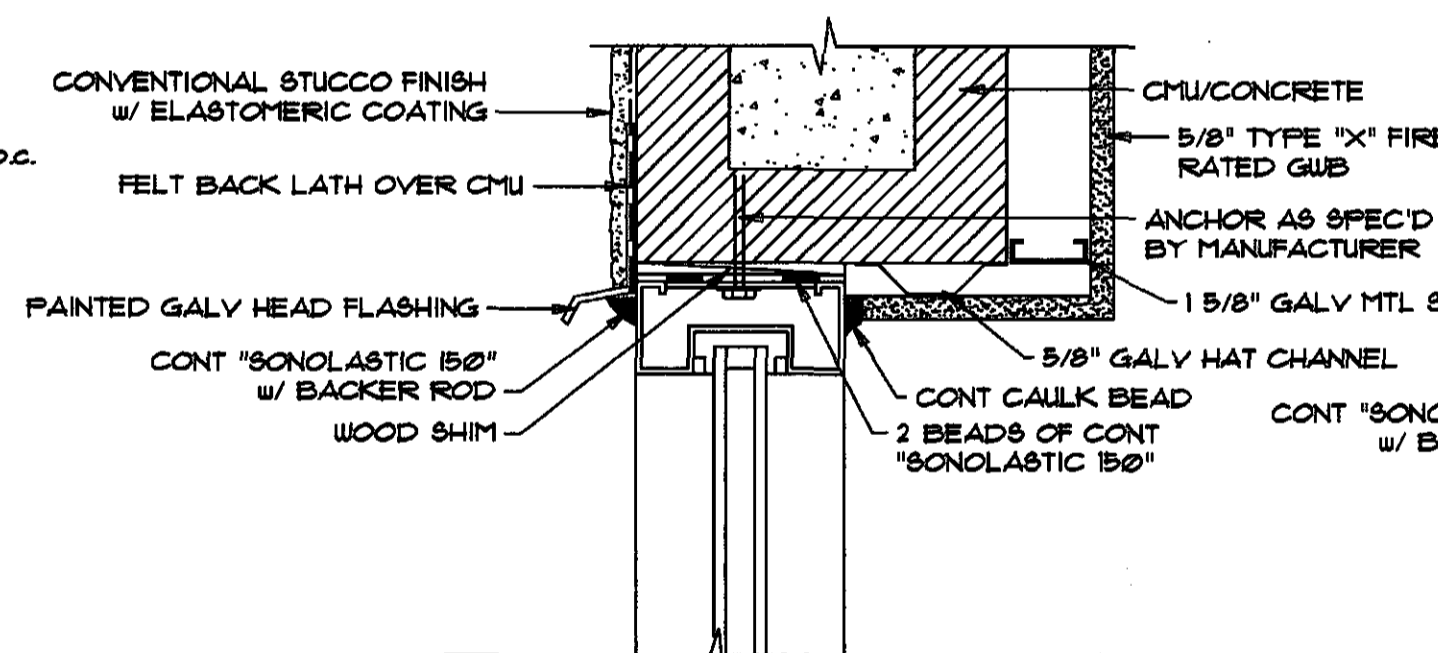
NOTE: THIS ASSEMBLY TO BE REVIEWED BY ARCHITECT PRIOR TO INSTALLATION

HOLLOW METAL DOORS

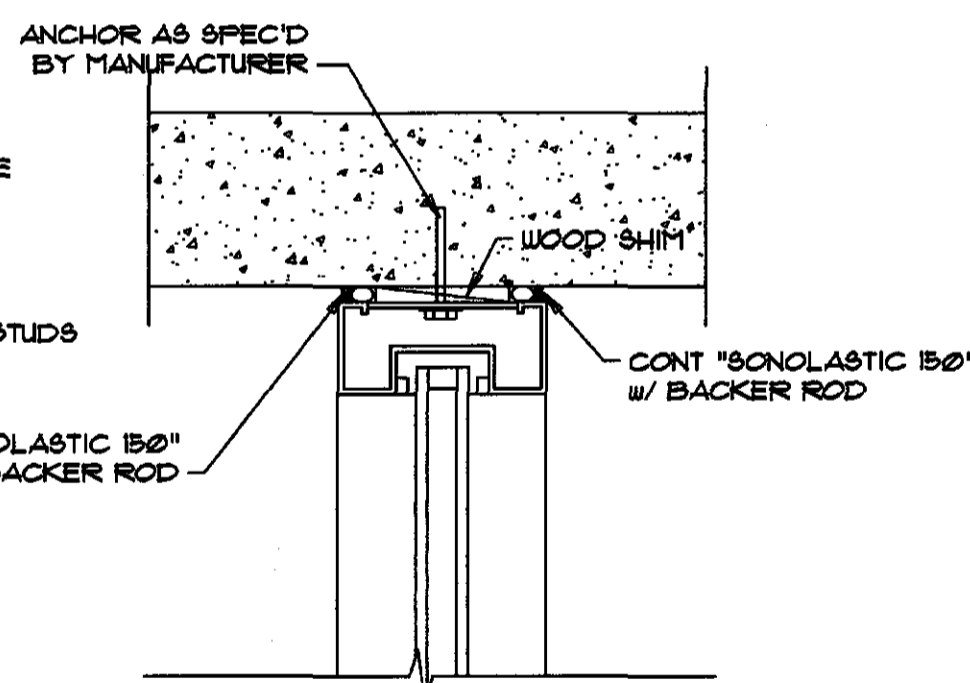
SLIDING GLASS DOORS



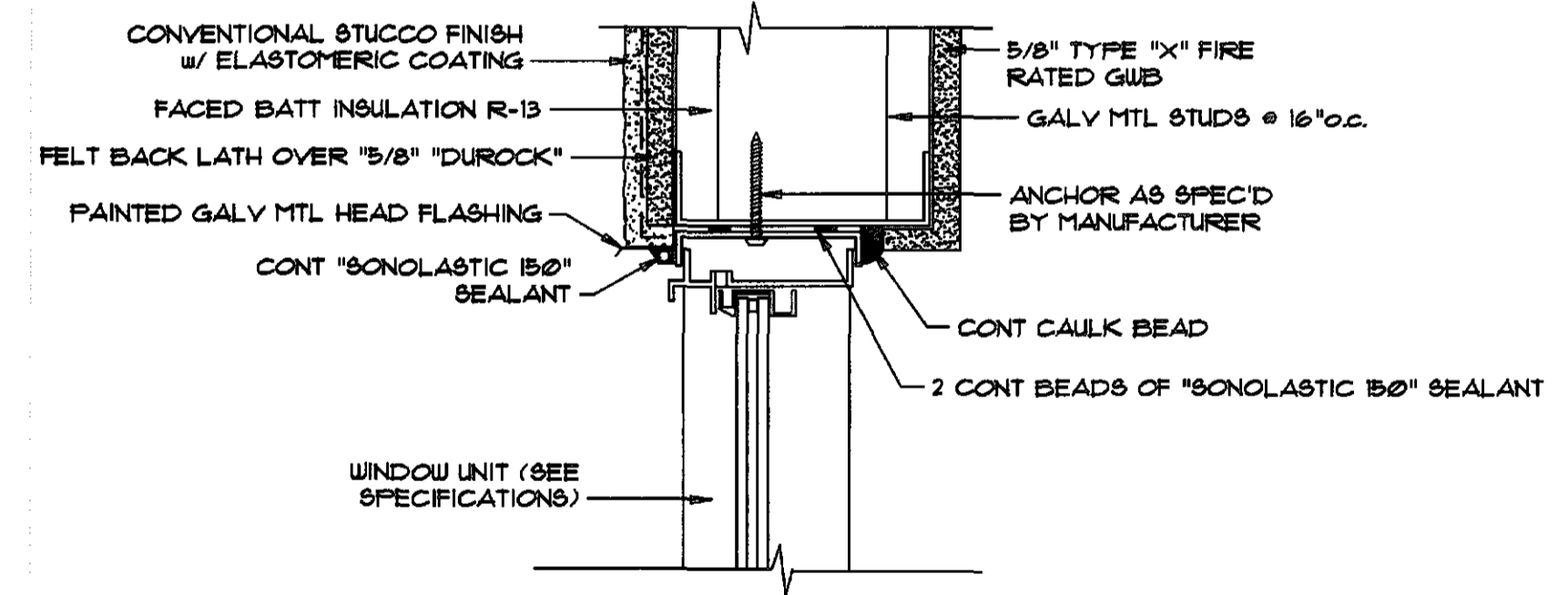
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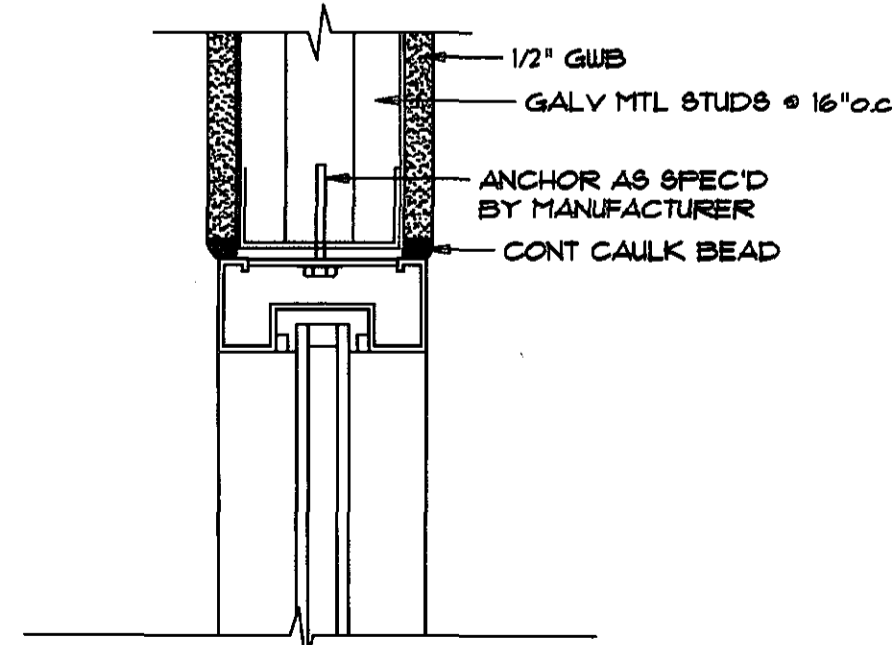
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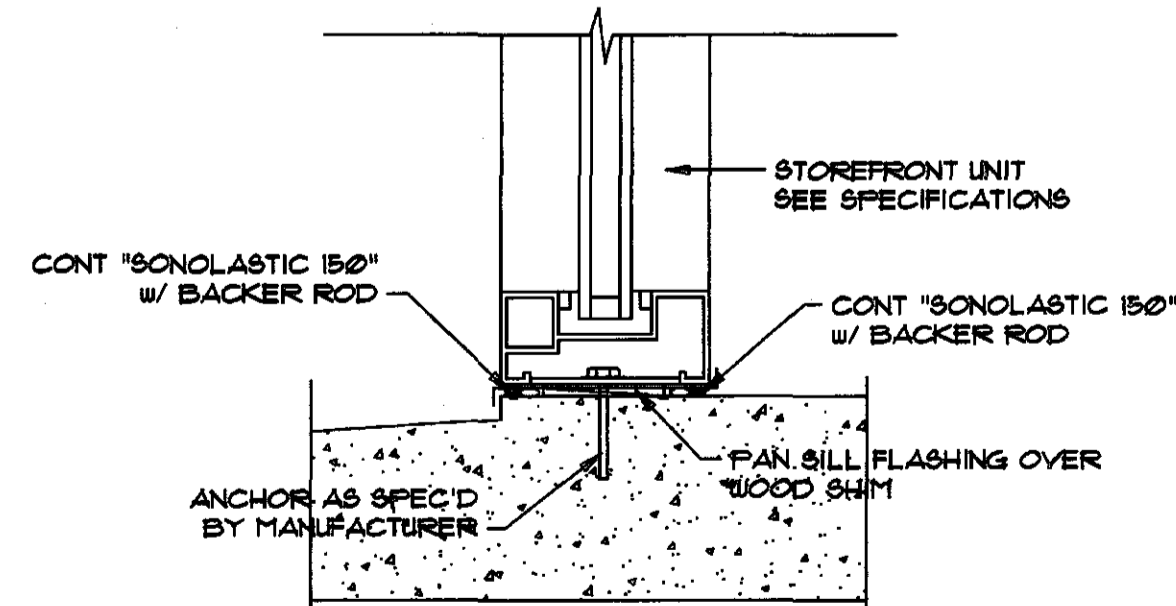


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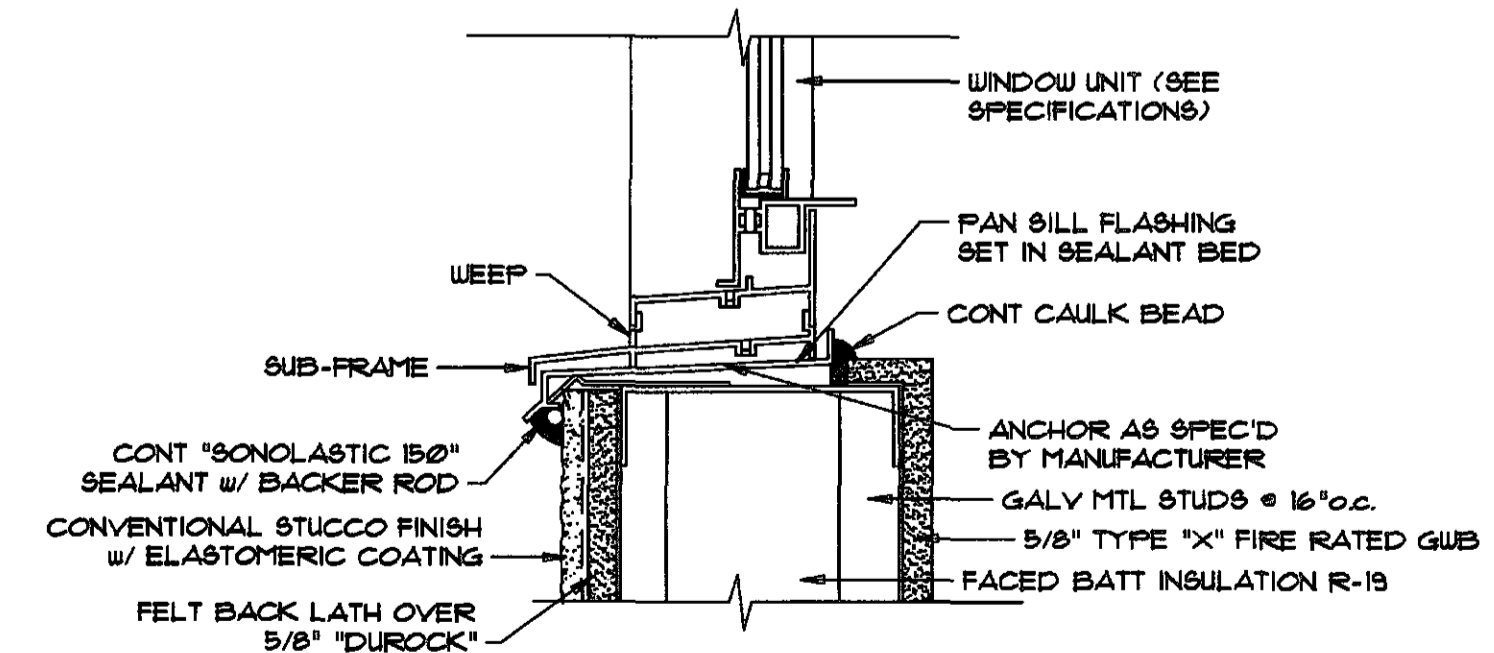


4 JAMB

STOREFRONT SYSTEMS

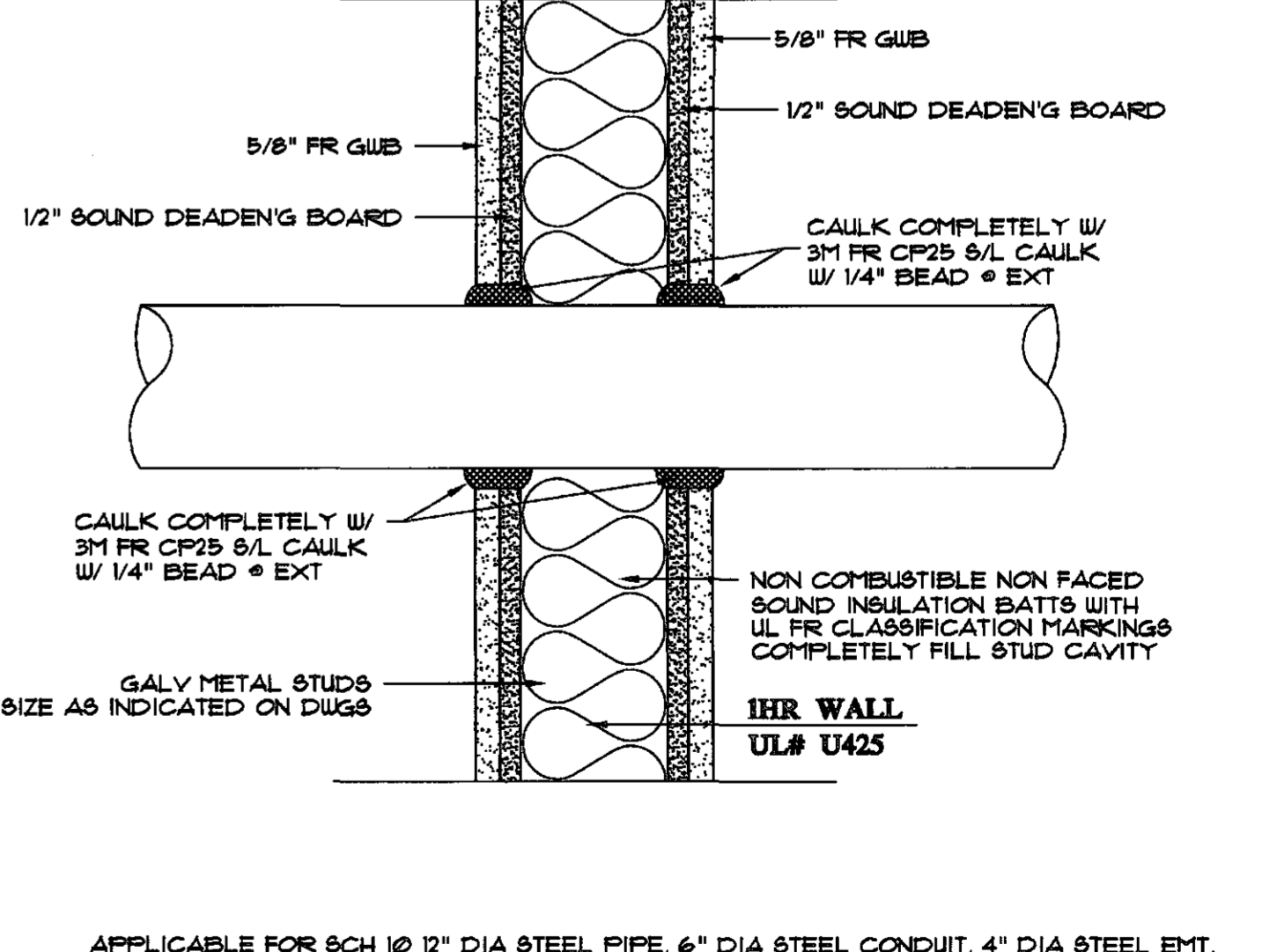
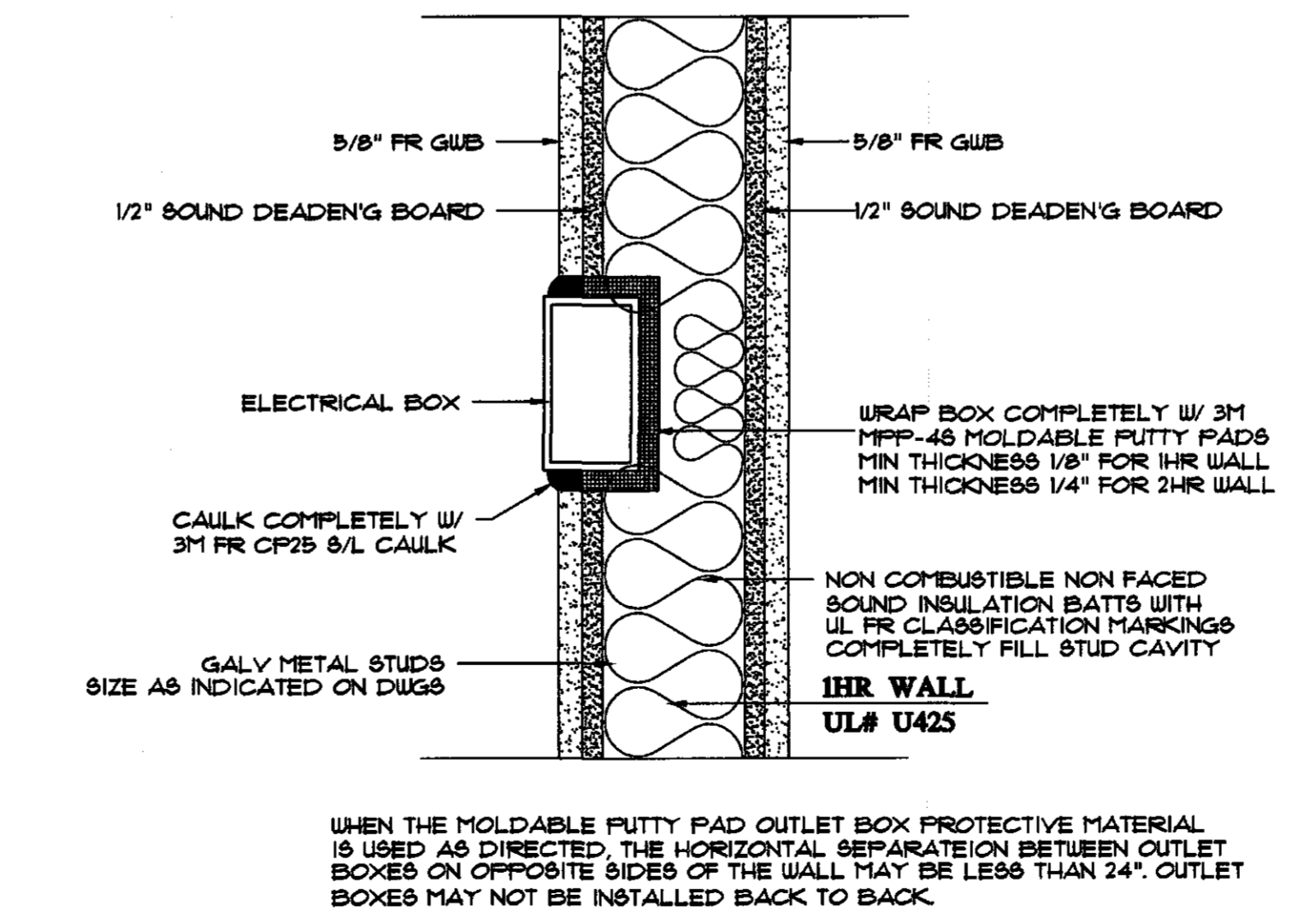
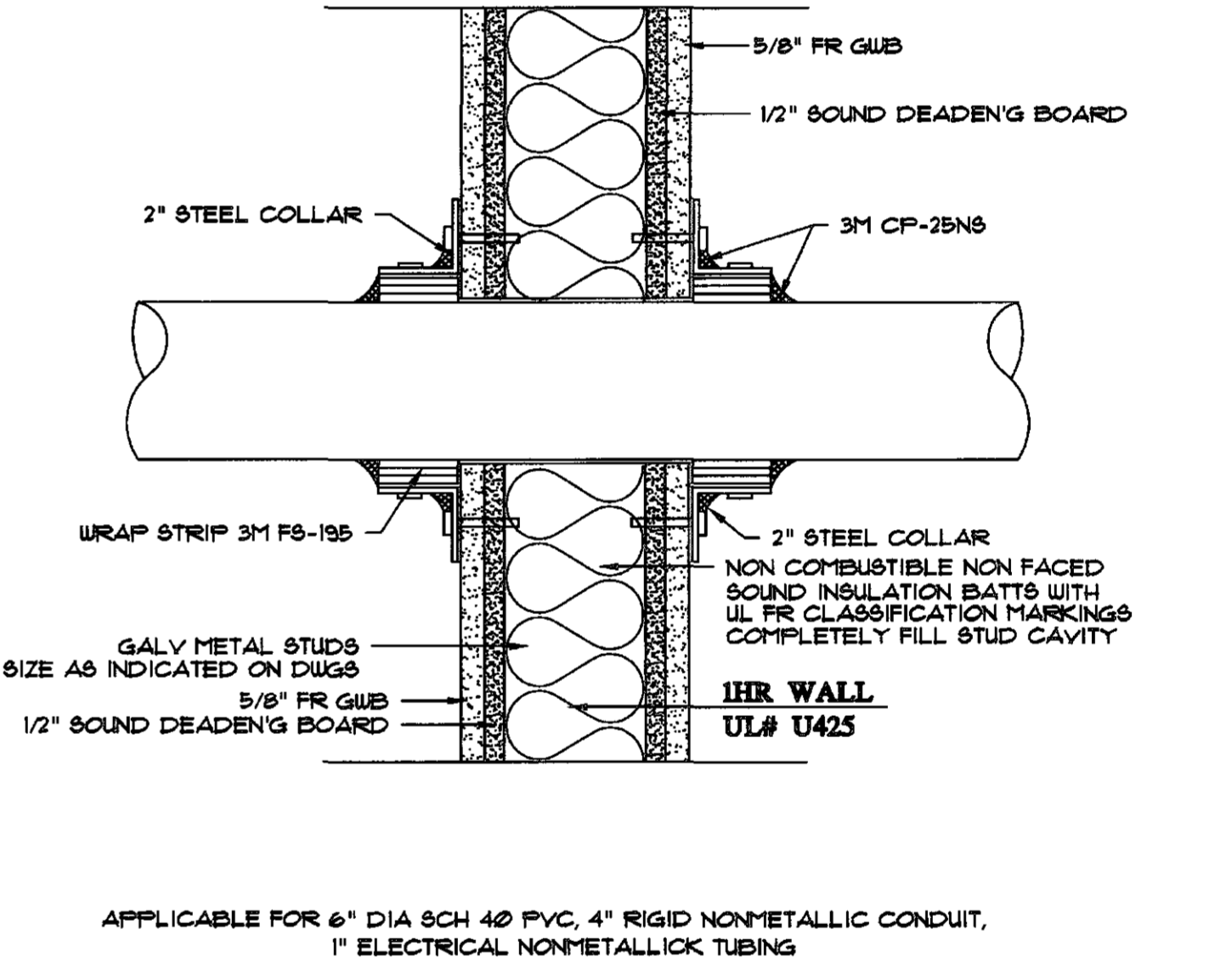
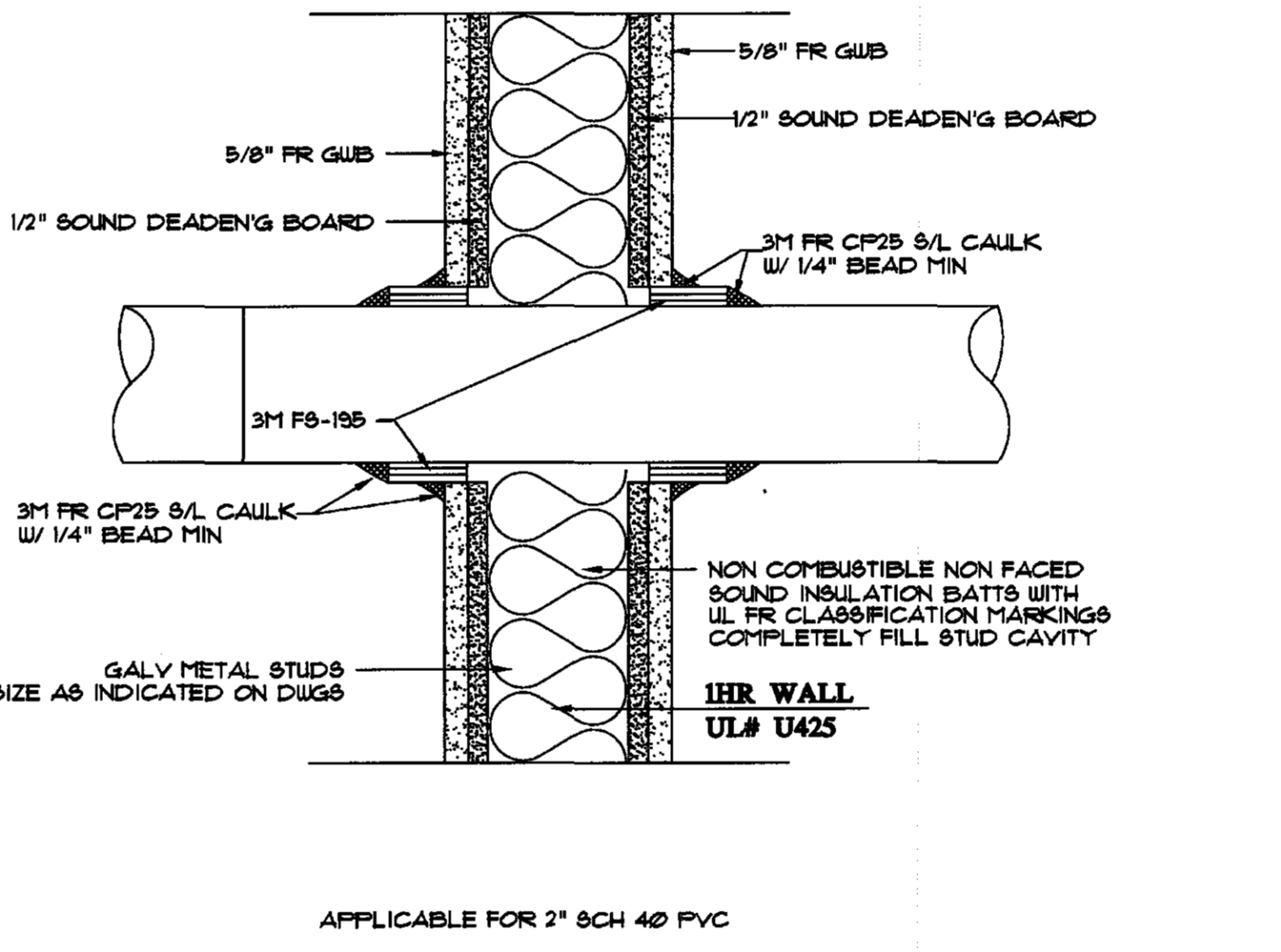
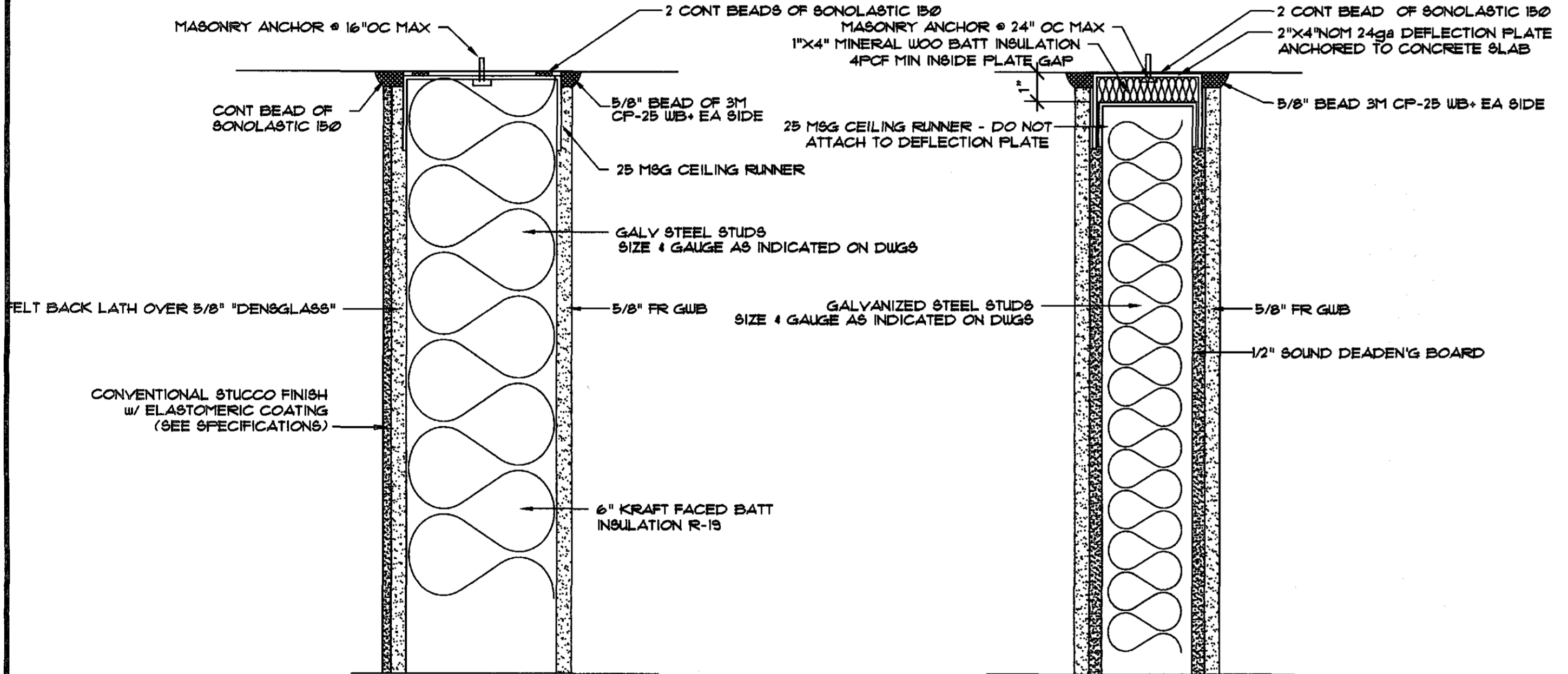
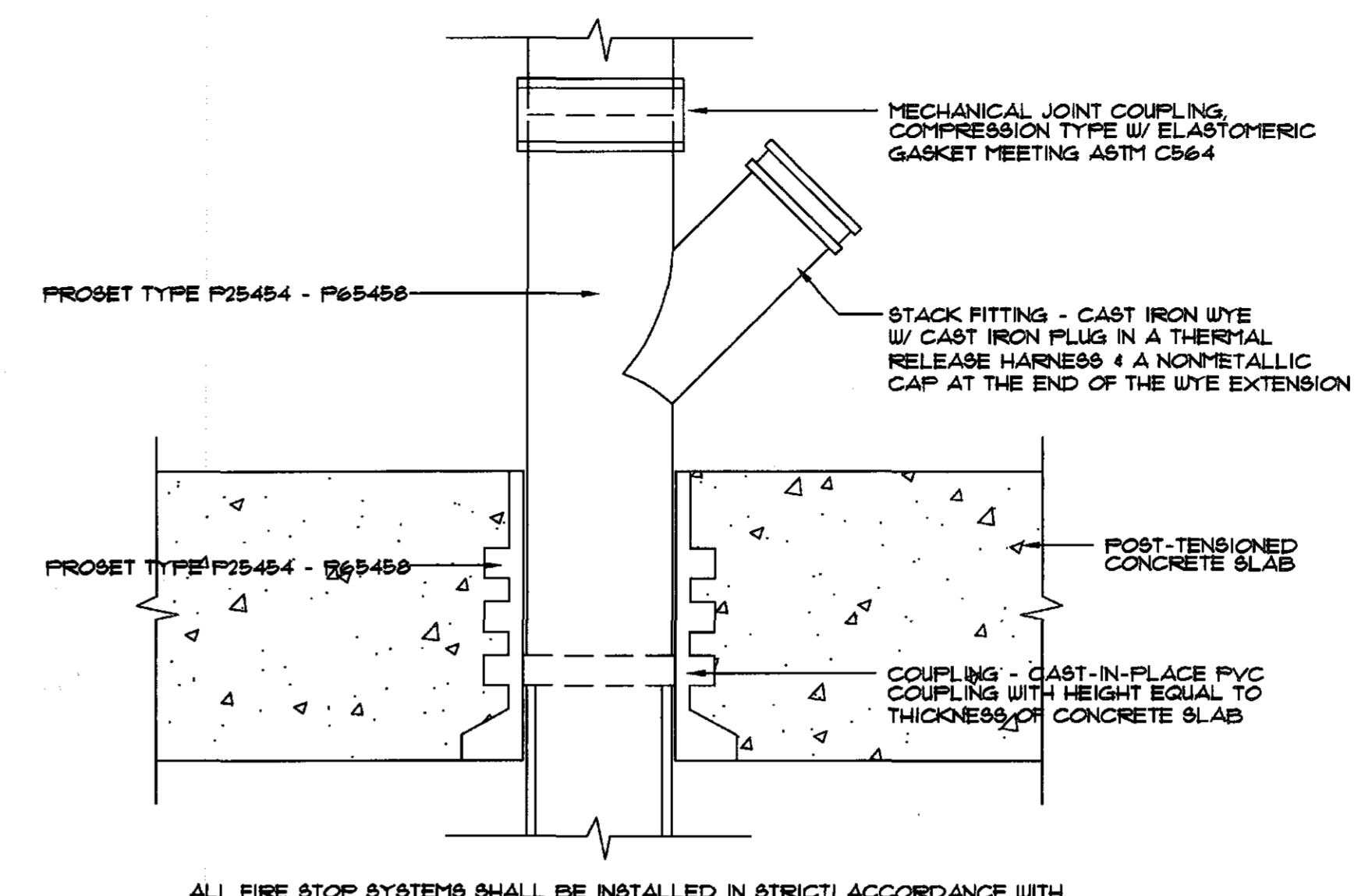
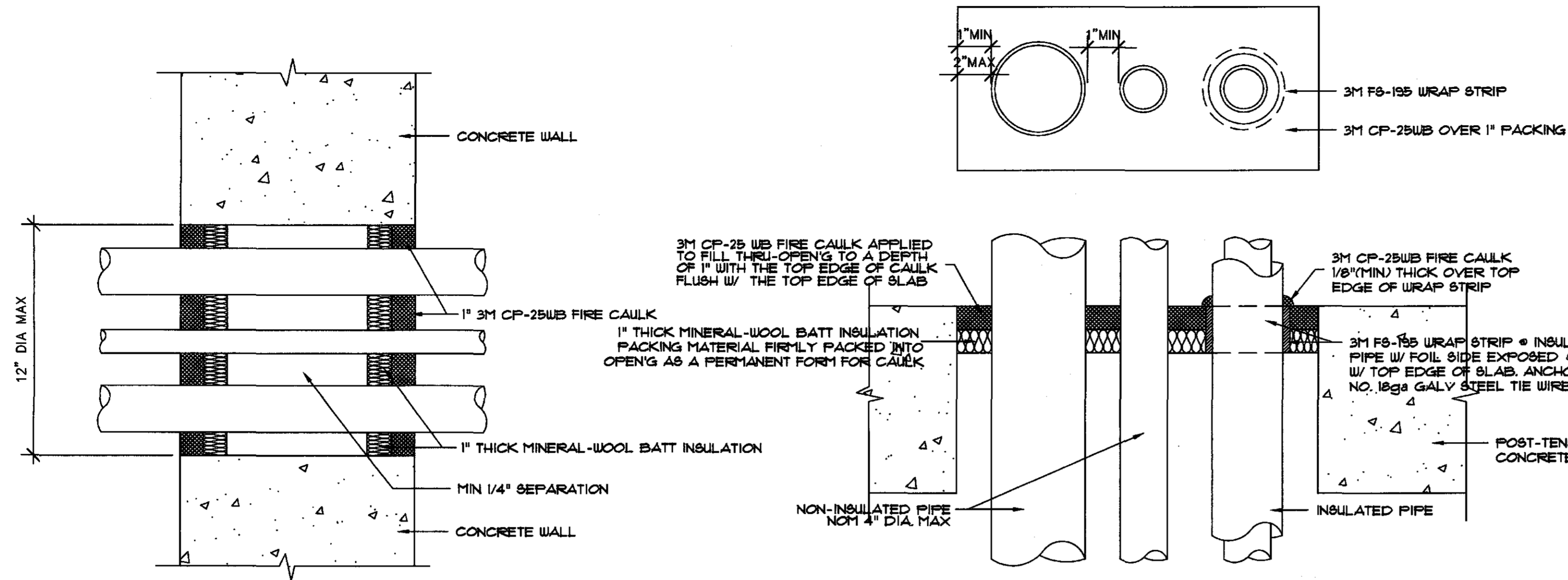


5 SILL



6 SILL

WINDOWS



GENERAL NOTES

1.00 GENERAL NOTES

1.01 ALL CONSTRUCTION SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE AND THE WIND PROVISIONS OF ASCE 7-10.

DESIGN LOADS:
SEE PLANS

SEE DIAGRAM THIS SHEET FOR WIND LOAD DETERMINATION ASSUMPTIONS AND COMPONENTS AND CLADDING PRESSURES.

1.02 DRAWINGS SHOW TYPICAL AND CERTAIN SPECIFIC CONDITIONS ONLY. FOR DETAILS NOT SPECIFICALLY SHOWN, PROVIDE DETAILS SIMILAR TO THOSE SHOWN.

1.03 VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE STARTING WORK. NOTIFY STRUCTURAL ENGINEER OF ANY DISCREPANCY.

1.04 THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACINGS, SHORINGS, TEMPORARY SUPPORTS, ETC., ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

1.05 COORDINATE STRUCTURAL CONTRACT DOCUMENTS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL. NOTIFY STRUCTURAL ENGINEER OF ANY CONFLICT AND/OR OMISSION. CONTRACTOR SHALL MAKE NO DEVIATION FROM DESIGN DRAWINGS WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. FOR ADDITIONAL OPENINGS NOT SHOWN ON THE STRUCTURAL DRAWINGS, SEE ARCHITECTURAL, MECHANICAL, AND PLUMBING DRAWINGS.

1.06 REVIEW OF SUBMITTALS AND/OR SHOP DRAWINGS BY THE STRUCTURAL ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO REVIEW AND CHECK SHOP DRAWINGS BEFORE SUBMITTAL TO THE STRUCTURAL ENGINEER. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, AND DIMENSIONS SPECIFIED IN THE CONTRACT DOCUMENTS. CONTRACTOR IS ALSO RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION. SUBMIT A MAXIMUM OF 4 COPIES FOR REVIEW.

2.00 FOUNDATIONS AND SLAB-ON-GROUND

2.01 THE DESIGN OF FOUNDATIONS, RETAINING WALLS AND SLAB ON GRADE IS BASED ON THE CRITERIA ESTABLISHED IN THE GEOTECHNICAL REPORT BY SOUTHERN EARTH SCIENCES OF MOBILE, ALABAMA, DATED 4/12/04. THE RECOMMENDATIONS OF THAT REPORT SHALL BE CONSIDERED AN INTEGRAL PART OF THE CONTRACT DOCUMENTS.

2.02 DEEP FOUNDATION SYSTEM: 18" DIA. AUGER CAST-IN-PLACE PILING WITH 80 FEET OF PENETRATION.

18" AUGER CAST-IN-PLACE PILES ARE DESIGNED FOR AN ALLOWABLE COMPRESSIVE CAPACITY OF 106 TONS AND AN ALLOWABLE TENSILE CAPACITY OF 50 TONS. ONE (1) COMPRESSION AND ONE (1) TENSION LOAD TEST SHALL BE PERFORMED.

PILE REINFORCEMENT IS INDICATED ON SHT. S9.2ALT. SEE SPECIFICATIONS FOR PILE TESTING REQUIREMENTS.

PILING INSTALLATIONS SHALL BE MONITORED BY A QUALIFIED GEOTECHNICAL ENGINEER.

2.03 A QUALIFIED GEOTECHNICAL ENGINEER SHALL VERIFY CONDITION AND/OR ADEQUACY OF ALL SUBGRADES, FILLS AND BACKFILLS BEFORE PLACEMENT OF FOUNDATIONS, FOOTINGS, SLABS, WALLS, FILLS, BACKFILLS, ETC.

2.04 SIDES OF FOUNDATIONS SHALL BE FORMED UNLESS CONDITIONS PERMIT EARTH FORMING. FOUNDATIONS POURED AGAINST THE EARTH REQUIRE THE FOLLOWING PRECAUTIONS: SLOPE SIDES OF EXCAVATIONS AS APPROVED BY GEOTECHNICAL ENGINEER AND CLEAN UP SLOUSHINGS BEFORE AND DURING CONCRETE PLACEMENT. CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY PROTECTING ALL EXCAVATION SLOPES.

2.05 BASEMENT WALLS (WALLS SUPPORTED AT THE TOP AND BOTTOM) REQUIRE THE FOLLOWING PRECAUTION: DO NOT BACKFILL AGAINST THE WALL BEFORE THE SLABS AT TOP AND BOTTOM ARE CAST AND REACHED 65% OF DESIGN STRENGTH. IN NO CASE SHALL BULLDOZERS OR OTHER HEAVY EQUIPMENT BE PERMITTED CLOSER THAN 8'-0" FROM ANY FOUNDATION WALL.

2.06 UNLESS NOTED OTHERWISE, SLAB-ON-GRADE SHALL BE MINIMUM 4" THICK, PLACED ON COMPACTED SUBGRADE, REINFORCED WITH 6 X 6 #2 @ 12" O.C. IN FLAT SHEETS (ROLLS NOT PERMITTED). PROVIDE POSITIVE SUPPORT 3" CLEAR FROM BOTTOM OF SLAB. LAP MESH 6". PLACE CONTROL JOINTS AT COLUMN LINES AND AT INTERMEDIATE LINES SUCH THAT AREA OF EACH PANEL DOES NOT EXCEED 400 SQUARE FEET, U.N.O.

2.07 LOCATE CONSTRUCTION JOINTS AT CONTROL JOINTS. SAWCUT CONTROL JOINTS AS SOON AFTER POURING AS POSSIBLE, WHEN CONCRETE WILL NOT RAVEL. 24 HOURS MAXIMUM. CURE CONCRETE IN ACCORDANCE WITH ACI 301. BEGIN CURING IMMEDIATELY AFTER POURING TO LIMIT CRACKING PRIOR TO SAWCUTTING CONTROL JOINTS.

2.08 DEMATER TO AT LEAST TWO FEET BELOW BOTTOM OF LOWEST FOUNDATION IF GROUNDWATER IS ENCOUNTERED.

3.00 REINFORCED CONCRETE

3.01 ALL CONCRETE WORK SHALL CONFORM TO ACI 301, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS. DESIGN IS BASED ON ACI 318, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE. DETAIL CONCRETE REINFORCEMENT AND ACCESSORIES IN ACCORDANCE WITH ACI 318, DETAILING MANUAL. DETAIL ALL CONCRETE WALLS AND BEAMS ON THE SHOP DRAWINGS IN ELEVATION UNLESS SPECIFICALLY APPROVED OTHERWISE. SUBMIT SHOP DRAWINGS FOR APPROVAL, SHOWING ALL FABRICATION DIMENSIONS AND LOCATIONS FOR PLACING REINFORCING STEEL AND ACCESSORIES. DO NOT BEGIN FABRICATION UNTIL SHOP DRAWINGS ARE COMPLETED AND REVIEWED.

3.02 UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL BE NORMAL WEIGHT AND HAVE THE FOLLOWING MINIMUM 28 DAY COMPRESSIVE STRENGTHS:

FOUNDATIONS - 4,000 PSI
RETAINING WALLS - 3,000 PSI
SLAB-ON-GRADE - 4,000 PSI
POST-TENSIONED SLAB - 5,000 PSI

COLUMN AND SHEARWALL CONCRETE DESIGN STRENGTH SCHEDULE:

STORY	STRENGTH
BETWEEN PILE CAP & 2ND FLOOR	10,000 PSI
BETWEEN 2ND & 4TH FLOOR	8,000 PSI
BETWEEN 4TH & 6TH FLOOR	6,000 PSI
ABOVE 6TH FLOOR	5,000 PSI

ALL CONCRETE SHALL HAVE 2% - 6% ENTRAINED AIR, U.N.O.

3.03 THE PROPOSED MATERIALS AND MIX DESIGN SHALL BE FULLY DOCUMENTED AND REVIEWED BY THE OWNER'S TESTING LABORATORY. RESPONSIBILITY FOR OBTAINING THE REQUIRED DESIGN STRENGTH IS THE CONTRACTOR'S.

3.04 USE OF CALCIUM CHLORIDE, CHLORIDE IONS, OR OTHER SALTS IN CONCRETE IS NOT PERMITTED.

3.05 HORIZONTAL CONSTRUCTION JOINTS ARE PERMITTED ONLY WHERE INDICATED. THE STRUCTURAL ENGINEER SHALL APPROVE THE LOCATION OF VERTICAL CONSTRUCTION JOINTS. CONSTRUCTION JOINTS SHALL BE THOROUGHLY ROUGHENED BY MECHANICAL MEANS, AND CLEANED. CONTRACTOR SHALL SUBMIT DRAWINGS SHOWING INTENDED POURING SEQUENCE AND LOCATION OF CONSTRUCTION JOINT TO THE ENGINEER FOR REVIEW. PROPOSED METHODS MUST BE ACCEPTABLE TO THE ARCHITECT BEFORE USE.

3.06 UNLESS NOTED OTHERWISE, PLACE VERTICAL CONTROL JOINTS IN RETAINING WALLS AT 10'-0" O.C. (MAX), 3/4" DEEP, V-CHAMFERED ON BOTH FACES. CONSTRUCTION JOINTS SHALL FALL ON CONTROL JOINTS AND SHALL BE KEYS. STOP 50 PERCENT OF THE SPECIFIED LONGITUDINAL REINFORCEMENT AT THE CONTROL JOINT.

3.07 CHAMFER OR ROUND ALL EXPOSED CORNERS MINIMUM 3/4".

3.08 REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60 UNLESS NOTED OTHERWISE.

3.09 TIE ALL REINFORCING STEEL AND EMBEDMENTS SECURELY IN PLACE PRIOR TO PLACING CONCRETE. PROVIDE SUFFICIENT SUPPORTS TO MAINTAIN THE POSITION OF REINFORCEMENT WITHIN SPECIFIED TOLERANCE DURING ALL CONSTRUCTION ACTIVITIES. "STICKINGS" DOVELS INTO NET CONCRETE IS NOT PERMITTED.

3.10 PROVIDE CONTINUOUS REINFORCEMENT WHEREVER POSSIBLE; SPLICE ONLY AS SHOWN OR APPROVED; STAGGER SPLICE WHERE POSSIBLE; USE FULL TENSION SPLICE (CLASS 'B') UNLESS NOTED OTHERWISE. DOVELS SHALL MATCH THE SIZE AND SPACING OF THE SPECIFIED REINFORCEMENT AND SHALL BE LAPPED WITH FULL TENSION SPLICES (CLASS 'B') UNLESS NOTED OTHERWISE. TERMINATE BARS WITH STANDARD HOOKS.

3.11 REINFORCING STEEL SHALL HAVE THE FOLLOWING CONCRETE COVER UNLESS NOTED OTHERWISE:

POST-TENSIONED CONCRETE (PER ACI 318 PAR. 7.1.3):

CONCRETE EXPOSED TO WEATHER (BALCONIES, UNDERSIDE OF SLABS IN UNENCLOSED AREAS)

MILD REINFORCING AND TENDONS: 1"

CONCRETE NOT EXPOSED TO WEATHER:

MILD REINFORCING AND TENDONS: 3/4"

NON-POST-TENSIONED CONCRETE (PER ACI 318 PAR.7.1.1)

CONCRETE AGAINST EARTH (NOT FORMED): 3"

FORMED CONCRETE EXPOSED TO THE EARTH OR WEATHER:

#6 THROUGH #18 BARS: 2"

#5 BARS AND SMALLER: 1-1/2"

CONCRETE NOT EXPOSED TO EARTH OR WEATHER:

SLABS AND WALLS: 1"

BEAMS (STIRRUPS) AND COLUMNS (TIES): 1-1/2"

3.12 DO NOT PLACE DUCTS EXCEEDING ONE-THIRD THE SLAB OR WALL THICKNESS WITHIN THE SLAB OR WALL UNLESS SPECIFICALLY SHOWN AND DETAILED ON STRUCTURAL DRAWINGS.

3.13 DO NOT WELD OR TACK WELD REINFORCING STEEL UNLESS APPROVED OR DIRECTED BY THE STRUCTURAL ENGINEER.

3.14 THE DESIGN AND CONSTRUCTION OF FORMS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

- FORMS SHALL CONFORM TO SHAPE, FORM AND LINES ON DRAWINGS.
- ADEQUATE BRACING SHALL BE USED.
- FORMS SUPPORTED ON GROUND SHALL HAVE ADEQUATE MIDSILLS.
- QUALIFIED WORKMEN SHALL CONSTANTLY OBSERVE AND ADJUST, AS REQUIRED, ALL SHORES DURING CONCRETE PLACING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS.
- SPECIAL ATTENTION IS DIRECTED TO THE REQUIREMENT THAT THE CONTRACTOR MUST ADJUST THE SHORING, USING SURVEYING INSTRUMENTS, DURING AND IMMEDIATELY AFTER PLACING OF CONCRETE FOR SLABS; THIS ADJUSTMENT MUST NOT BE ATTEMPTED AFTER THE INITIAL SET OF CONCRETE.

3.15 SHORING SHALL REMAIN IN PLACE UNTIL CONCRETE HAS ATTAINED 75% OF ITS 28-DAY STRENGTH.

3.16 ALL REINFORCING STEEL PLACEMENTS SHALL BE REVIEWED BY A REGISTERED STRUCTURAL ENGINEER OR BY A REPRESENTATIVE RESPONSIBLE TO HIM. (RE: ACI 318 PAR. 1.3.1)

3.17 PROVIDE FOR AN ALLOWANCE OF 1% BY WEIGHT OF REINFORCING BARS TO BE FABRICATED, AND PLACED DURING PROGRESS OF WORK AS MAY BE DIRECTED BY THE STRUCTURAL ENGINEER, IN ADDITION TO ALL THE STEEL INDICATED ON THE DRAWINGS. CREDIT ANY UNUSED QUANTITY AT THE END OF THE PROJECT.

3.18 FOR CONCRETE PADS SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.

ALTERNATE FOUNDATION NOTES:
AN AUGER CAST-IN-PLACE PILE FOUNDATION DESIGN HAS BEEN PROVIDED ON SHEETS S1.0A-ALT., S1.1-ALT., S3.1-ALT., & S3.2-ALT. DIFFERENCES BETWEEN S1.0A & S1.0A-ALT. ARE CONTAINED IN NOTES 2.02 & 3.02.

4.00 STRUCTURAL STEEL

4.01 STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED ACCORDING TO AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, ASD, LATEST EDITION.

4.02 SUBMIT SHOP DRAWINGS PREPARED IN ACCORDANCE WITH AISC MANUAL "DETAILING FOR STEEL CONSTRUCTION", LATEST EDITION. DO NOT BEGIN FABRICATION UNTIL SHOP DRAWINGS ARE COMPLETED AND REVIEWED.

4.03 STRUCTURAL STEEL WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992. STRUCTURAL STEEL SHAPES, PLATES, ANGLES, AND CHANNELS SHALL CONFORM TO ASTM A36 UNLESS NOTED OTHERWISE. STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE B, PY = 46 KSI UNLESS NOTED OTHERWISE. STEEL PIPE SHALL CONFORM TO ASTM A501 OR ASTM A53, TYPE E OR S, GRADE B. ANCHOR BOLTS SHALL CONFORM TO ASTM A36 UNLESS NOTED OTHERWISE. STEEL FABRICATOR SHALL SUPPLY ANCHOR BOLT LOCATION DRAWINGS.

4.04 BOLTS SHALL CONFORM TO ASTM A325, 3/4-INCH DIAMETER MINIMUM, UNLESS NOTED OTHERWISE. BOLTS IN BEARING CONNECTIONS SHALL BE DESIGNATED TYPE N, TENSIONED, SNUG-TIGHT AS DEFINED BY AISC. BOLTS IN MOMENT CONNECTIONS AND IN TRUSSES SHALL BE DESIGNATED SLIP-CRITICAL (SC). FULLY TENSION SLIP-CRITICAL CONNECTIONS WITH DIRECT TENSION INDICATOR WASHERS INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION.

5.00 POST-TENSIONED CONCRETE

5.01 POST-TENSIONED CONCRETE SHALL CONFORM TO:

ACI 318, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE;

PTI, SPECIFICATION FOR UNBONDED SINGLE STRAND TENDONS

SEE SPECIFICATION FOR DETAILS CONCERNING MATERIALS, STRESSING PROCEDURES, OPERATING TESTING, ETC.

5.02 POST-TENSIONING STRANDS SHALL CONFORM TO ASTM A416, GRADE 270K (Low Relaxation).

5.03 STRANDS SHALL BE COATED WITH A RUST PREVENTIVE GREASE AND ENCLOSED IN AN EXTRUDED PLASTIC SHEATHING. REPAIR TORN OR DAMAGED SHEATHING BEFORE PLACING CONCRETE. SMALL TEARS OR SHEATH FREE AREAS ARE NOT PERMITTED.

5.04 MINIMUM CONCRETE STRENGTH (FIELD CURED) SHALL BE 3000 PSI BEFORE STRESSING UNLESS NOTED OTHERWISE. STRESSING OPERATIONS SHALL BEGIN AS SOON AS SPECIFIED CONCRETE STRENGTH IS ATTAINED.

5.05 USE OF CALCIUM CHLORIDE, CHLORIDE IONS, OR OTHER SALTS IN CONCRETE IS NOT PERMITTED.

5.06 UNLESS NOTED OTHERWISE, PLACE TENDONS IN SMOOTH PARABOLIC CURVES BETWEEN HIGH AND LOW POINTS SHOWN.

5.07 DO NOT VARY TENDON PLACEMENT MORE THAN 1/8 INCH VERTICALLY.

5.08 CORING OF SLABS AND USE OF DRILLED MECHANICAL ANCHORS IS NOT PERMITTED WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER. IF APPROVED, COORDINATE ANCHOR LOCATIONS SO THAT NO CONTACT IS MADE WITH POST-TENSIONING TENDONS. SHOW ALL OPENINGS AND SLEEVES ON THE SHOP DRAWINGS. ADDITIONAL OPENINGS NOT SHOWN, REQUIRE APPROVAL BY THE STRUCTURAL ENGINEER PRIOR TO PLACEMENT.

5.09 RECORDS OF ALL JACKING FORCES AND ELONGATIONS SHALL BE KEPT BY A CERTIFIED PRE-STRESS INSPECTOR AND SHALL PROMPTLY BE SUBMITTED TO THE STRUCTURAL ENGINEER. FIELD READINGS OF ELONGATIONS AND STRESSING FORCES SHALL NOT VARY MORE THAN 7% FROM CALCULATED THEORETICAL VALUES.

5.10 DO NOT CUT END OF TENDONS UNTIL STRESSING RECORDS ARE REVIEWED AND APPROVED. CUT END TENDONS AND COAT EXPOSED PORTION OF THE TENDONS AND THE GRIPPING PART OF ANCHORAGE WITH EPOXY-RESIN COMPOUND BEFORE DRY PACKING WITH NON-SHRINK GROUT.

5.11 SUBMIT DETAILED PRE-STRESSING PROCEDURES AND SEQUENCES, PRE-STRESS LOSS CALCULATIONS, STATIC AND DYNAMIC TEST DATA, MATERIAL DATA.

5.12 TWISTING OR ENTWINING OF STRANDS WITHIN A BUNDLE OR A BEAM IS NOT PERMITTED.

5.13 IN CASE OF BROKEN TENDONS OR BLOWOUTS, SUBMIT FOR APPROVALS DETAILED CALCULATIONS AND PROCEDURES FOR THE REMEDIAL WORK REQUIRED.

5.14 POST-TENSION CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF POST, RELATED REINFORCING STEEL, TENDONS SUPPORTS AND ANCHORAGE ZONE REINFORCING, PREPARING SHOP DRAWINGS AND PROVIDING ALL NECESSARY FIELD SUPERVISION AND INSPECTIONS TO ASSURE PROPER INSTALLATION. A PROFESSIONAL ENGINEER REGISTERED IN THE PROJECT STATE SHALL CALCULATE AND SHOP DRAWINGS. DO NOT BEGIN FABRICATION UNTIL SHOP DRAWINGS AND CALCULATIONS ARE COMPLETED AND REVIEWED. THE DECISION OF THE ARCHITECT/ENGINEER REGARDING ACCEPTABILITY OF THE POST-TENSIONED LAYOUT, DRAWINGS, MATERIAL, TECHNIQUES, PROCEDURES, ETC. SHALL BE FINAL.

6.00 ENGINEERED TRUSSES

6.01 TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE TPI DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES. METAL PLATES SHALL BE HOT DIPPED GALVANIZED.

6.02 TRUSS DESIGN SHALL BE SUBMITTED FOR ENGINEERS REVIEW AND SHALL BE SIGNED AND SEALED BY THE PROFESSIONAL ENGINEER RESPONSIBLE FOR THE DESIGN OF THE TRUSSES. SUBMITTALS SHALL INDICATE THE DESIGN WIND SPEED, DESIGN FORCES, AND REACTIONS AT BEARING POINTS.

7.00 MASONRY

7.01 CONCRETE MASONRY DESIGN AND CONSTRUCTION SHALL CONFORM TO ACI 530, BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES AND ACI 530.1, SPECIFICATIONS FOR CONCRETE MASONRY CONSTRUCTION.

7.02 PROVIDE LIGHTWEIGHT, HOLLOW, LOAD-BEARING CONCRETE MASONRY UNITS (CMU) CONFORMING TO ASTM C90, GRADE N, TYPE 1, f'c = 1900 PSI (NET), UNLESS NOTED OTHERWISE.

7.03 PROVIDE MASONRY CONSTRUCTION WITH MINIMUM COMPRESSIVE STRENGTH, f'm = 1500 PSI.

7.04 PROVIDE TYPE 'S' OR TYPE 'M' MORTAR IN ACCORDANCE WITH ASTM C270, UNLESS NOTED OTHERWISE.

7.05 VERTICAL REINFORCING SHALL BE HELD IN POSITION AT TOP AND BOTTOM OF THE GROUT POUR.

7.06 PROVIDE GROUT FOR REINFORCED MASONRY IN ACCORDANCE WITH ASTM C476 WITH MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI UNLESS NOTED OTHERWISE. GROUT SHALL BE FLUID CONSISTENCY. FLUID CONSISTENCY SHALL MEAN THAT CONSISTENCY AS FLUID AS POSSIBLE FOR POURING WITHOUT SEGREGATION OF THE CONSTITUENT PARTS. FILL ALL CELLS BELOW GRADE WITH GROUT. ALL GROUT SHALL BE CONSOLIDATED AT THE TIME OF POURING BY VIBRATING AND THEN RECONSOLIDATED BY AGAIN PUDDLING LATER, BEFORE PLASTICITY IS LOST. WHEN GROUTING IS STOPPED FOR ONE HOUR OR LONGER, CONSTRUCTION JOINTS SHALL BE FORMED BY STOPPING THE POUR OF THE GROUT 1-1/2 INCHES BELOW THE TOP OF THE UPPERMOST UNIT.

7.07 PROVIDE HORIZONTAL JOINT REINFORCEMENT COMPLYING WITH ASTM A82, No. 9 GAUGE OR HEAVIER, ZINC COATED, PLACED 16 INCHES ON CENTER UNLESS NOTED OTHERWISE.

7.08 PROVIDE RAINING BONDS WITH VERTICAL JOINTS LOCATED AT CENTER OF MASONRY UNITS IN THE ALTERNATE COURSE BELOW, UNLESS NOTED OTHERWISE.

7.09 AT THE TIME OF LAYING, ALL MASONRY UNITS SHALL BE FREE OF EXCESSIVE DUST AND DIRT.

7.10 ALL REINFORCED HOLLOW UNIT MASONRY SHALL BE BUILT TO PRESERVE THE UNOBSTRUCTED VERTICAL CONTINUITY OF THE CELLS TO BE FILLED. WALLS AND CROSS WEBS IN ALL REINFORCED MASONRY WALLS SHALL BE FULLY BEDDED IN MORTAR. ALL HEAD (OR END) JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FOR A DISTANCE IN FROM EACH FACE OF THE UNIT NOT LESS THAN THE THICKNESS OF THE LONGITUDINAL FACE SHELLS, BOND SHALL BE PROVIDED BY LAPPING UNITS IN SUCCESSIVE VERTICAL COURSES.

7.11 PROVIDE VERTICAL CONTROL JOINTS AT A MINIMUM OF 24'-0" O.C.

ABBREVIATIONS:

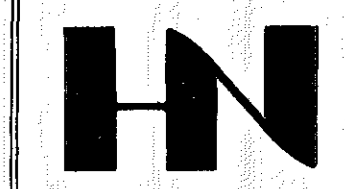
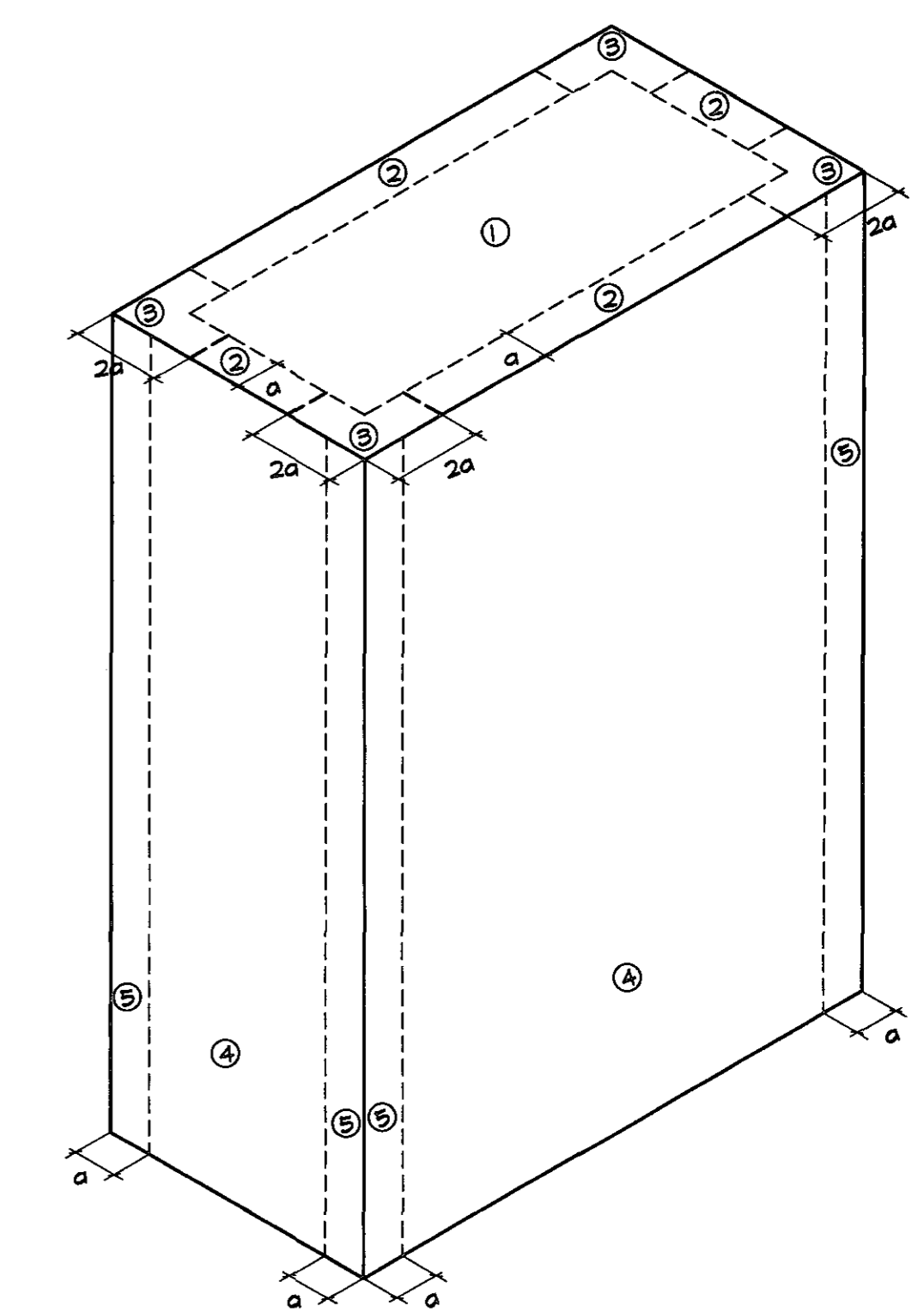
AB	ANCHOR BOLTS	LLH	LONG LENS HORIZONTAL
ADPDL	ADDITIONAL	LLV	LONG LENS VERTICAL
A.F.F.	ABOVE FINISH FLOOR	LM	LONG WAY
ARCH	ARCHITECT	MAX	MAXIMUM
B/S	BOTTOM OF SLAB	MEP	MECHANICAL, ELECTRICAL, PLUMBING MANUFACTURER
BM	BEAM	MFR	MINIMUM
BOD	BOTTOM OF DECK	MIN	NOT TO SCALE
BTM	BOTTOM	OC	ON CENTER
BRG	BEARING	PEMB	PRE-ENGINEERED METAL BUILDING
C/P	CAST-IN-PLACE	PSF	POUNDS PER SQUARE FOOT
CLR	SLAB CONTROL JOINT	PSI	POUNDS PER SQUARE INCH
CMU	OR CONSTRUCTION JOINT	PT	POST TENSIONED
	CLEAR	QTY	QUANTITY
COL	CONCRETE MASONRY UNITS (BLOCK)	RD	ROOF DRAIN
CONN	COLUMN	REF	REFERENCE
CONC	CONCRETE	REQD	REQUIRED
CONSTR	CONSTRUCTION	RND	ROUND
CONT	CONTINUOUS	SCHED	SCHEDULE
DBA	DEFORMED BAR ANCHORS (WELDABLE REBAR)	SECT	SECTION
DIA	DIAMETER	SHT	SHEET
DN	DOWN	S/L	SINGLE LAYER
do	DITTO (REPEAT)	SFA	SPACINGS
DYLS	DOVELS	SS	STAINLESS STEEL
EE	EACH END	STD	STANDARD
E.F.	EACH FACE	STL	STEEL
EJ	EXPANSION JOINT	SW	SHORT WAY
EL	ELEVATION	T	THICKNESS
EOS	EDGE OF SLAB	T&B	TOP AND BOTTOM
ES	EACH SIDE	T/P	TOP OF PAVERS
EAH	EACH WAY	T/S	TOP OF SLAB
EXP	EXPANSION	T/W	TOP OF PARAPET WALL
FD	FLOOR DRAIN	TOF	TOP OF FOOTING
FIN	FINISHED	TOS	TOP OF STEEL
FLR	FLOOR	TOSL	TOP OF SLAB
FND	FOUNDATION	TOP	TOP OF WALL
FTS	FOOTING	TYO	TYPICAL
FV	FIELD VERIFY	UNP	UNLESS NOTED OTHERWISE
GALV	GALVANIZE	VERT	VERTICAL
GC	GENERAL CONTRACTOR	W	WITH
HD	HEADED	MCJ	MALL CONTROL JOINT
HK	HOOK	WF	WELDED WIRE FABRIC
HOR	HORIZONTAL		
HS	HEADED STUDS		
JT	JOINT		
K	KIPS (1000 POUNDS)		

WIND LOAD DETERMINATION ASSUMPTIONS

WIND VELOCITY (MPH)	EXPOSURE CATEGORY	MEAN ROOF HEIGHT (FT.)	IMPORTANCE FACTOR	OPENINGS PROTECTED?	Width (a) of zones 2, 3, and 5, Ft. ±	Roof Slope (n:12)
145	C	200	1.15	YES	8.10	0.00

COMPONENTS AND CLADDING - INTERNAL + EXTERNAL PRESSURES, PSF
Positive pressures given are at top level. Negative pressures occur at all levels.

ZONE	TRIBUTARY AREA, sq				
	10	20	50	100	500
1	-143	-195	-124	-116	-49
2	-224	-219	-146	-187	-161
3	-305	-241	-272	-258	-224
4	-48	-44	-40	-41	-40
5	-174	-166	-144	-136	-107
4 & 5	48	43	36	32	70



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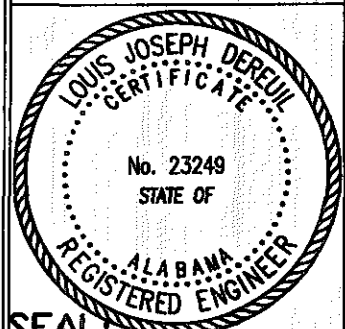
30 N. PALAFOX
PENSACOLA,
FLORIDA 32502

(850) 432-6011
FAX 435-9001
henry@hnrorris.com

JOE DEREUIL ASSOCIATES, LLC
STRUCTURAL ENGINEERS
9 WEST BILLOUGH STREET - PENSACOLA, FLORIDA (850) 435-9151
ALABAMA REG. NO. 23249 ALABAMA REG. NO. 2484-E
JDA JOB #0205

San Carlos Condominium
Gulf Shores, Alabama

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SHEET
S1.0A
ALT.
OF --

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30 N. PALAFOX
PENSACOLA,
FLORIDA 32502

(850) 432-6011
FAX 435-9001
henry@hnorris.com

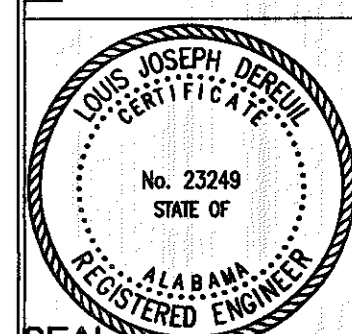
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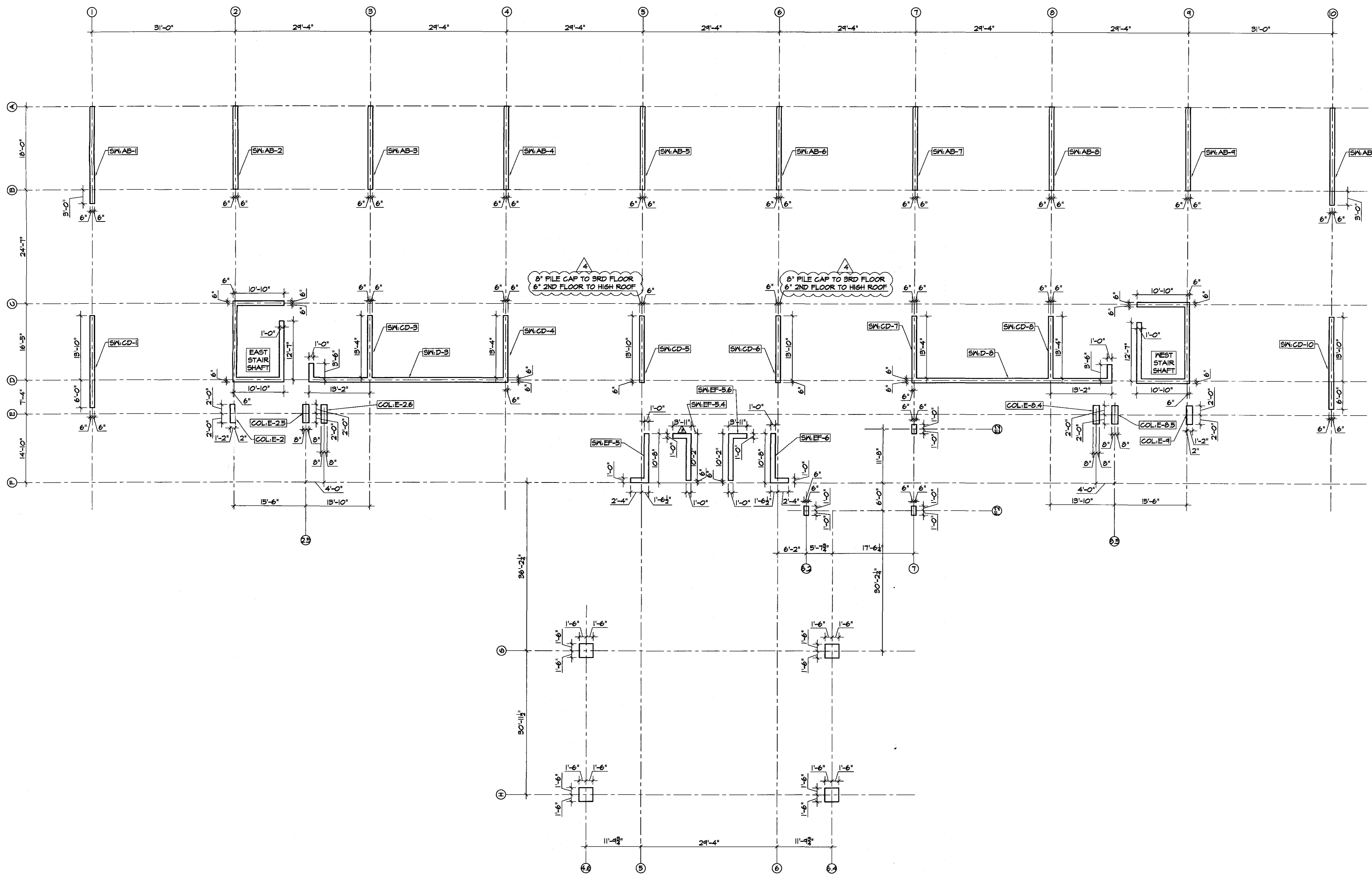
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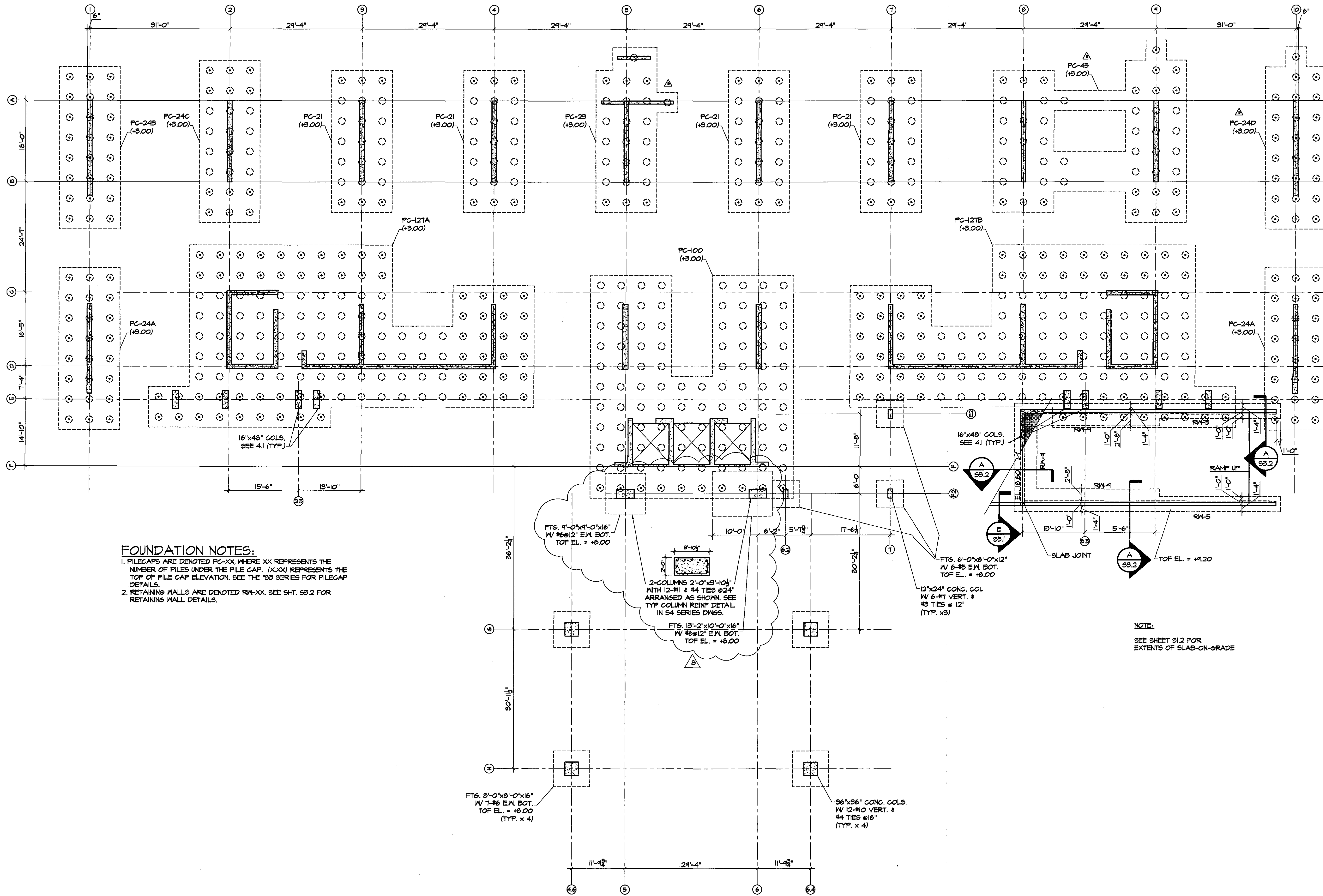
SEAL SHEET

S1.0B

OF --



DIMENSION PLAN
1/8" = 1'-0"



FOUNDATION NOTES:
1. PILECAPS ARE DENOTED PC-XX, WHERE XX REPRESENTS THE NUMBER OF PILES UNDER THE PILE CAP. (XXX) REPRESENTS THE TOP OF PILE CAP ELEVATION. SEE THE '93 SERIES FOR PILECAP DETAILS.
2. RETAINING WALLS ARE DENOTED RW-XX. SEE SHT. S9.2 FOR RETAINING WALL DETAILS.

NOTE:
SEE SHEET S1.2 FOR EXTENTS OF SLAB-ON-GRADE

FOUNDATION PLAN
1/8" = 1'-0"



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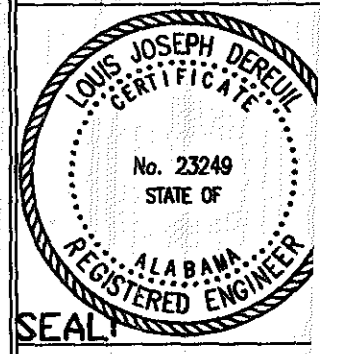
30 N. PALAFOX
PENSACOLA,
FLORIDA 32502

(850) 432-6011
FAX 435-9001
henry@hnorris.com

JDA JOE DEREUIL ASSOCIATES, LLC
STRUCTURAL ENGINEERS
9 WEST BLOUNT STREET, PENSACOLA, FLORIDA - (850) 432-1951
ALABAMA P.E. NO. 23249 / ALABAMA C.E. NO. 24647-E
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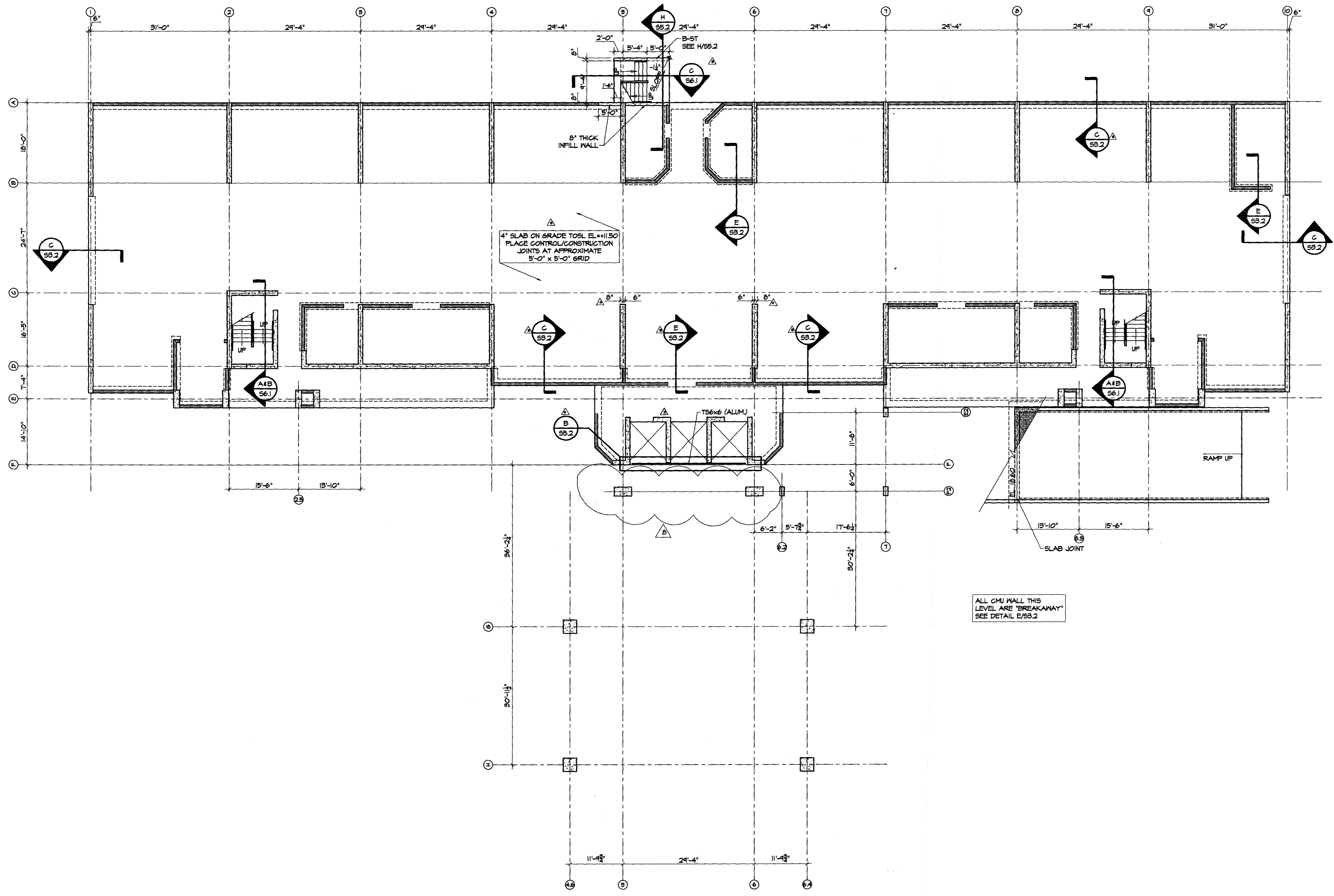


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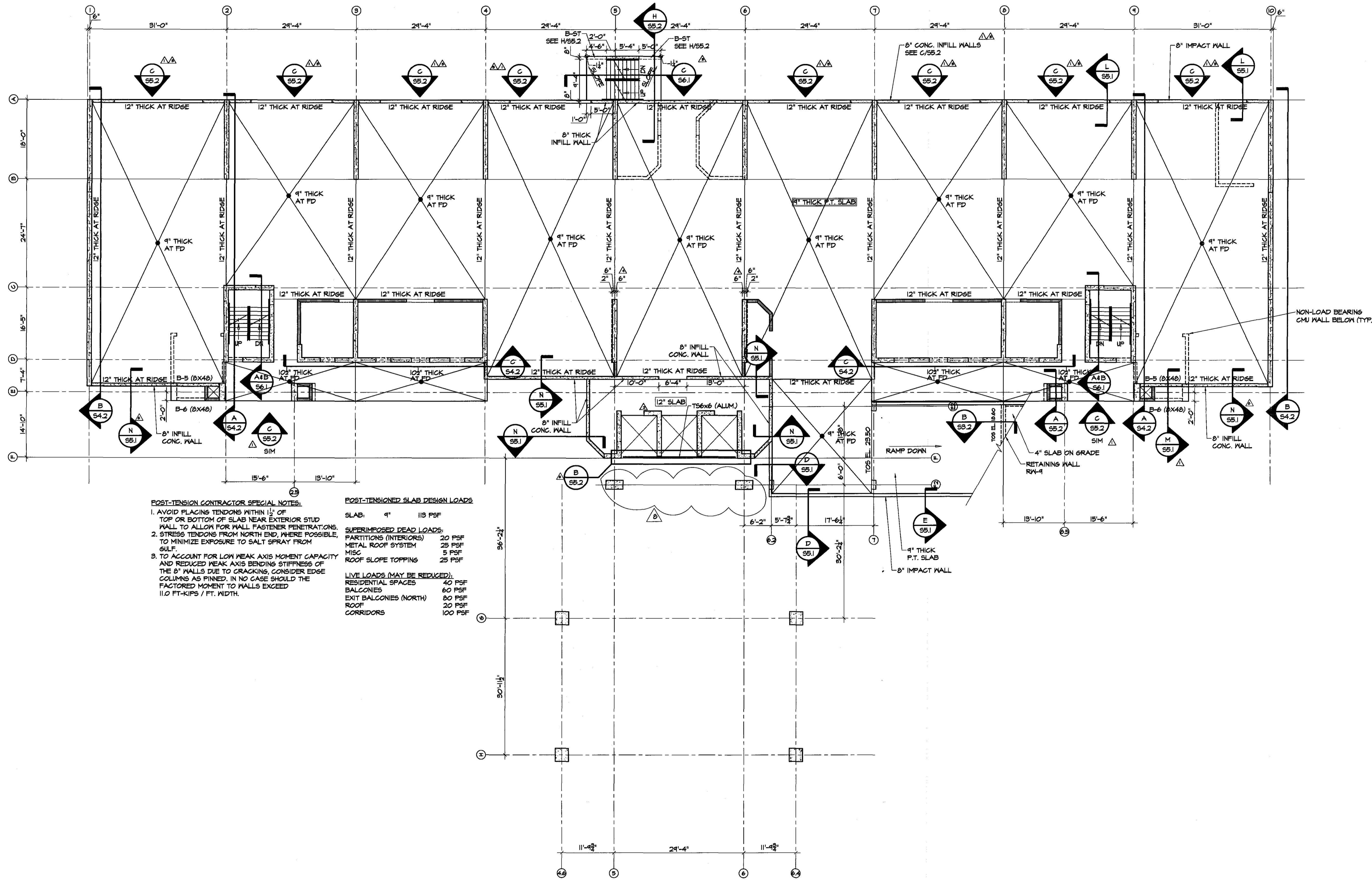
SHEET

S1.2

OF --



N SLAB ON GRADE PLAN
1/8" = 1'-0"



POST-TENSIONING CONTRACTOR SPECIAL NOTES:

1. AVOID PLACING TENDONS WITHIN 1/2" OF TOP OR BOTTOM OF SLAB NEAR EXTERIOR STUD WALL TO ALLOW FOR WALL FASTENER PENETRATIONS.
2. STRESS TENDONS FROM NORTH END, WHERE POSSIBLE, TO MINIMIZE EXPOSURE TO SALT SPRAY FROM GULF.
3. TO ACCOUNT FOR LOW WEAK AXIS MOMENT CAPACITY AND REDUCED WEAK AXIS BENDING STIFFNESS OF THE 8" WALLS DUE TO CRACKING, CONSIDER EDGE COLLUMS AS PINNED. IN NO CASE SHOULD THE FACTORED MOMENT TO WALLS EXCEED 11.0 FT-KIPS / FT. WIDTH.

POST-TENSIONED SLAB DESIGN LOADS

SLAB: 9" 113 PSF

SUPERIMPOSED DEAD LOADS:

- PARTITIONS (INTERIORS) 20 PSF
- METAL ROOF SYSTEM 25 PSF
- MISC 5 PSF
- ROOF SLOPE TOPPING 25 PSF

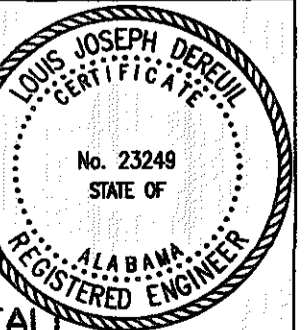
LIVE LOADS (MAY BE REDUCED):

- RESIDENTIAL SPACES 40 PSF
- BALCONIES 60 PSF
- EXIT BALCONIES (NORTH) 80 PSF
- ROOF 20 PSF
- CORRIDORS 100 PSF

2ND FLOOR FRAMING PLAN
3/8" = 1'-0"

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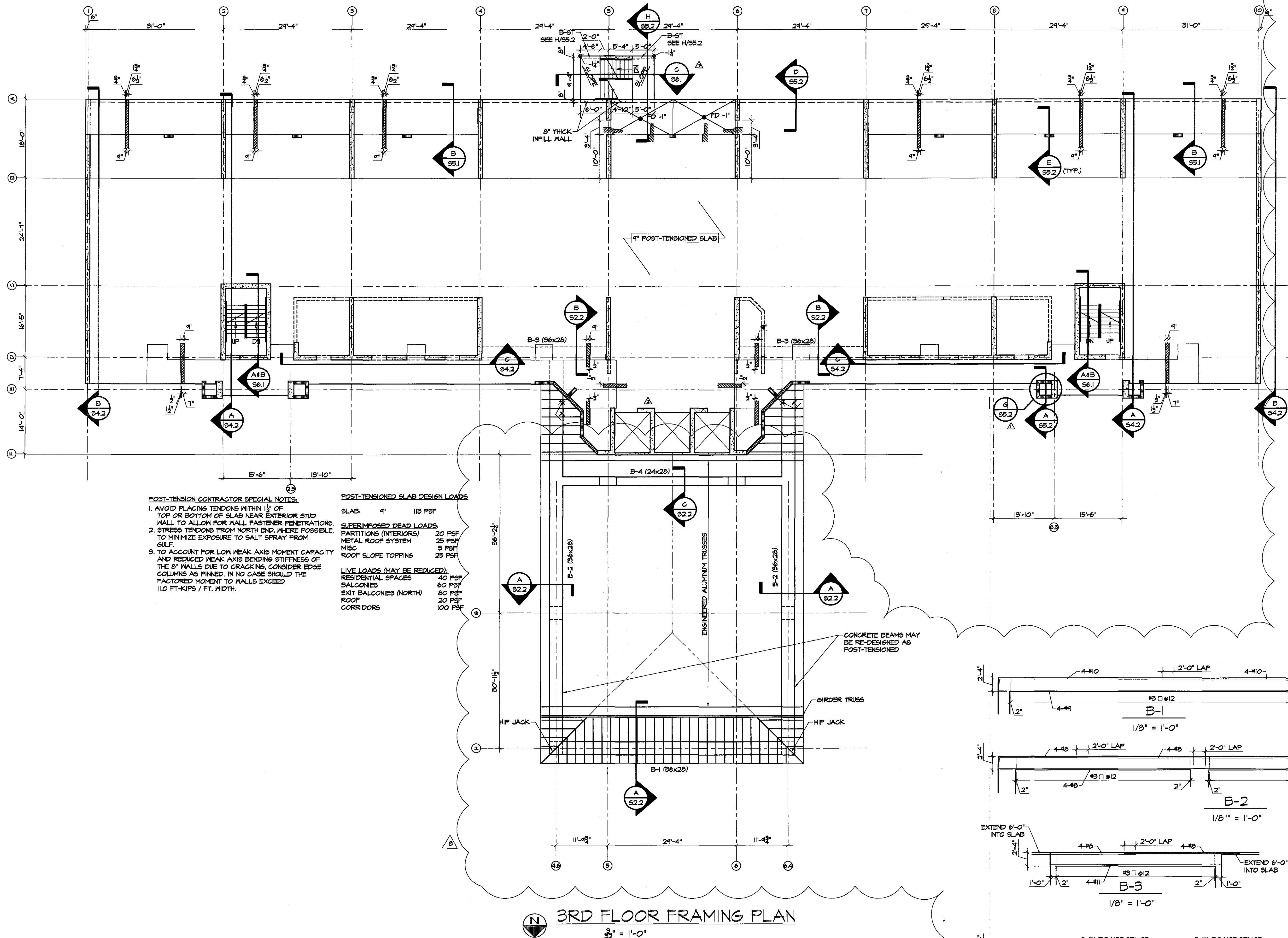
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SHEET

S2.1

"NEED NOT BE BUILT"



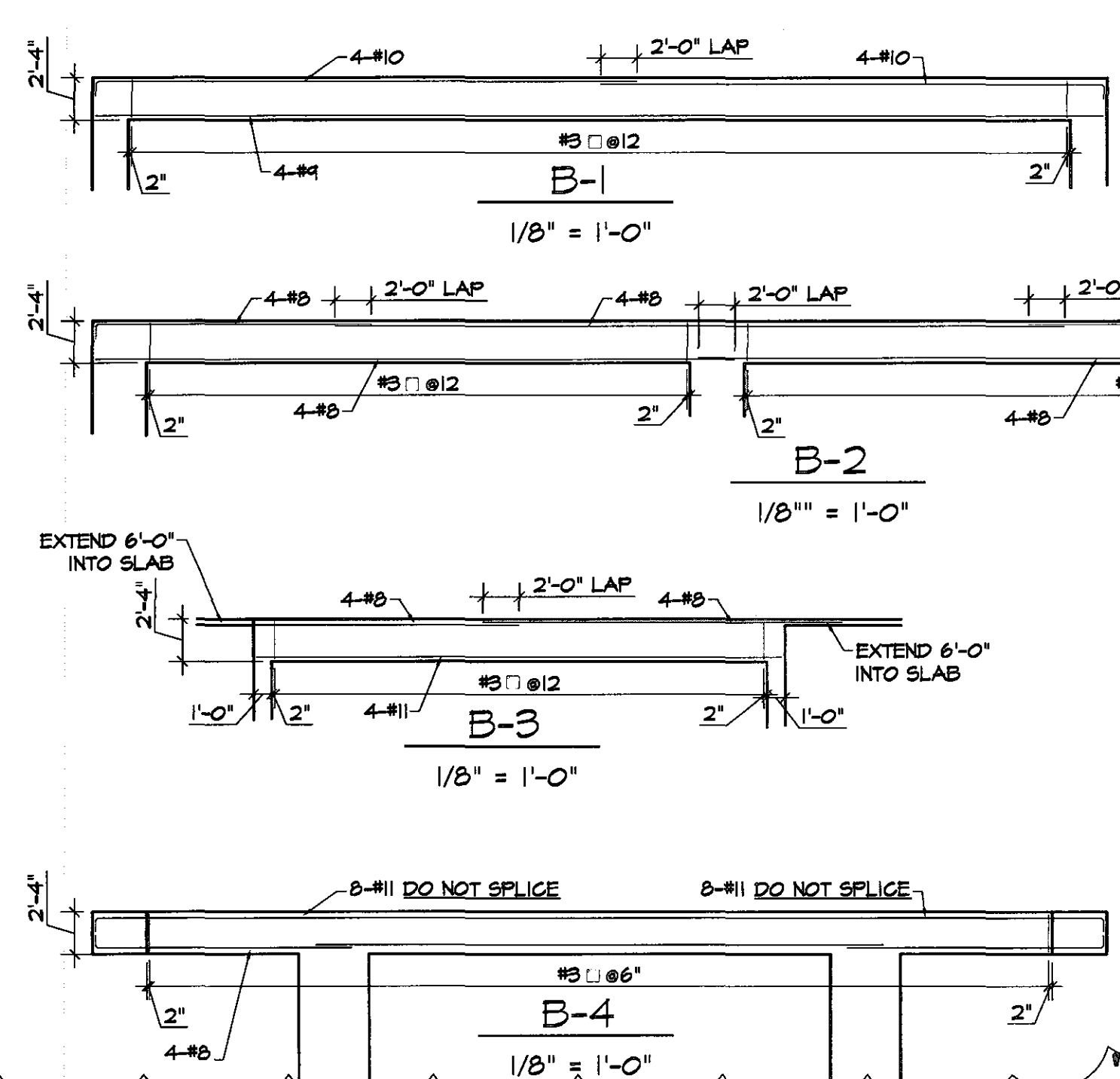
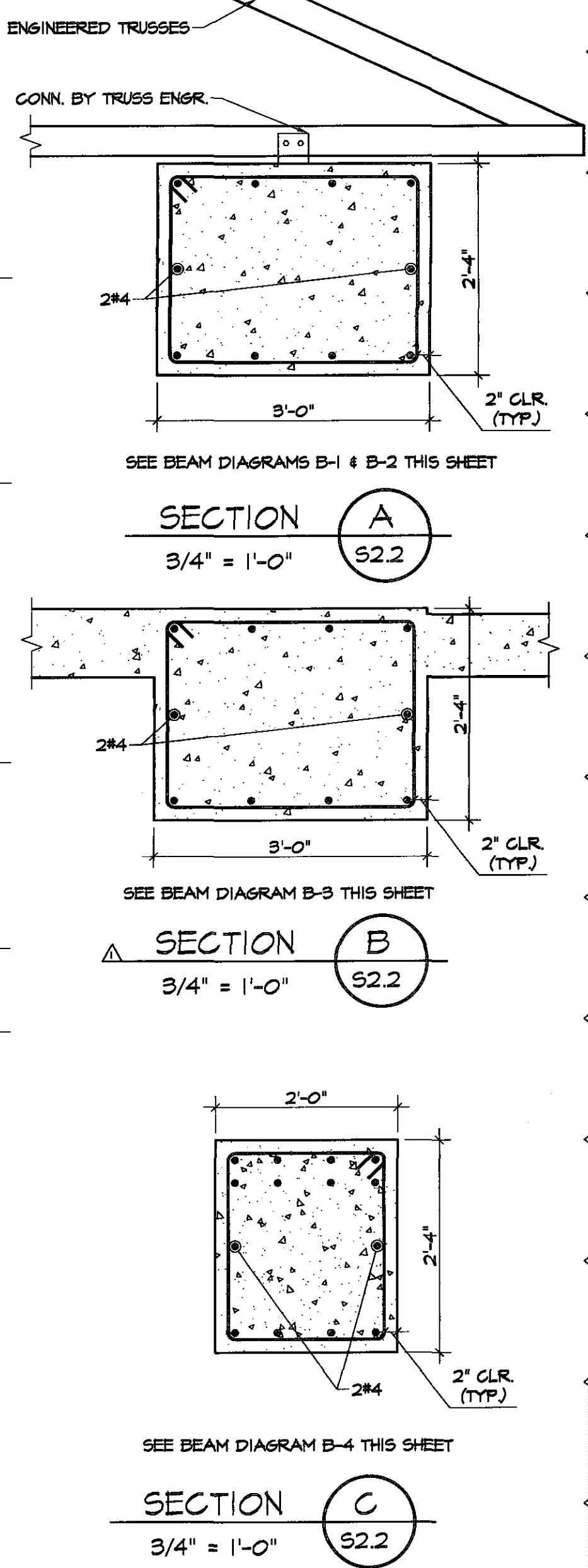
POST-TENSION CONTRACTOR SPECIAL NOTES:

1. AVOID PLACING TENDONS WITHIN 1/2" OF TOP OR BOTTOM OF SLAB NEAR EXTERIOR STUD WALL TO ALLOW FOR WALL FASTENER PENETRATIONS.
2. STRESS TENDONS FROM NORTH END, WHERE POSSIBLE, TO MINIMIZE EXPOSURE TO SALT SPRAY FROM GULF.
3. TO ACCOUNT FOR LOW WEAK AXIS MOMENT CAPACITY AND REDUCED WEAK AXIS BENDING STIFFNESS OF THE 8" WALLS DUE TO CRACKING, CONSIDER EDGE COLUMNS AS FINNED. IN NO CASE SHOULD THE FACTORED MOMENT TO WALLS EXCEED 11.0 FT-KIPS / FT. WIDTH.


POST-TENSIONED SLAB DESIGN LOADS

SLAB:	4"	113 PSF
SUPERIMPOSED DEAD LOADS:		
PARTITIONS (INTERIORS)	20 PSF	
METAL ROOF SYSTEM	25 PSF	
MISC.	5 PSF	
ROOF SLOPE TOPPING	25 PSF	
LIVE LOADS (MAY BE REDUCED):		
RESIDENTIAL SPACES	40 PSF	
BALCONIES	60 PSF	
EXIT BALCONIES (NORTH)	80 PSF	
ROOF	20 PSF	
CORRIDORS	100 PSF	

3RD FLOOR FRAMING PLAN
3/4" = 1'-0"



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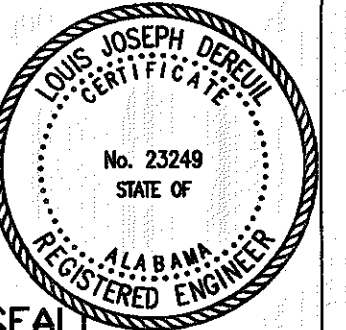
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ARCHITECTURE & ENVIRONMENTAL DESIGN
30 N. PALAFOX
PENSACOLA, FLORIDA 32502
(850) 432-6011
FAX 435-9001
henry@hnorris.com

JOE DEREUIL ASSOCIATES, LLC
STRUCTURAL ENGINEERS
7 WEST BLOOMING STREET - PENSACOLA, FLORIDA - (850) 432-1951
ALABAMA REG. NO. 72349 / ALABAMA C.A. NO. 2484-E
JDA JOB #3025

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SEAL SHEET

S2.2
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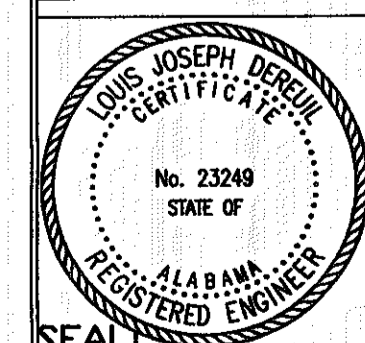
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PENSACOLA,
FLORIDA 32502

(850) 432-6011
FAX 435-9001
henry@hnorris.com

JOE DEREUIL ASSOCIATES, LLC
STRUCTURAL ENGINEERS
9 WEST BLOOMING STREET - PENSACOLA, FLORIDA - (850) 432-1851
ALABAMA REG. NO. 23249 / ALABAMA C.E. NO. 2484-L-1
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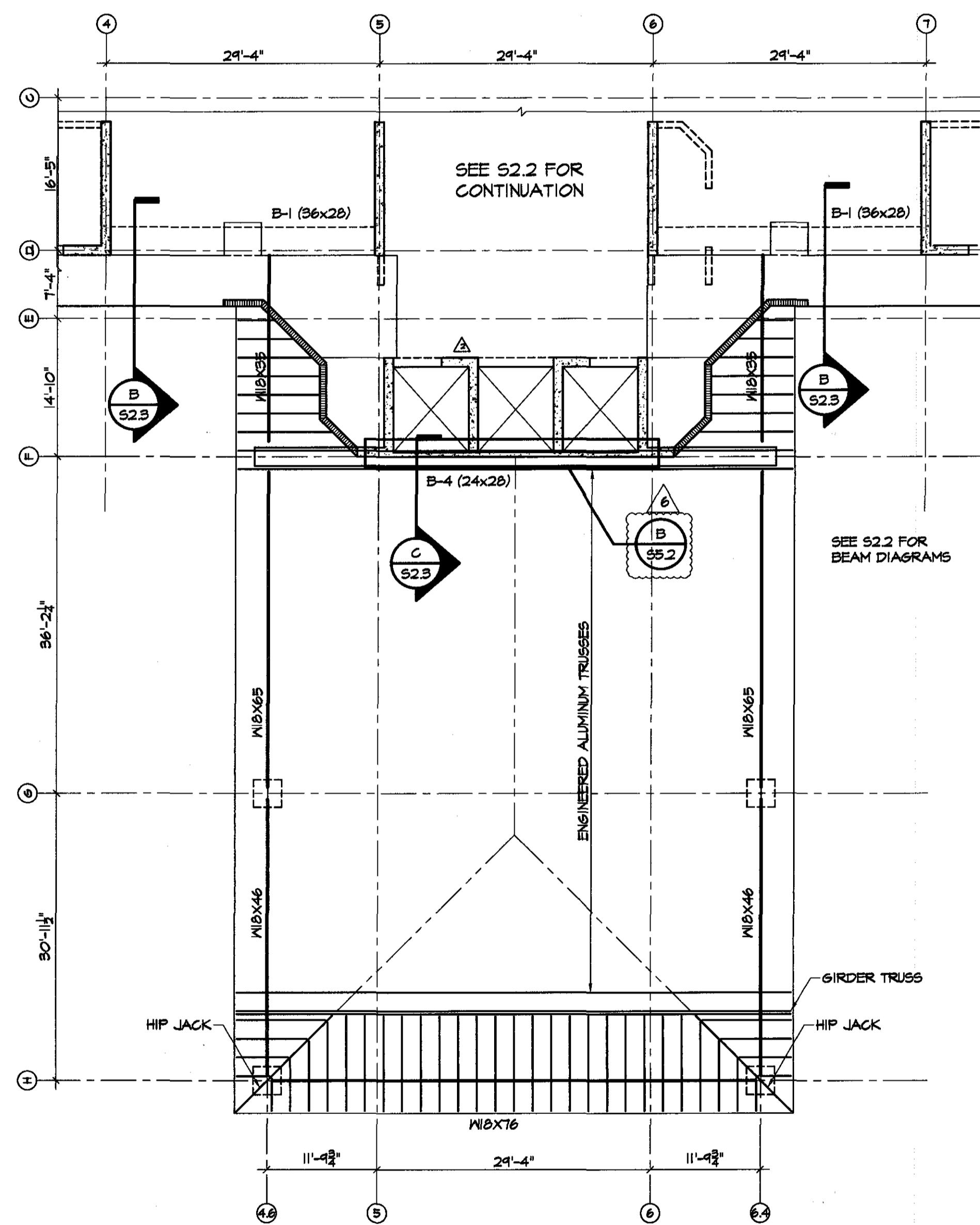


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S2.2B

OF --



3RD FLOOR FRAMING PLAN - ALTERNATE STEEL FRAMED PORTICO



3/32" = 1'-0"



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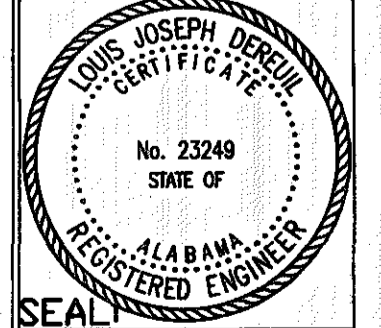
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PENSACOLA,
FLORIDA 32502

(850) 432-6011
FAX 435-9001
henry@hnorris.com

JDA JOE DEREUIL ASSOCIATES, LLC
STRUCTURAL ENGINEERS
7 WEST BLOUNT STREET, PENSACOLA, FLORIDA - 32504-0915
ALABAMA REG. NO. 22497 / FLORIDA REG. NO. 7484-E
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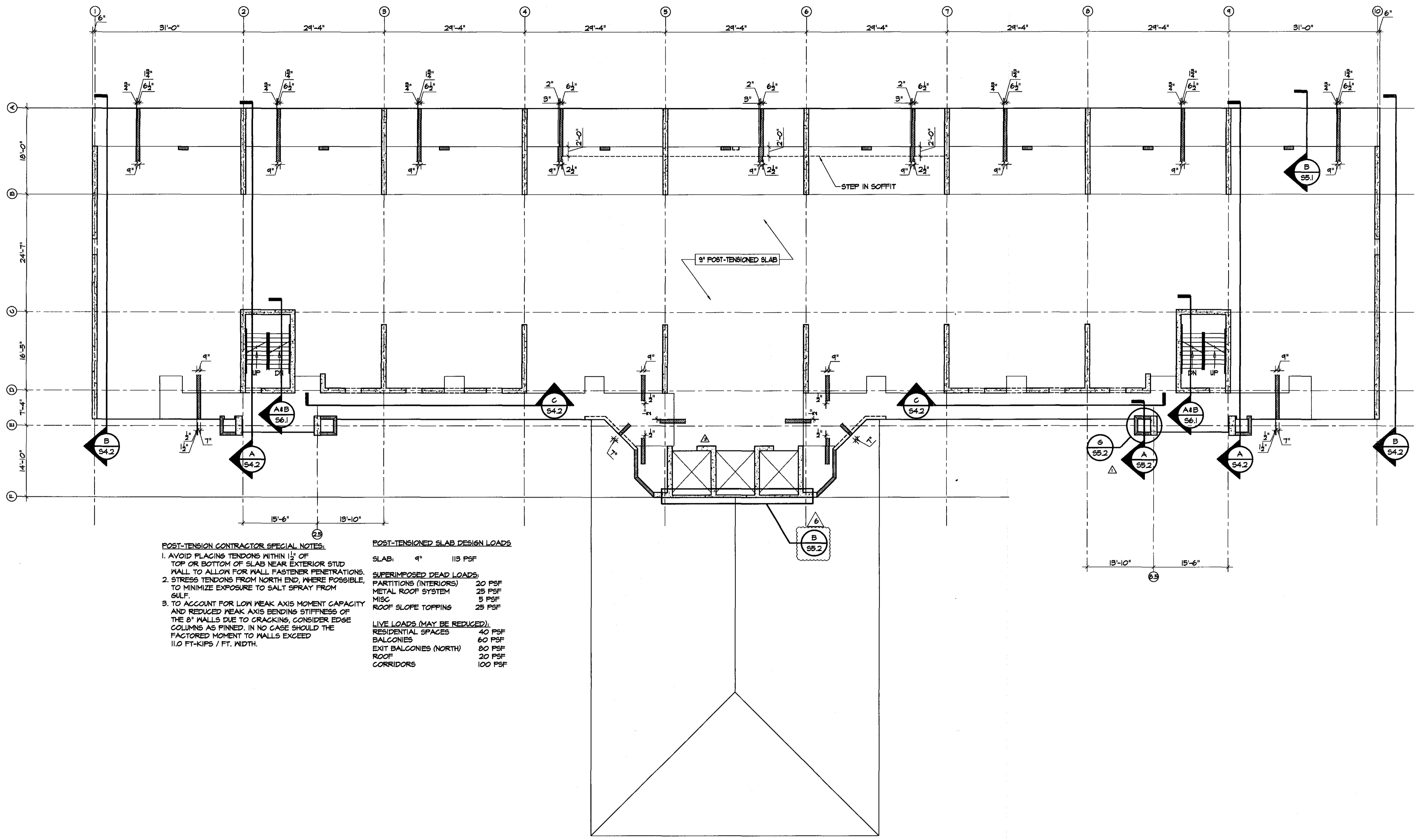
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▲ JAN 11, 2005



SEAL SHEET

S2.3

OF --



POST-TENSION CONTRACTOR SPECIAL NOTES:

1. AVOID PLACING TENDONS WITHIN 1 1/2" OF TOP OR BOTTOM OF SLAB NEAR EXTERIOR STUD WALL TO ALLOW FOR WALL FASTENER PENETRATIONS.
2. STRESS TENDONS FROM NORTH END, WHERE POSSIBLE, TO MINIMIZE EXPOSURE TO SALT SPRAY FROM GULF.
3. TO ACCOUNT FOR LOW WEAK AXIS MOMENT CAPACITY AND REDUCED WEAK AXIS BENDING STIFFNESS OF THE 8" WALLS DUE TO CRACKING, CONSIDER EDGE COLUMNS AS PINNED. IN NO CASE SHOULD THE FACTORED MOMENT TO WALLS EXCEED 11.0 FT-KIPS / FT. WIDTH.

POST-TENSIONED SLAB DESIGN LOADS:

SLAB: 4" 113 PSF

SUPERIMPOSED DEAD LOADS:

PARTITIONS (INTERIORS) 20 PSF
METAL ROOF SYSTEM 25 PSF
MISC. ROOF SLOPE TOPPING 25 PSF

LIVE LOADS (MAY BE REDUCED):

RESIDENTIAL SPACES 40 PSF
BALCONIES 60 PSF
EXIT BALCONIES (NORTH) 80 PSF
ROOF 20 PSF
CORRIDORS 100 PSF

4TH FLOOR FRAMING PLAN
3/8" = 1'-0"



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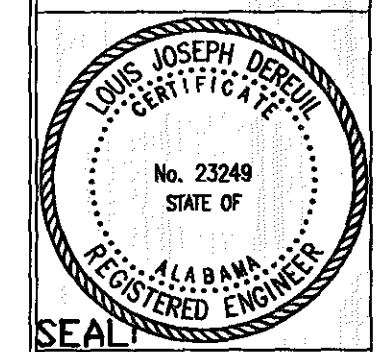
30 N. PALAFOX
PENSACOLA,
FLORIDA 32502

(850) 432-6011
FAX 435-9001
henry@hnrorris.com

JOE DEREUIL ASSOCIATES, LLC
STRUCTURAL ENGINEERS
9 WEST BLOUNT STREET - PENACOLA, FLORIDA - (850) 432-1951
ALABAMA REG. NO. 23249 / ALABAMA C.E. NO. 2484-E
JDA JOB #30225

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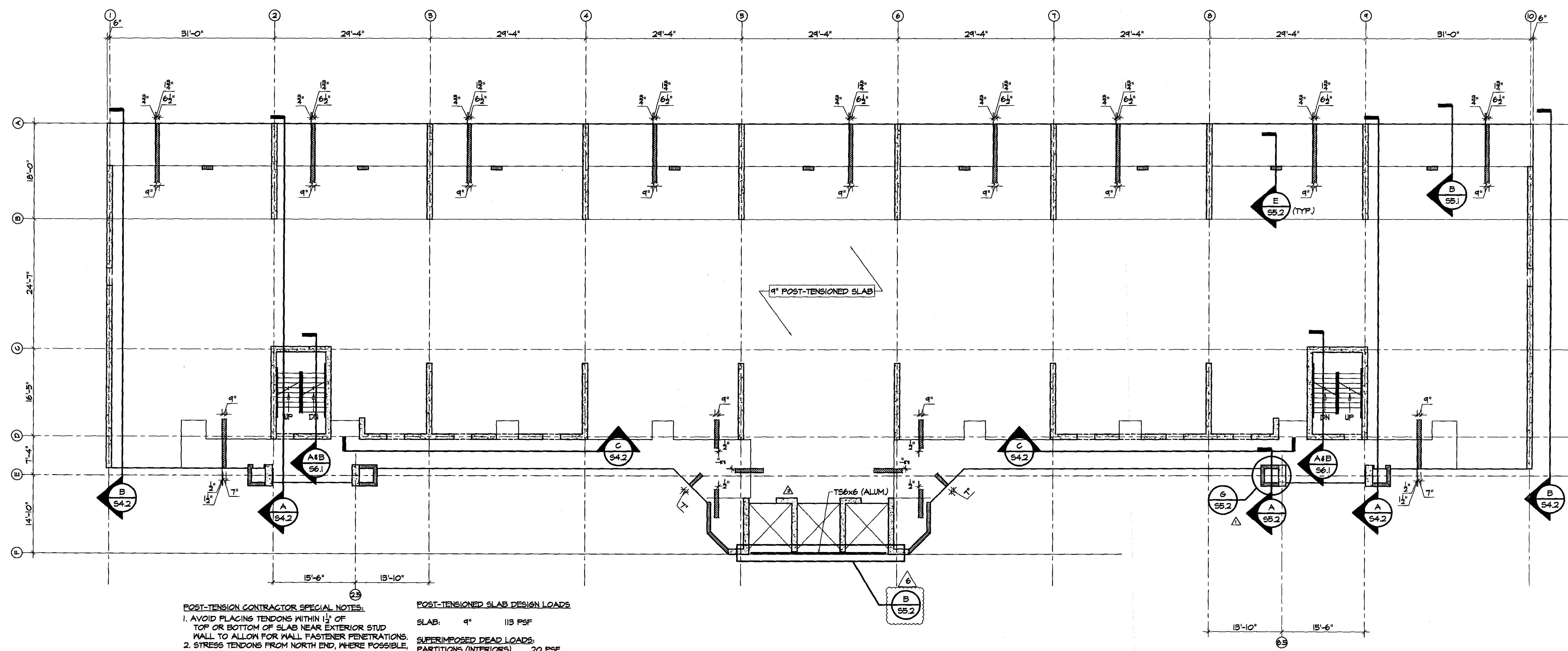


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POST-TENSION CONTRACTOR SPECIAL NOTES:

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3. TO ACCOUNT FOR LOW WEAK AXIS MOMENT CAPACITY AND REDUCED WEAK AXIS BENDING STIFFNESS OF THE 8" WALLS DUE TO CRACKING, CONSIDER EDGE COLUMNS AS PINNED. IN NO CASE SHOULD THE FACTORED MOMENT TO WALLS EXCEED 11.0 FT-KIPS / FT. WIDTH.

POST-TENSIONED SLAB DESIGN LOADS

SLAB:	4"	113 PSF
SUPERIMPOSED DEAD LOADS:		
PARTITIONS (INTERIORS)	20 PSF	
METAL ROOF SYSTEM	25 PSF	
MISC	5 PSF	
ROOF SLOPE TOPPING	25 PSF	
LIVE LOADS (MAY BE REDUCED):		
RESIDENTIAL SPACES	40 PSF	
BALCONIES	60 PSF	
EXIT BALCONIES (NORTH)	80 PSF	
ROOF	20 PSF	
CORRIDORS	100 PSF	

5TH - 16TH FLOOR FRAMING PLANS
1/8" = 1'-0"



**HENRY
NORRIS &
ASSOC., INC.**

ARCHITECTURE &
ENVIRONMENTAL
DESIGN

30 N. PALAFOX
PENSACOLA,
FLORIDA 32502

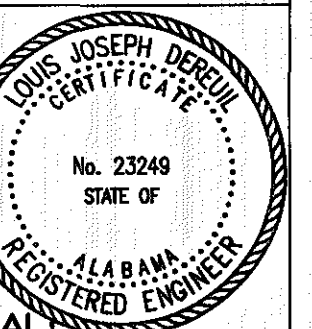
(850) 432-6011
FAX 435-9001
henry@hnmorris.com

JOE DEREUILL ASSOCIATES, LLC
STRUCTURAL ENGINEERS
5117 BLOUNT STREET - PERDUEVILLE, FLORIDA 32047-1951
ALABAMA REG. NO. 23249 / ALABAMA C.E. NO. 2484-E
JDA JOB #3025

San Carlos Condominium
Gulf Shores, Alabama

JOB NO: 200901
CAD: DAB
CHECKED: DVL/JJD
DATE: 06/13/04

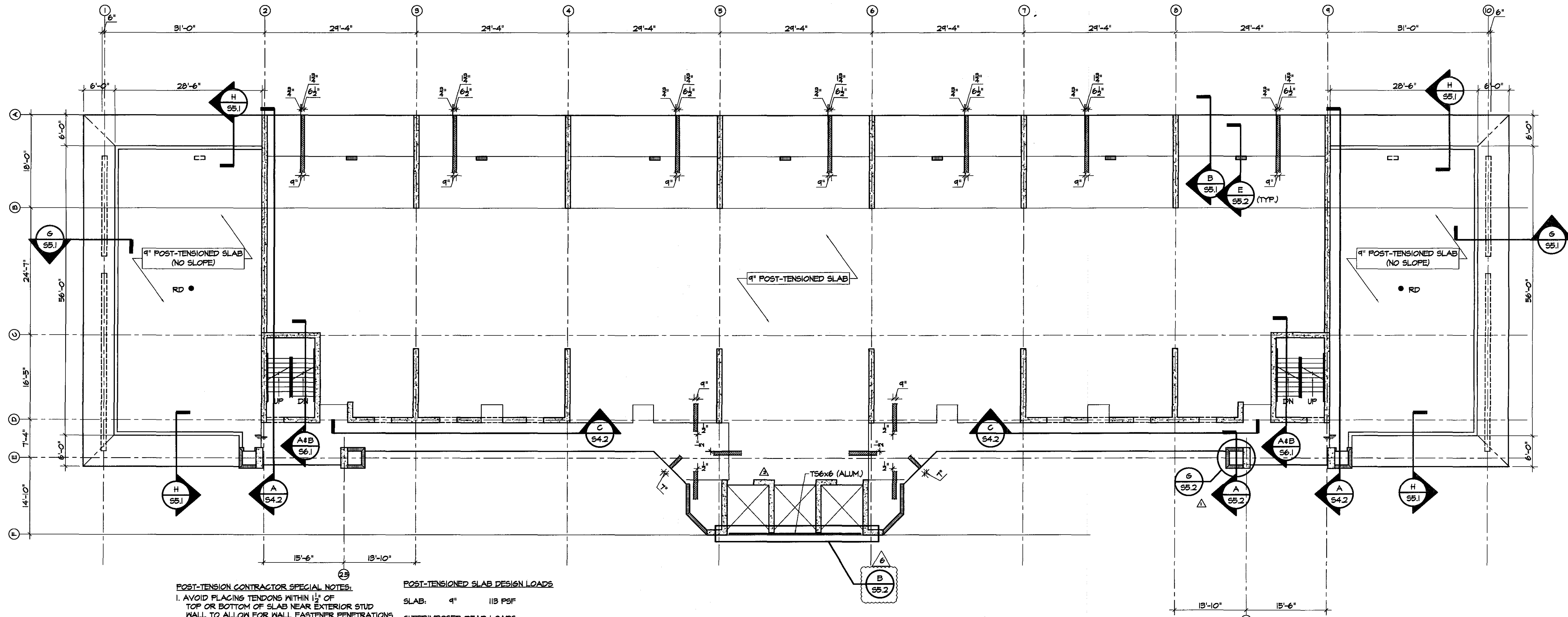
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▲ OCT 11, 2004 ▲ OCT 28, 2005
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▲ DEC 06, 2004
▲ JAN 17, 2005



SEAL
SHEET

S2.5

OF --



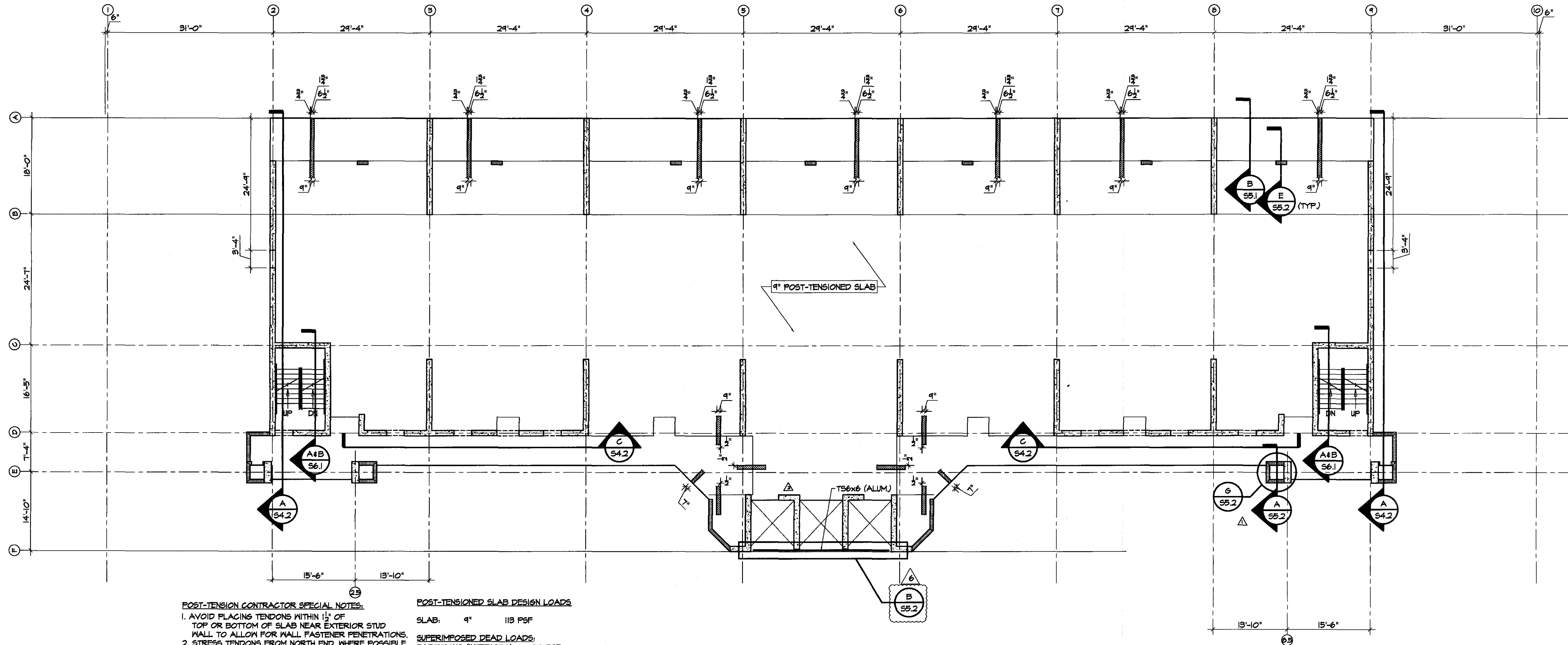
POST-TENSION CONTRACTOR SPECIAL NOTES:

1. AVOID PLACING TENDONS WITHIN 1/2" OF TOP OR BOTTOM OF SLAB NEAR EXTERIOR STUD WALL TO ALLOW FOR WALL FASTENER PENETRATIONS.
2. STRESS TENDONS FROM NORTH END, WHERE POSSIBLE, TO MINIMIZE EXPOSURE TO SALT SPRAY FROM GULF.
3. TO ACCOUNT FOR LOW WEAK AXIS MOMENT CAPACITY AND REDUCED WEAK AXIS BENDING STIFFNESS OF THE 8" WALLS DUE TO CRACKING, CONSIDER EDGE COLUMNS AS PINNED. IN NO CASE SHOULD THE FACTORED MOMENT TO WALLS EXCEED 11.0 FT-KIPS / FT. WIDTH.

POST-TENSIONED SLAB DESIGN LOADS

SLAB:	4"	118 PSF
SUPERIMPOSED DEAD LOADS:		
PARTITIONS (INTERIORS)	20 PSF	
METAL ROOF SYSTEM	25 PSF	
MISC	5 PSF	
ROOF SLOPE TOPPING	25 PSF	
LIVE LOADS (MAY BE REDUCED):		
RESIDENTIAL SPACES	40 PSF	
BALCONIES	60 PSF	
EXIT BALCONIES (NORTH)	60 PSF	
ROOF	20 PSF	
CORRIDORS	100 PSF	

17TH FLOOR FRAMING PLAN
1/8" = 1'-0"



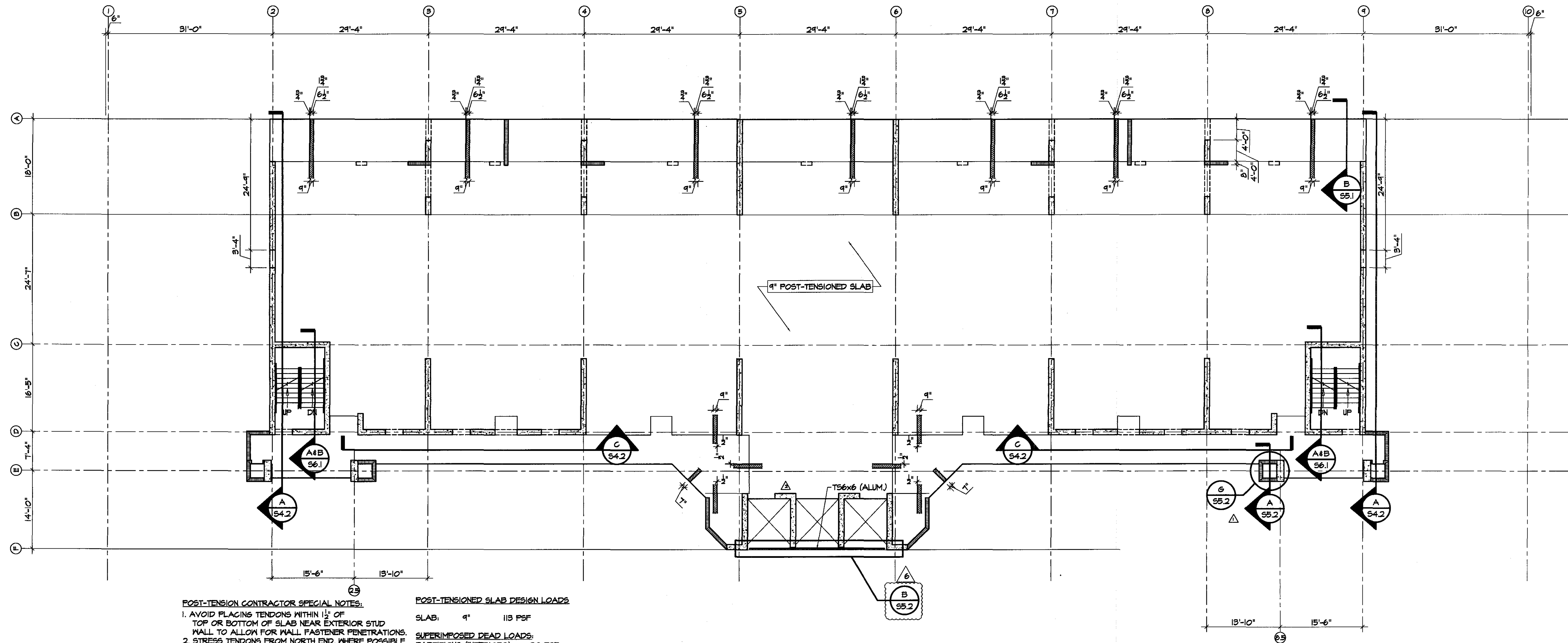
POST-TENSION CONTRACTOR SPECIAL NOTES:

1. AVOID PLACING TENDONS WITHIN 1/2" OF TOP OR BOTTOM OF SLAB NEAR EXTERIOR STUD WALL TO ALLOW FOR WALL FASTENER PENETRATIONS.
2. STRESS TENDONS FROM NORTH END, WHERE POSSIBLE, TO MINIMIZE EXPOSURE TO SALT SPRAY FROM GULF.
3. TO ACCOUNT FOR LOW WEAK AXIS MOMENT CAPACITY AND REDUCED WEAK AXIS BENDING STIFFNESS OF THE 8" WALLS DUE TO CRACKING, CONSIDER EDGE COLUMNS AS PINNED. IN NO CASE SHOULD THE FACTORED MOMENT TO WALLS EXCEED 11.0 FT-KIPS / FT. WIDTH.

POST-TENSIONED SLAB DESIGN LOADS

SLAB:	9"	118 PSF
SUPERIMPOSED DEAD LOADS:		
PARTITIONS (INTERIORS)	20 PSF	
METAL ROOF SYSTEM	25 PSF	
MISC.	5 PSF	
ROOF SLOPE TOPPING	25 PSF	
LIVE LOADS (MAY BE REDUCED):		
RESIDENTIAL SPACES	40 PSF	
BALCONIES	60 PSF	
EXIT BALCONIES (NORTH)	80 PSF	
ROOF	20 PSF	
CORRIDORS	100 PSF	

18TH FLOOR FRAMING PLAN
3/8" = 1'-0"



POST-TENSION CONTRACTOR SPECIAL NOTES:

1. AVOID FLAGGING TENDONS WITHIN 1/2" OF TOP OR BOTTOM OF SLAB NEAR EXTERIOR STUD WALL. TO ALLOW FOR WALL FASTENER PENETRATIONS.
2. STRESS TENDONS FROM NORTH END, WHERE POSSIBLE, TO MINIMIZE EXPOSURE TO SALT SPRAY FROM GULF.
3. TO ACCOUNT FOR LOW WEAK AXIS MOMENT CAPACITY AND REDUCED WEAK AXIS BENDING STIFFNESS OF THE 8" WALLS DUE TO CRACKING, CONSIDER EDGE COLUMNS AS FINNED. IN NO CASE SHOULD THE FACTORED MOMENT TO WALLS EXCEED 11.0 FT-KIPS / FT. WIDTH.

POST-TENSIONED SLAB DESIGN LOADS

SLAB: 4" 118 PSF

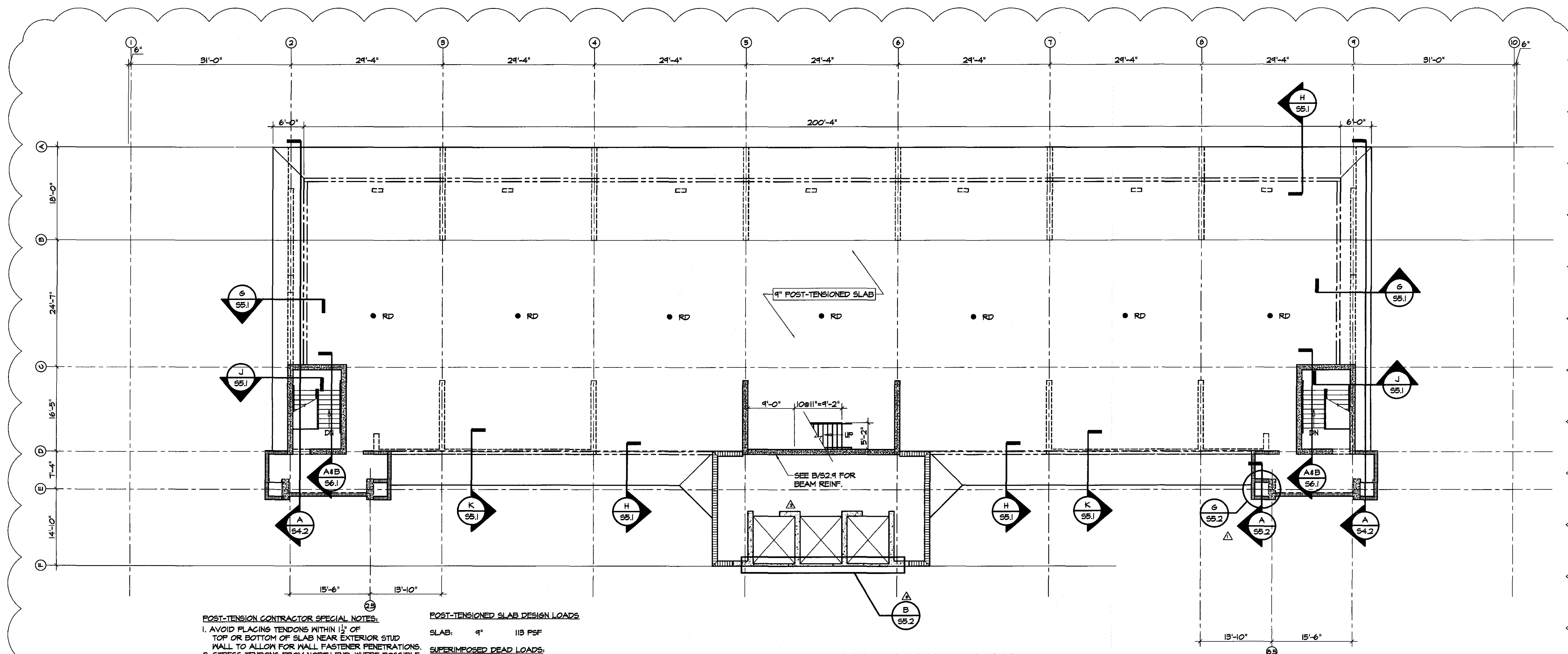
SUPERIMPOSED DEAD LOADS:

PARTITIONS (INTERIORS)	20 PSF
METAL ROOF SYSTEM	25 PSF
MISC	5 PSF
ROOF SLOPE TOPPING	25 PSF

LIVE LOADS (MAY BE REDUCED):

RESIDENTIAL SPACES	40 PSF
BALCONIES	60 PSF
EXIT BALCONIES (NORTH)	80 PSF
ROOF	20 PSF
CORRIDORS	100 PSF

19TH FLOOR FRAMING PLAN
3/8" = 1'-0"



POST-TENSION CONTRACTOR SPECIAL NOTES:

1. AVOID PLACING TENDONS WITHIN 1 1/2" OF TOP OR BOTTOM OF SLAB NEAR EXTERIOR STUD WALL. TO ALLOW FOR WALL FASTENER PENETRATIONS.
2. STRESS TENDONS FROM NORTH END, WHERE POSSIBLE, TO MINIMIZE EXPOSURE TO SALT SPRAY FROM GULF.
3. TO ACCOUNT FOR LOW WEAK AXIS MOMENT CAPACITY AND REDUCED WEAK AXIS BENDING STIFFNESS OF THE 8" WALLS DUE TO CRACKING, CONSIDER EDGE COLLINGS AS PINNED. IN NO CASE SHOULD THE FACTORED MOMENT TO WALLS EXCEED 11.0 FT-KIPS / FT. WIDTH.

POST-TENSIONED SLAB DESIGN LOADS

SLAB: 4" 118 PSF

SUPERIMPOSED DEAD LOADS:

- PARTITIONS (INTERIORS) 20 PSF
- METAL ROOF SYSTEM 25 PSF
- MISC 5 PSF
- ROOF SLOPE TOPPING 25 PSF

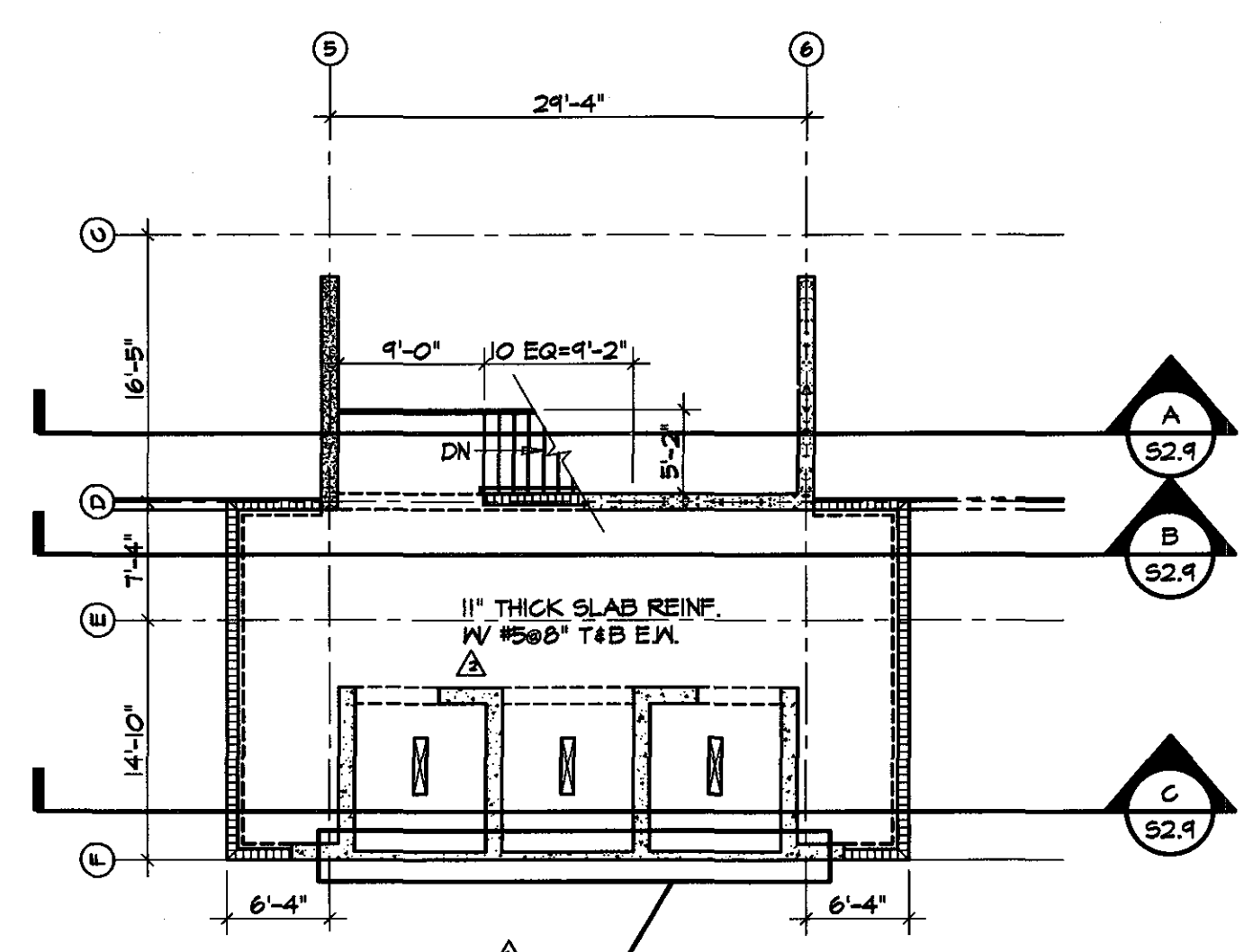
LIVE LOADS (MAY BE REDUCED):

- RESIDENTIAL SPACES 40 PSF
- BALCONIES 60 PSF
- EXIT BALCONIES (NORTH) 80 PSF
- ROOF 20 PSF
- CORRIDORS 100 PSF

ROOF FRAMING PLAN



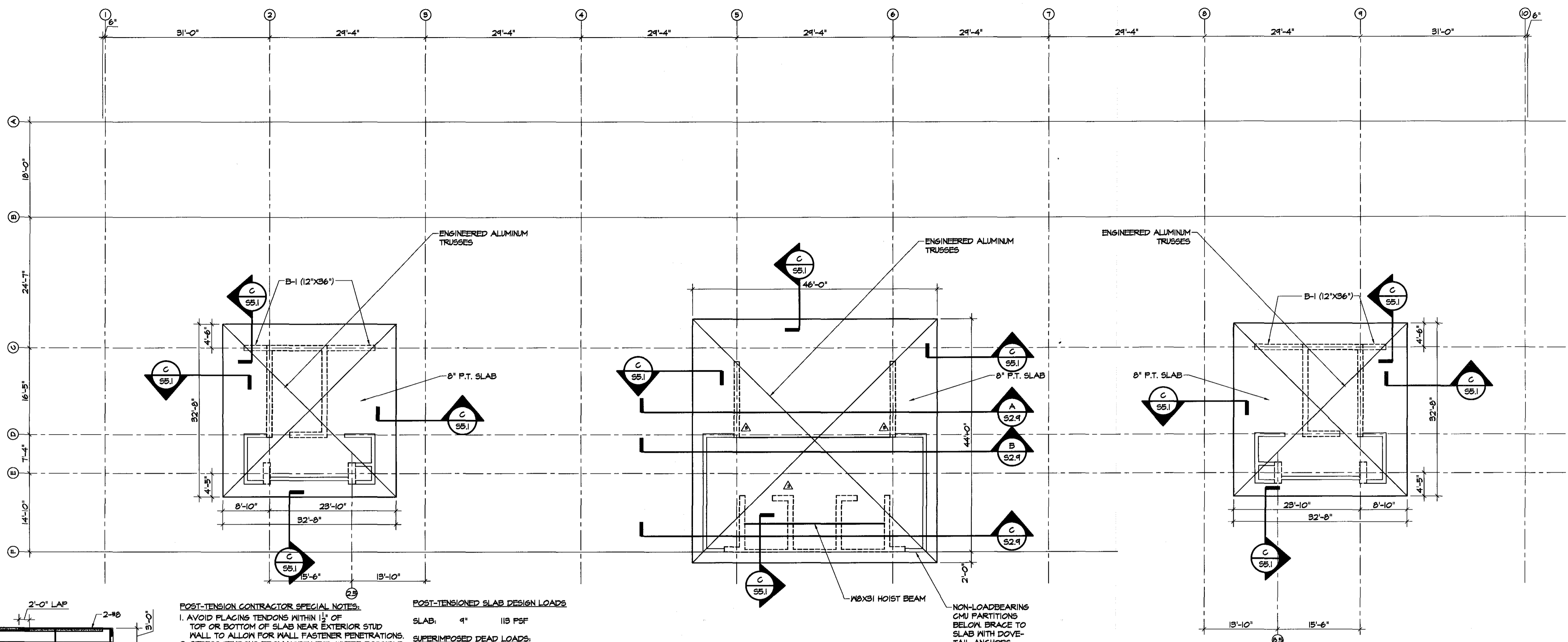
3/8" = 1'-0"



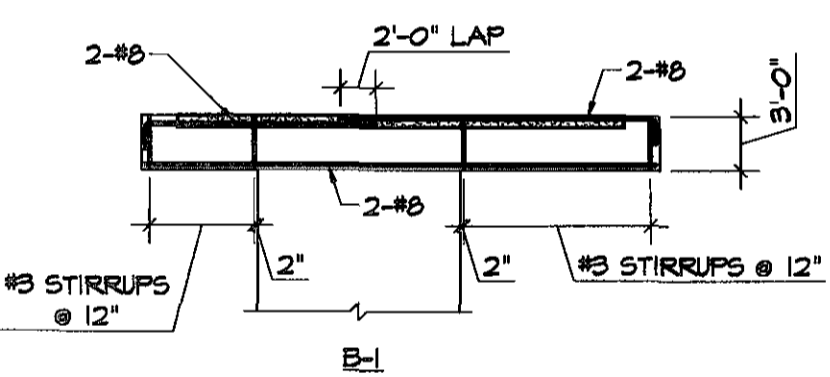
MACHINE ROOM FRAMING PLAN



3/8" = 1'-0"



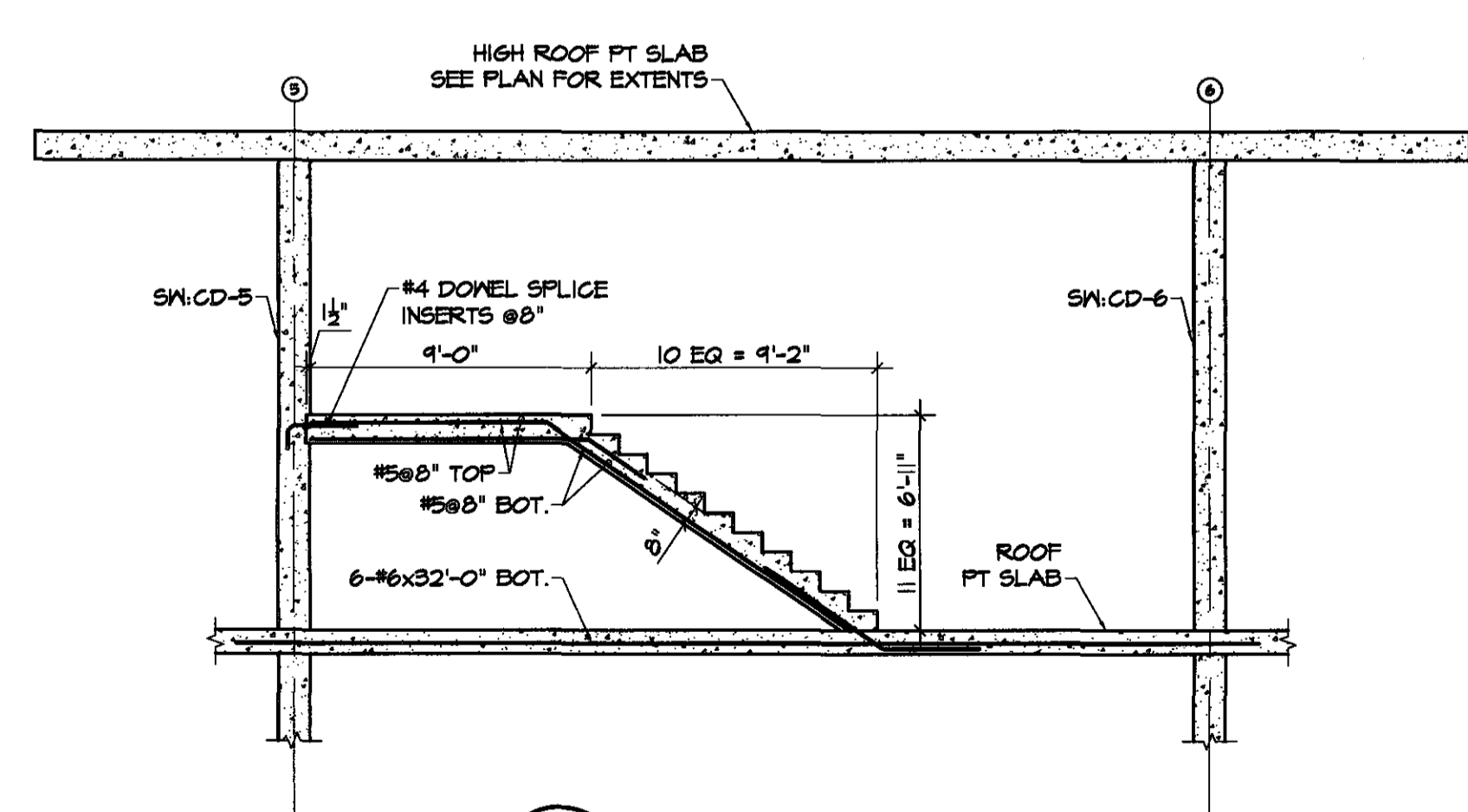
HIGH ROOF FRAMING PLAN
3/8" = 1'-0"



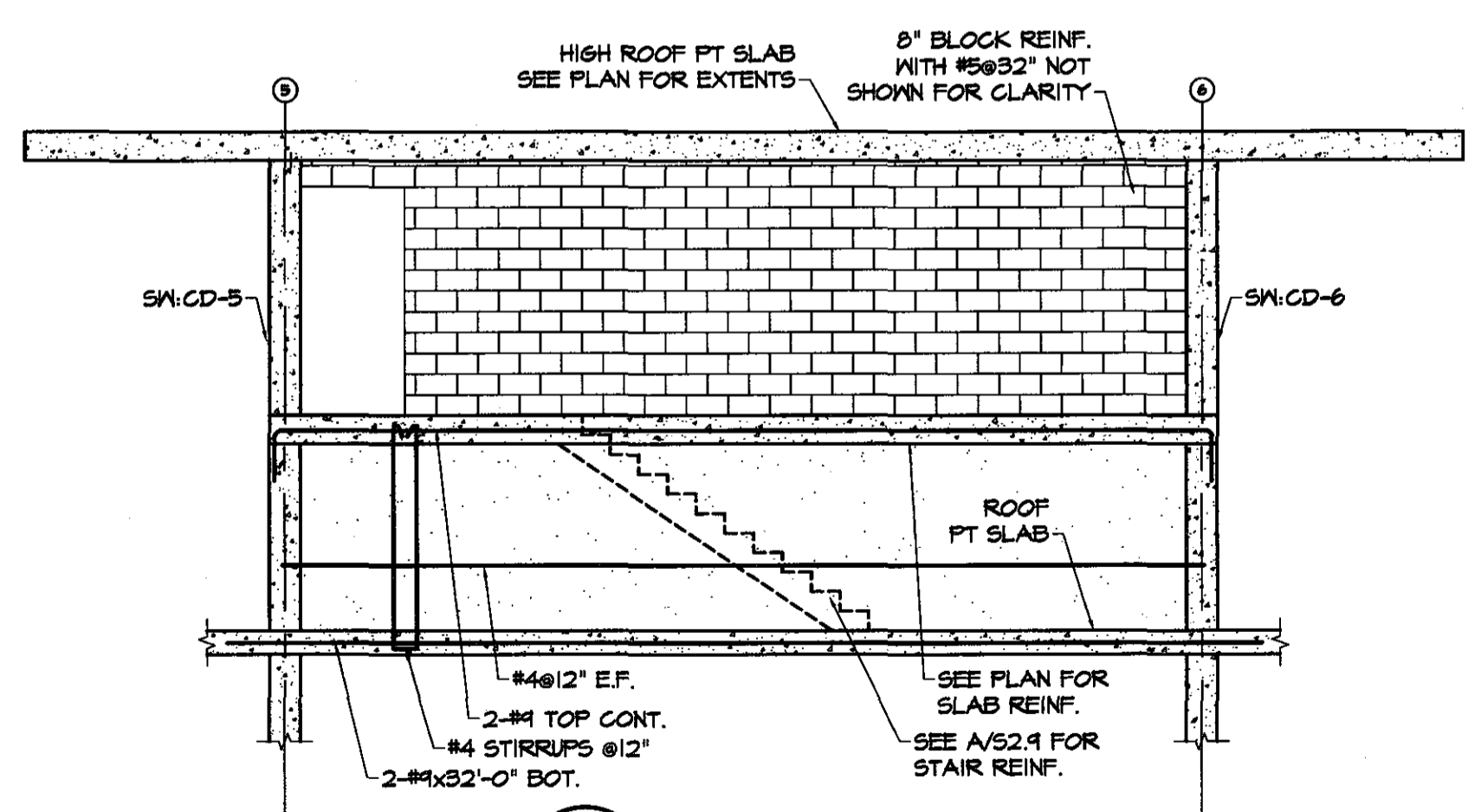
POST-TENSION CONTRACTOR SPECIAL NOTES:
1. AVOID PLACING TENDONS WITHIN 1/2" OF TOP OR BOTTOM OF SLAB NEAR EXTERIOR STUD WALL TO ALLOW FOR WALL FASTENER PENETRATIONS.
2. STRESS TENDONS FROM NORTH END, WHERE POSSIBLE, TO MINIMIZE EXPOSURE TO SALT SPRAY FROM GULF.
3. TO ACCOUNT FOR LOW PEAK AXIS MOMENT CAPACITY AND REDUCED PEAK AXIS BENDING STIFFNESS OF THE 8" WALLS DUE TO CRACKING, CONSIDER EDGE COLUMNS AS PINNED. IN NO CASE SHOULD THE FACTORED MOMENT TO WALLS EXCEED 11.0 FT-KIPS / FT. WIDTH.

POST-TENSIONED SLAB DESIGN LOADS

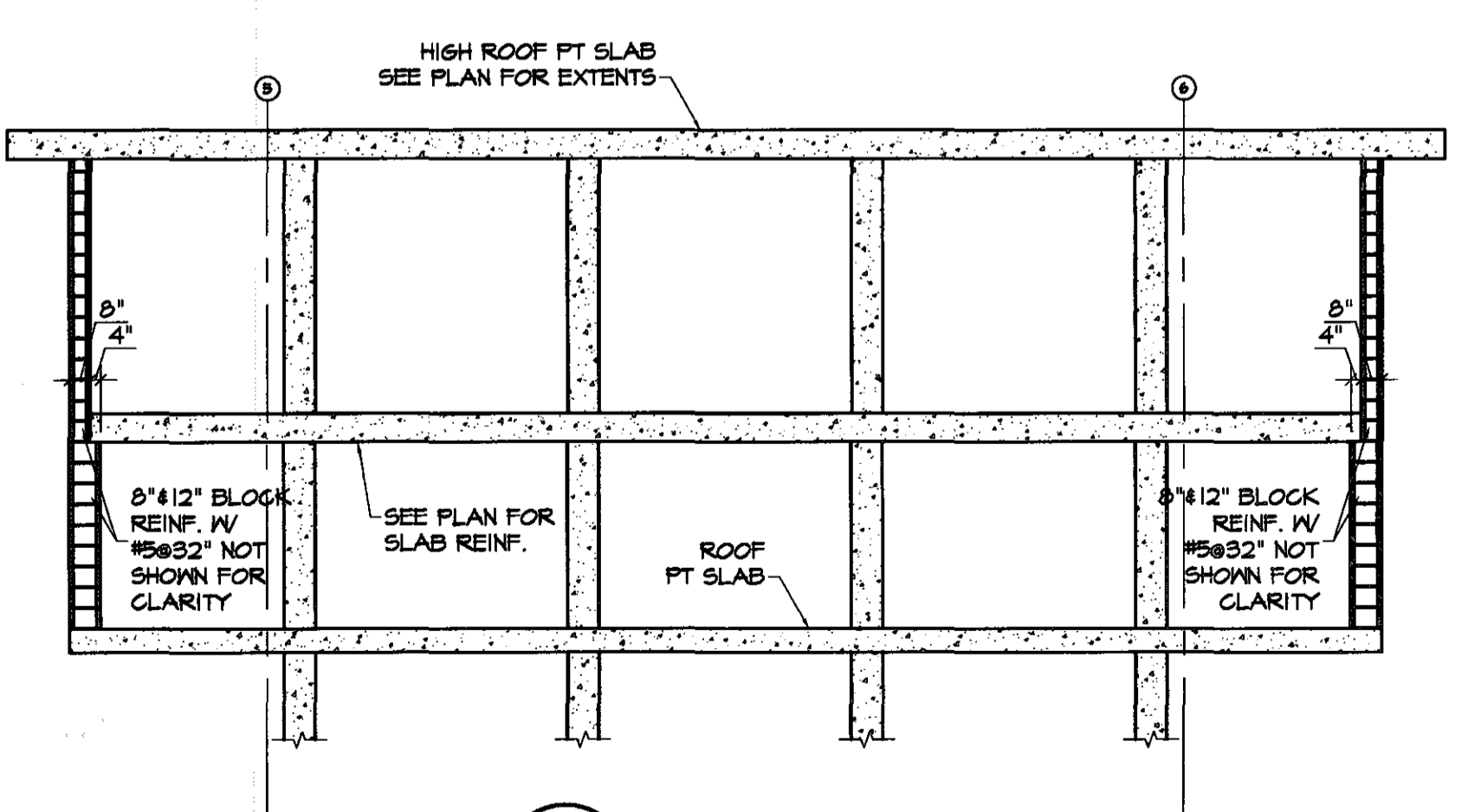
SLAB:	4"	113 PSF
SUPERIMPOSED DEAD LOADS:		
PARTITIONS (INTERIORS)	20 PSF	
METAL ROOF SYSTEM	25 PSF	
MISC	5 PSF	
ROOF SLOPE TOPPING	25 PSF	
LIVE LOADS (MAY BE REDUCED):		
RESIDENTIAL SPACES	40 PSF	
BALCONIES	60 PSF	
EXIT BALCONIES (NORTH)	80 PSF	
ROOF	20 PSF	
CORRIDORS	100 PSF	



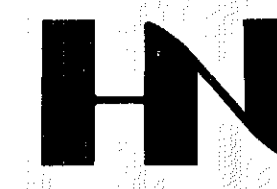
A SECTION
S2.9 3/16" = 1'-0"



B SECTION
S2.9 3/16" = 1'-0"



C SECTION
S2.9 3/16" = 1'-0"



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

30 N. PALAFOX
PENSACOLA,
FLORIDA 32502

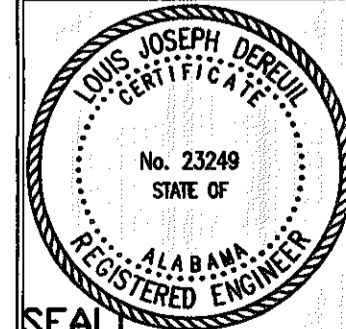
(850) 432-6011
FAX 435-9001
henry@hnorris.com

JOE DEREJUL ASSOCIATES, LLC
STRUCTURAL ENGINEERS
9 WEST BOUNTY STREET - PRINCETON, INDIANA - (800) 409-1951
ALABAMA REG. NO. 23249 / ALABAMA C.E. NO. 2484-E
JDA JOB #3025

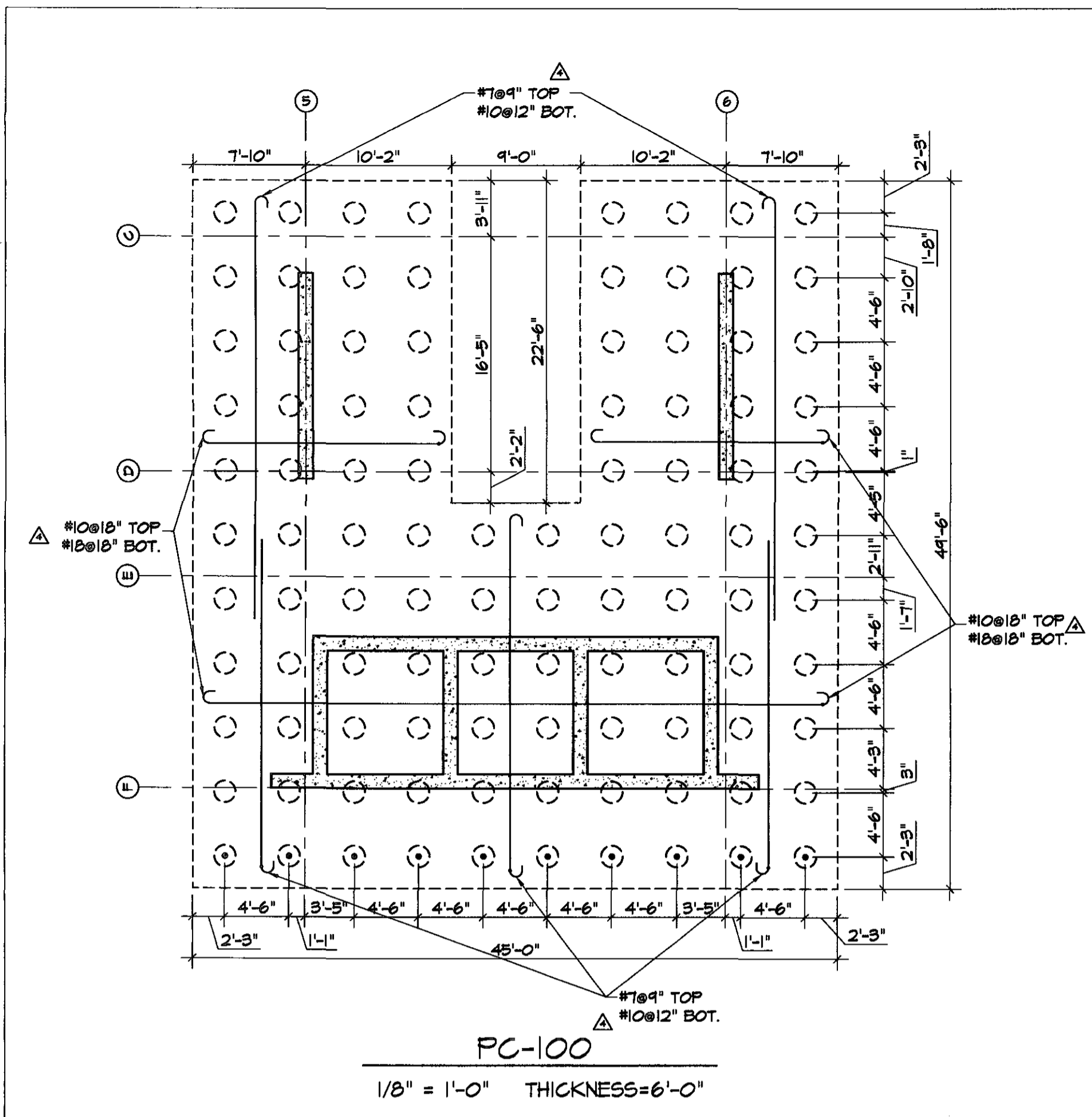
San Carlos Condominium

Gulf Shores, Alabama

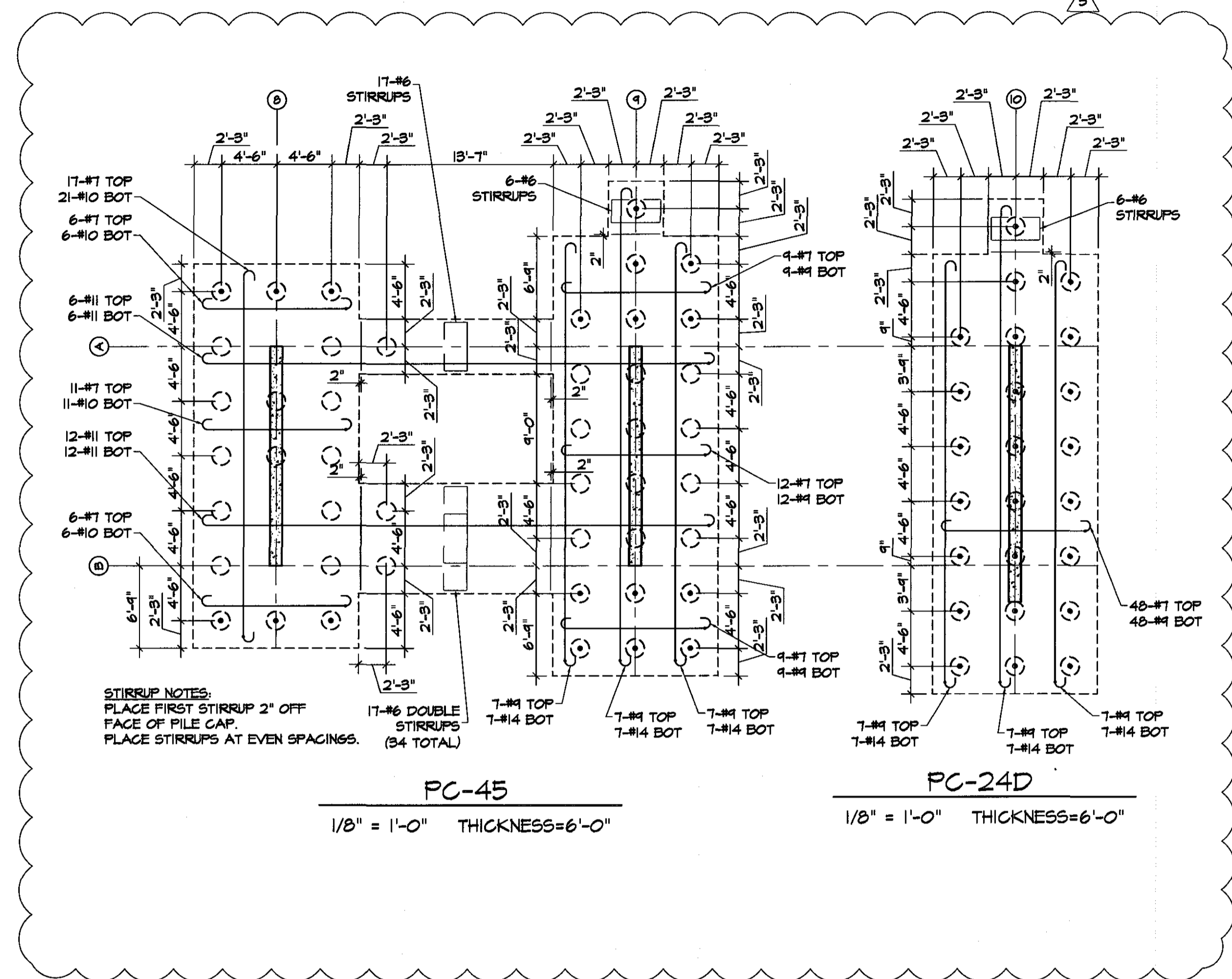
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CHECKED: DVL/JD
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REVISIONS:
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▲ DEC 09, 2004
▲ JAN 12, 2008



SHEET
S3.1
ALT.
OF --

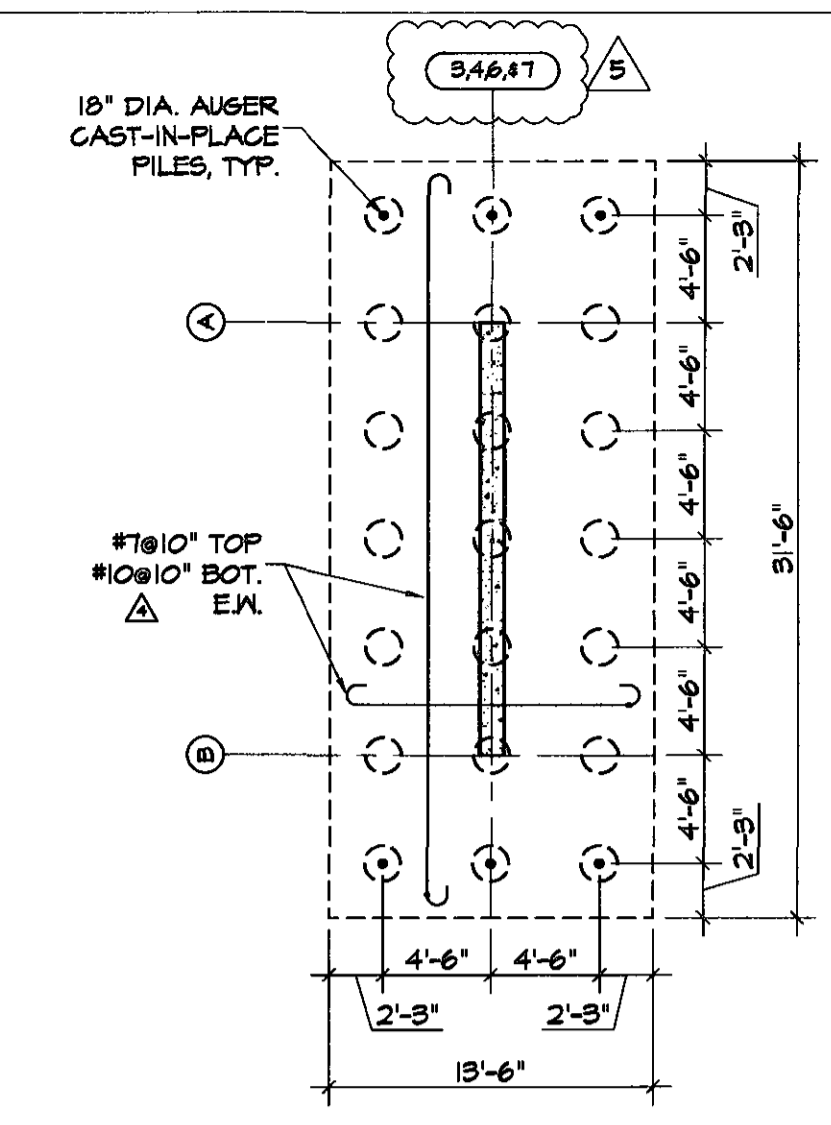


PC-100
1/8" = 1'-0" THICKNESS=6'-0"

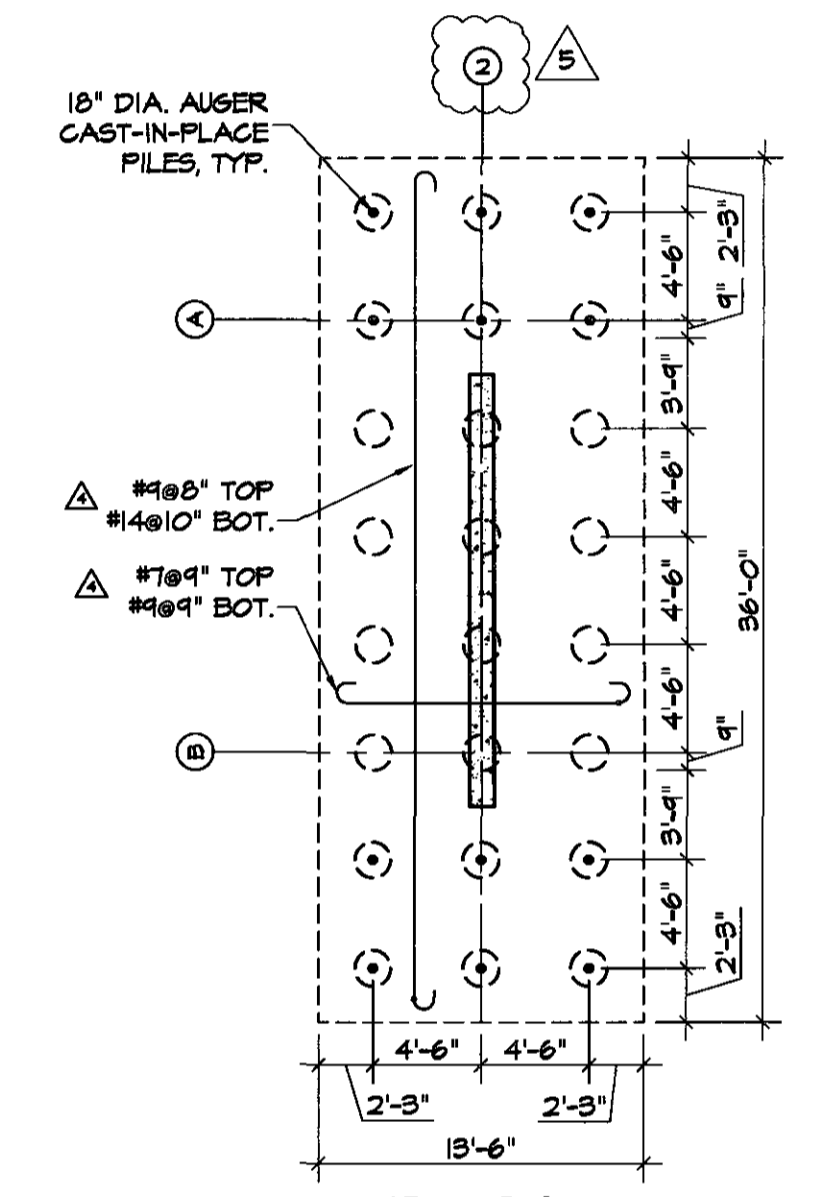


PC-45
1/8" = 1'-0" THICKNESS=6'-0"

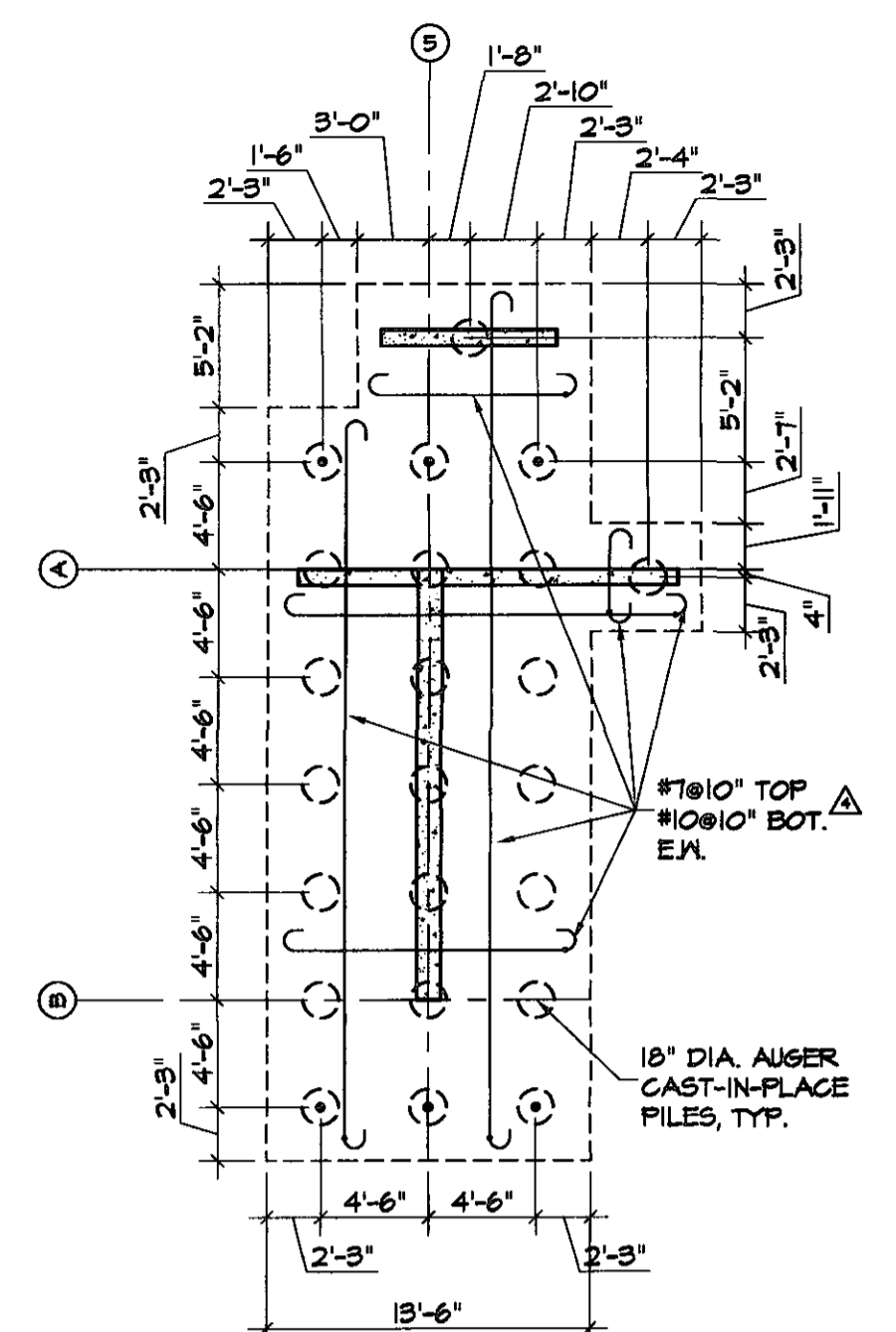
PC-24D
1/8" = 1'-0" THICKNESS=6'-0"



PC-21
1/8" = 1'-0" THICKNESS=6'-0"



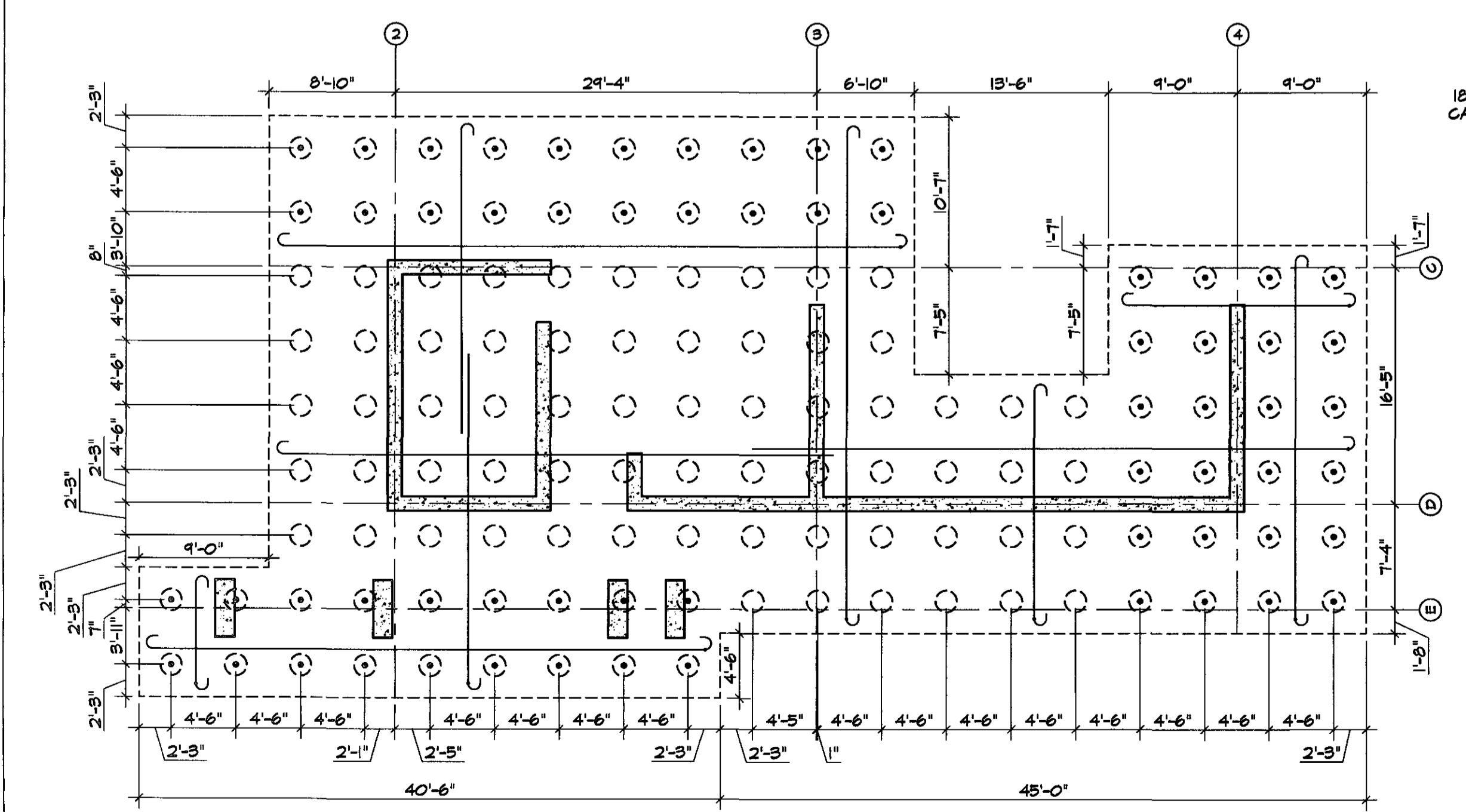
PC-24C
1/8" = 1'-0" THICKNESS=6'-0"



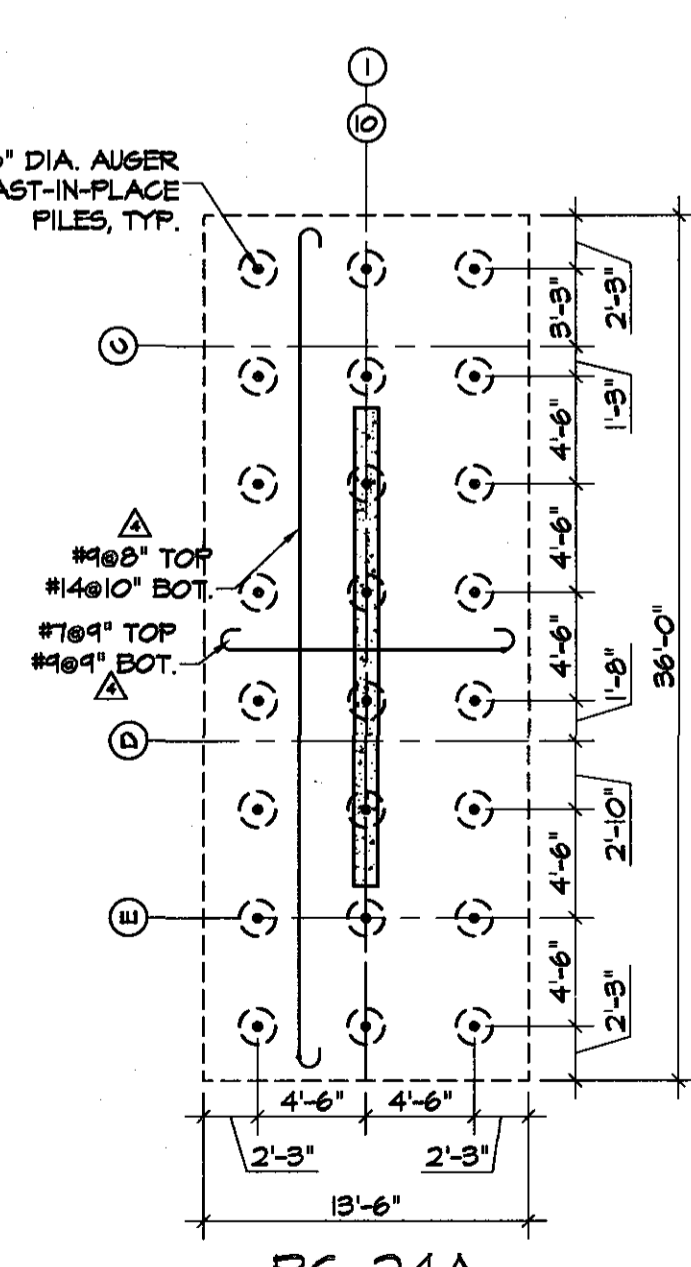
PC-23
1/8" = 1'-0" THICKNESS=6'-0"

FILE CAP NOTES

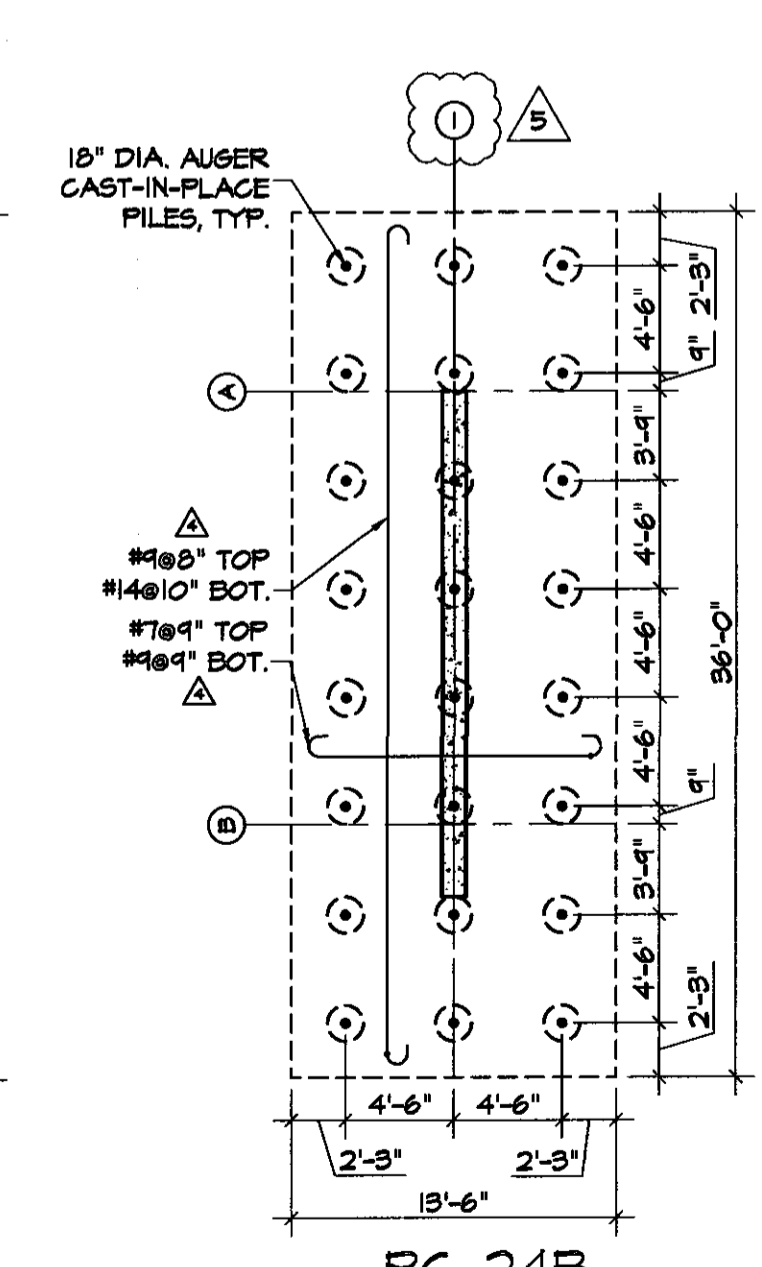
TENSION PILES ARE DENOTED:	⊙
NON-TENSION PILES ARE DENOTED:	○



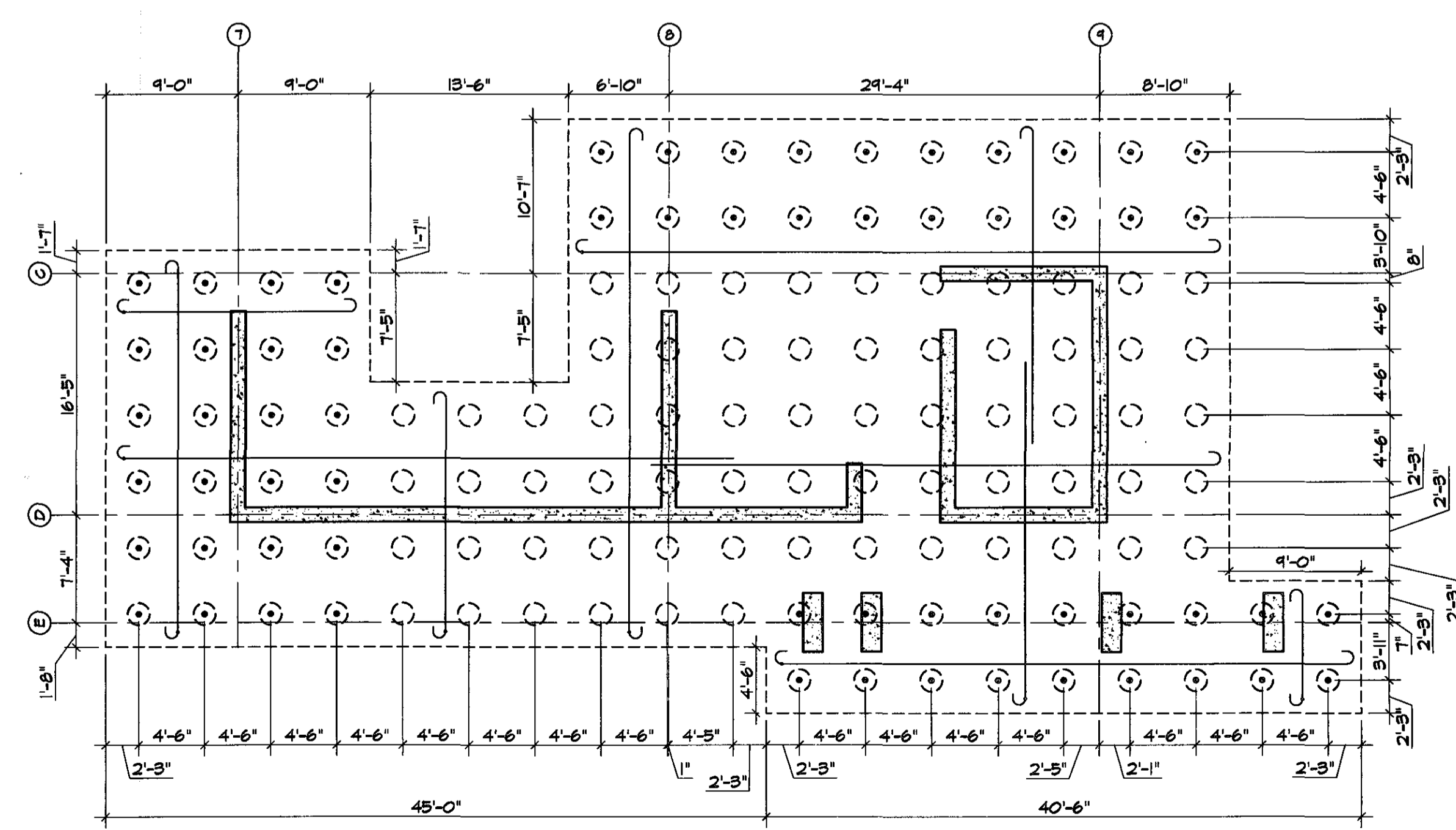
PC-127A
1/8" = 1'-0" THICKNESS=6'-0"



PC-24A
1/8" = 1'-0" THICKNESS=6'-0"

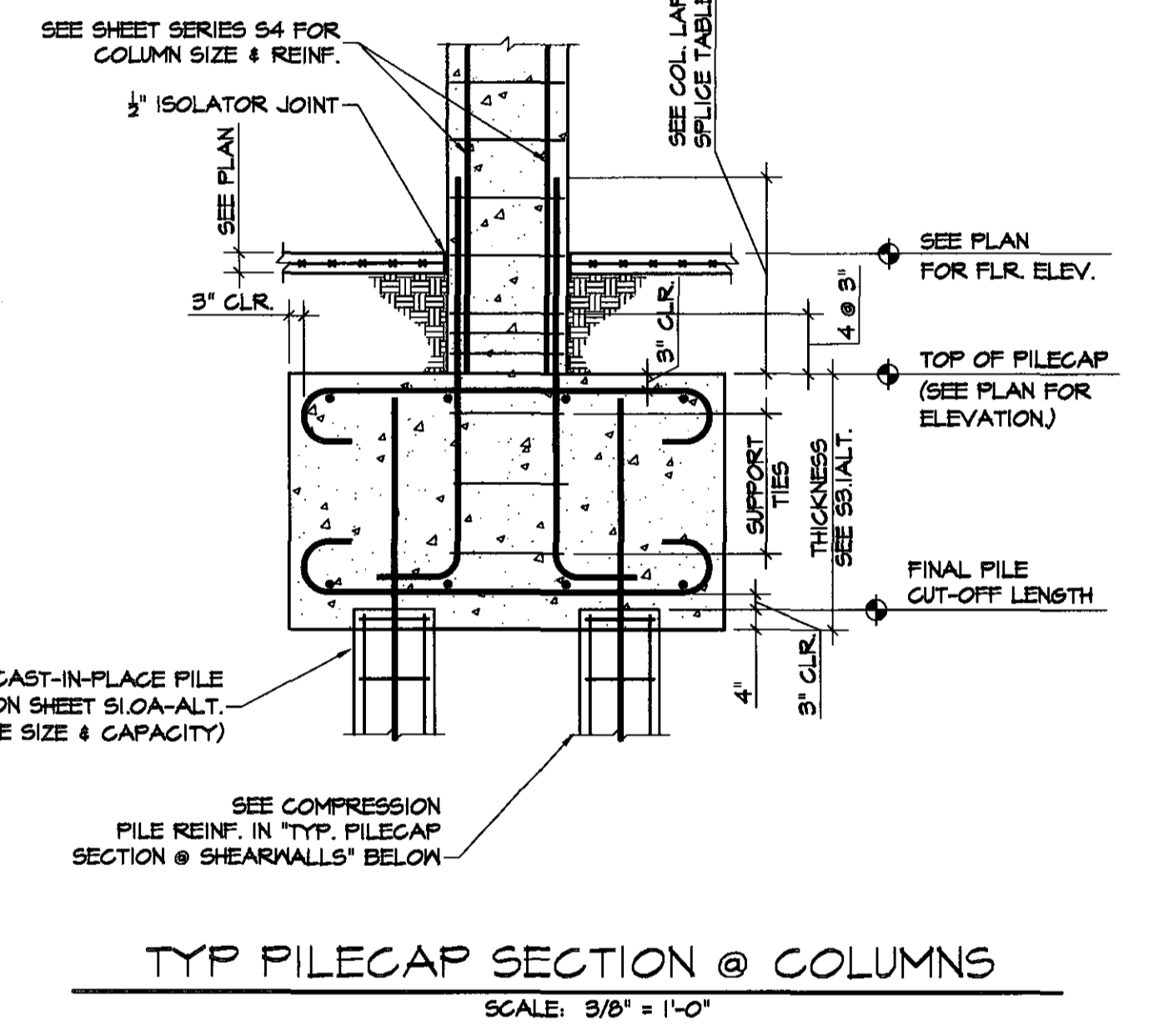
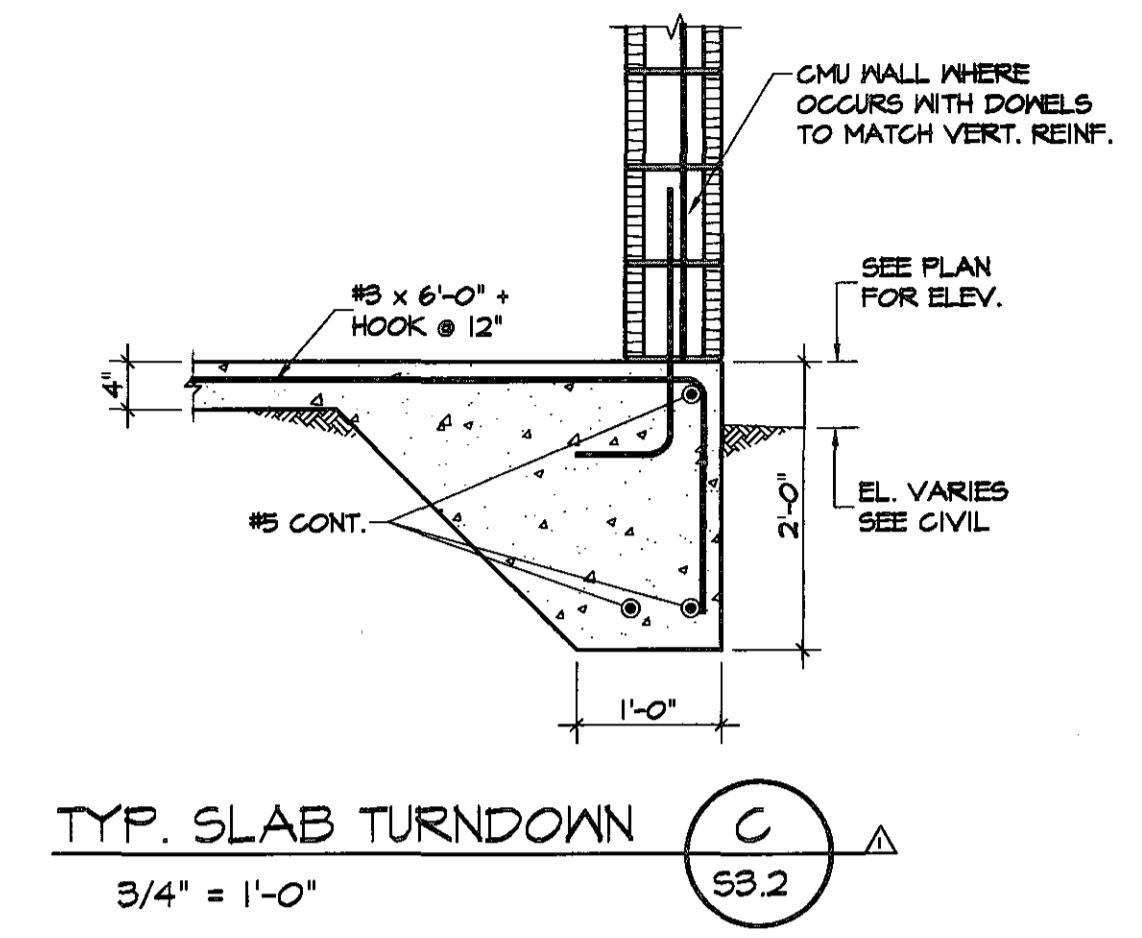
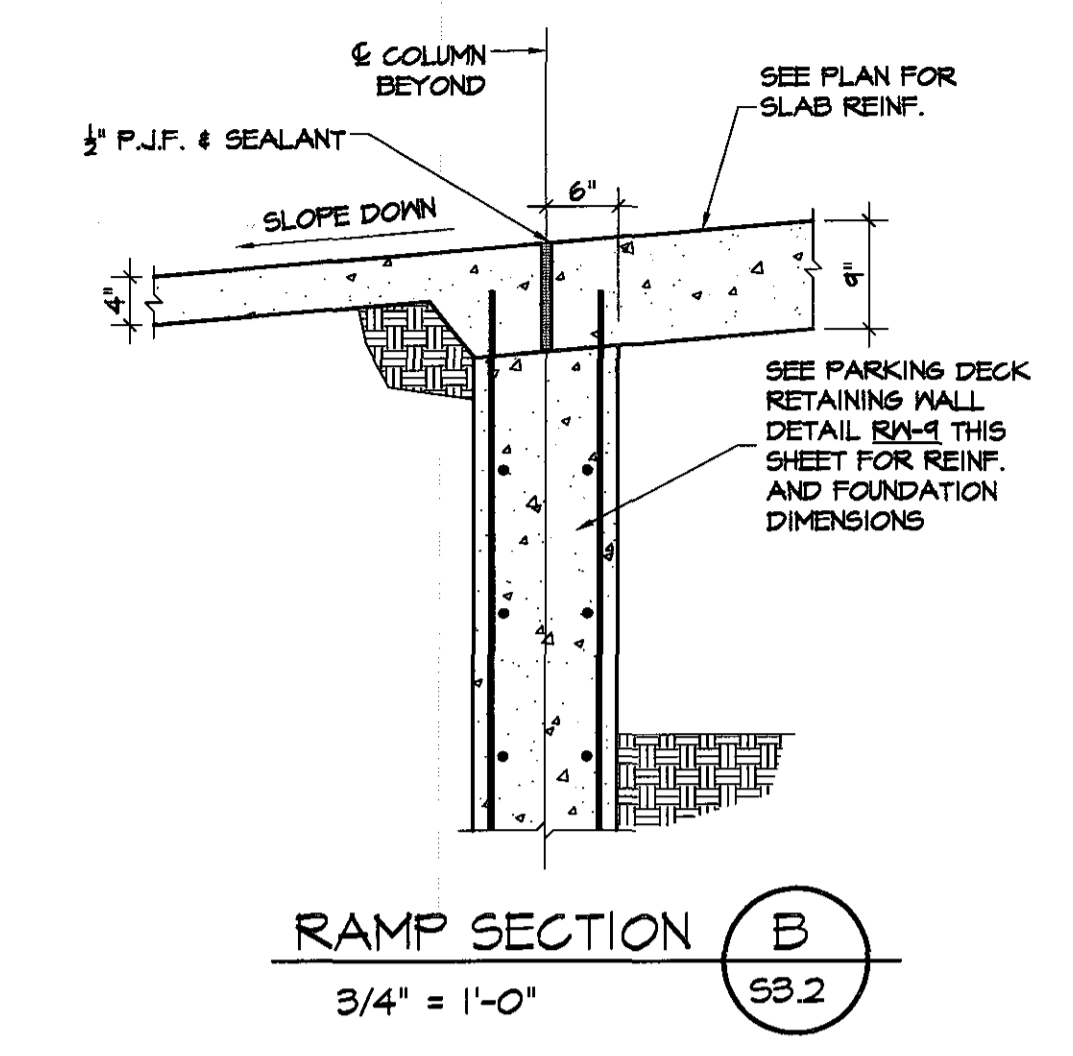
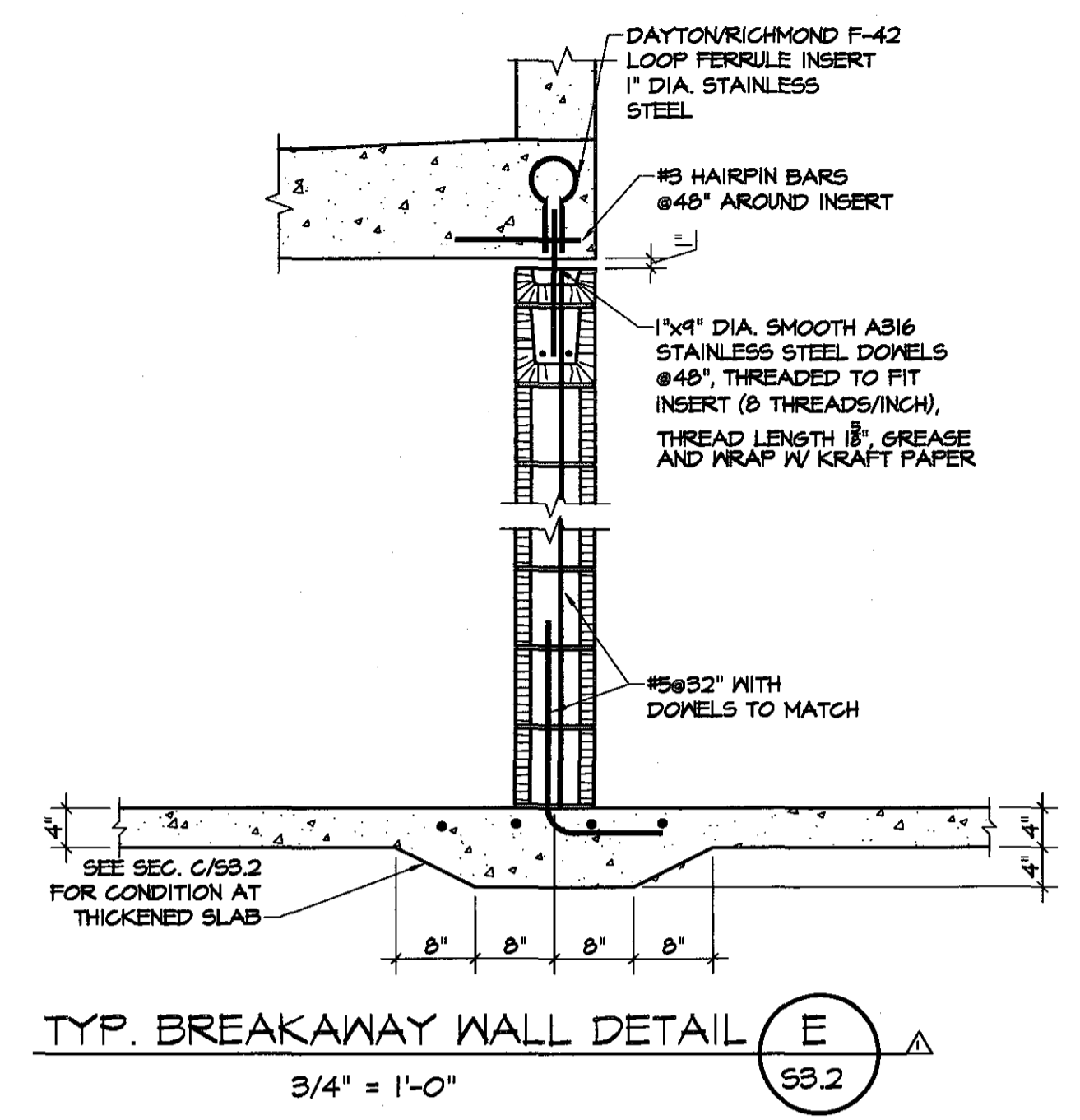
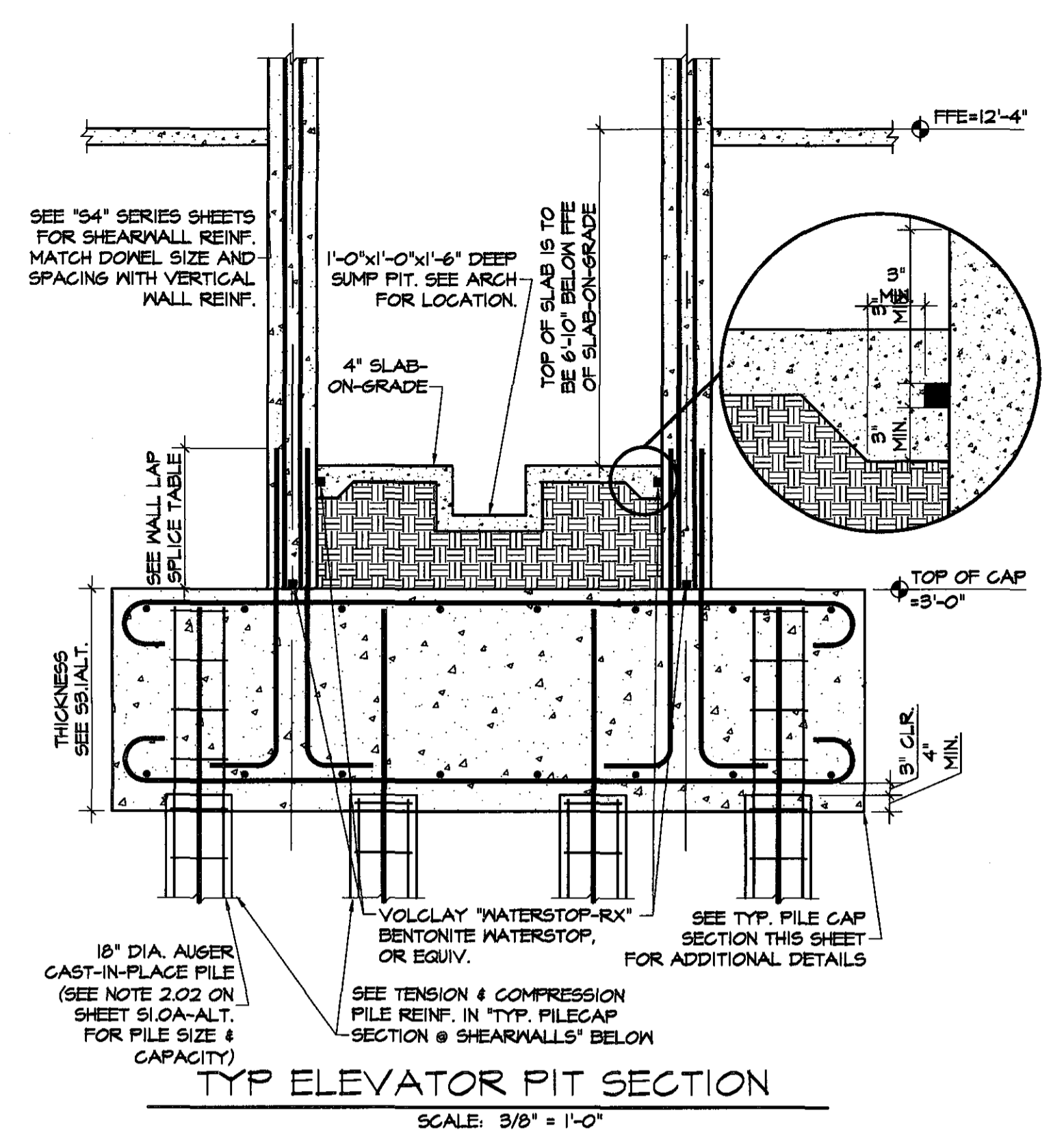


PC-24B
1/8" = 1'-0" THICKNESS=6'-0"



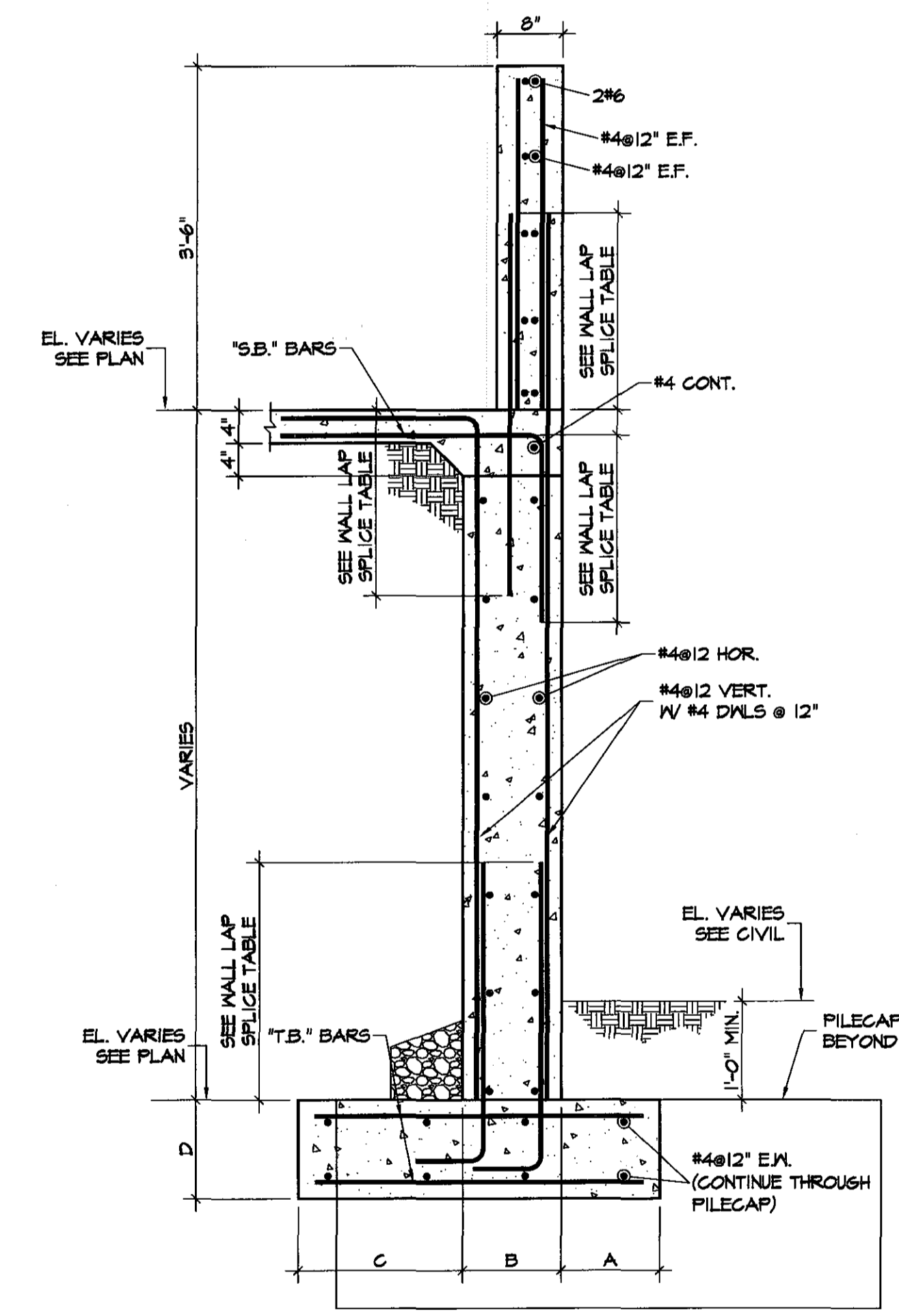
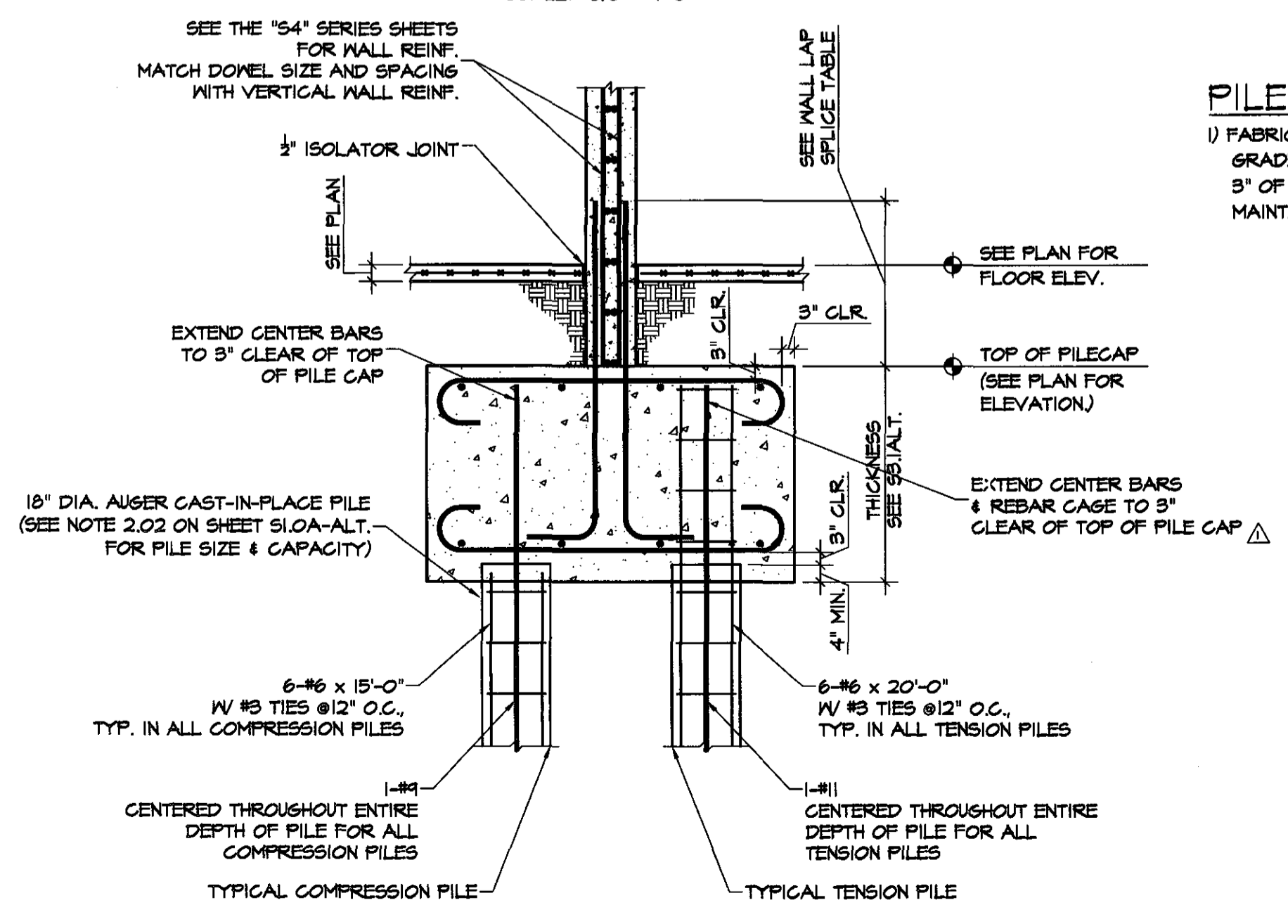
PC-127B
1/8" = 1'-0" THICKNESS=6'-0"

"NEED NOT BE BUILT"



TENSION PILE LEGEND:
TENSION PILES ARE DENOTED ON THE PLANS AND S&ALT. SERIES SHEETS USING THE FOLLOWING SYMBOL:

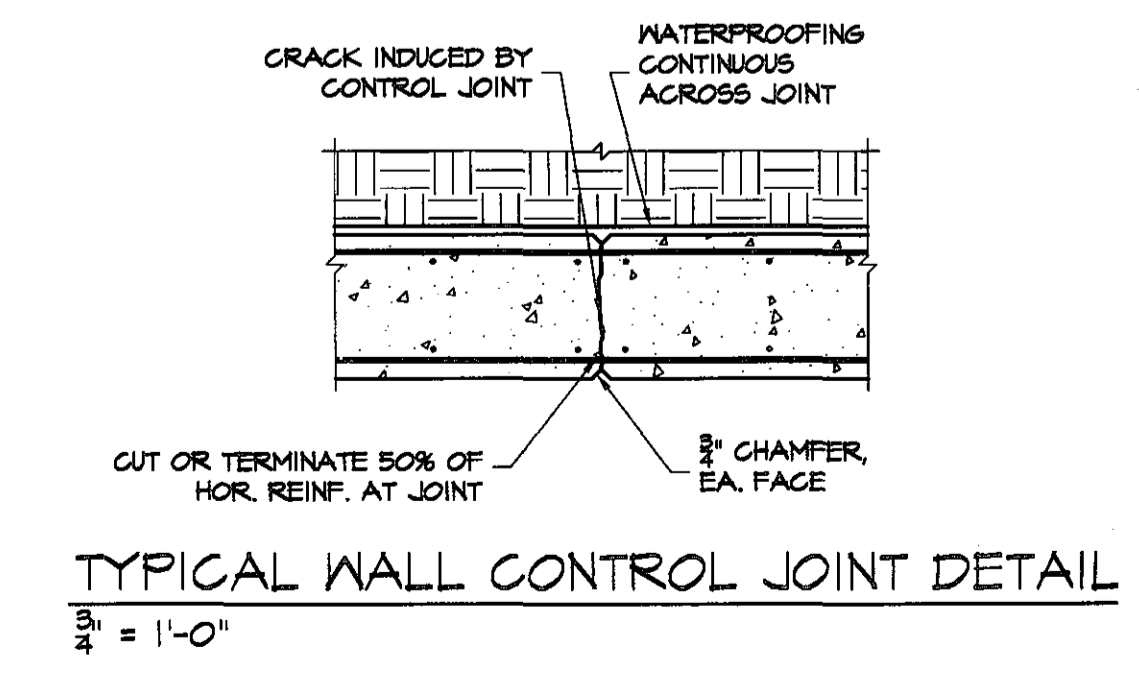
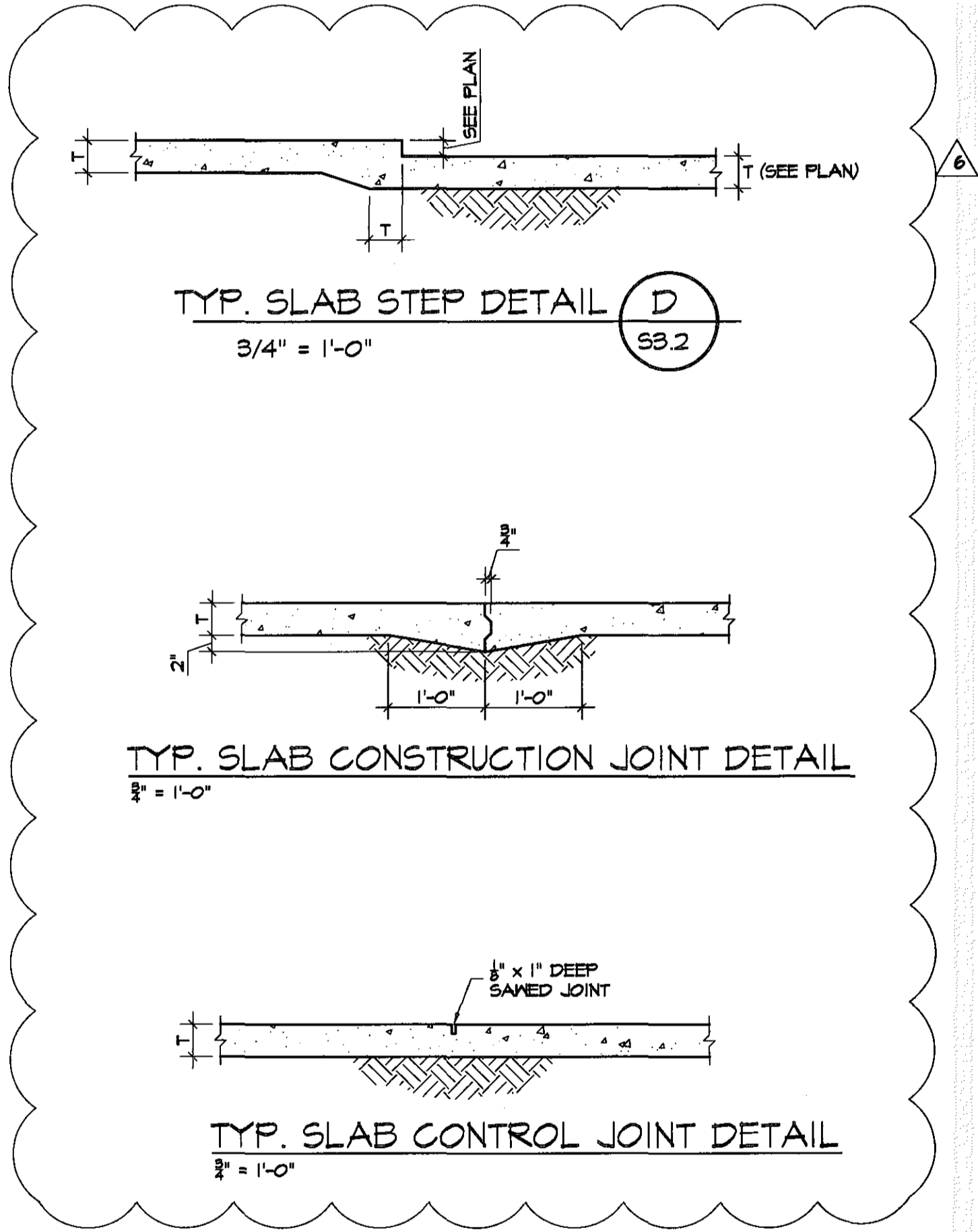
PILECAP NOTES:
1) FABRICATE ALL PILE CAP AND GRADE BEAM REINFORCING SO THAT 3" OF CONCRETE COVER WILL BE MAINTAINED.



PARKING DECK RAMP RETAINING WALL DETAIL A
3/4" = 1'-0"

PARKING DECK RAMP RETAINING WALL SCHEDULE

MARK	A	B	C	D	"T.B."	"S.B."
RW-5	8'	1'-0"	2'-5"	1'-0"	#4@12"	#4@12"
RW-4	1'-0"	1'-0"	4'-0"	1'-0"	#4@12"	#4@12"

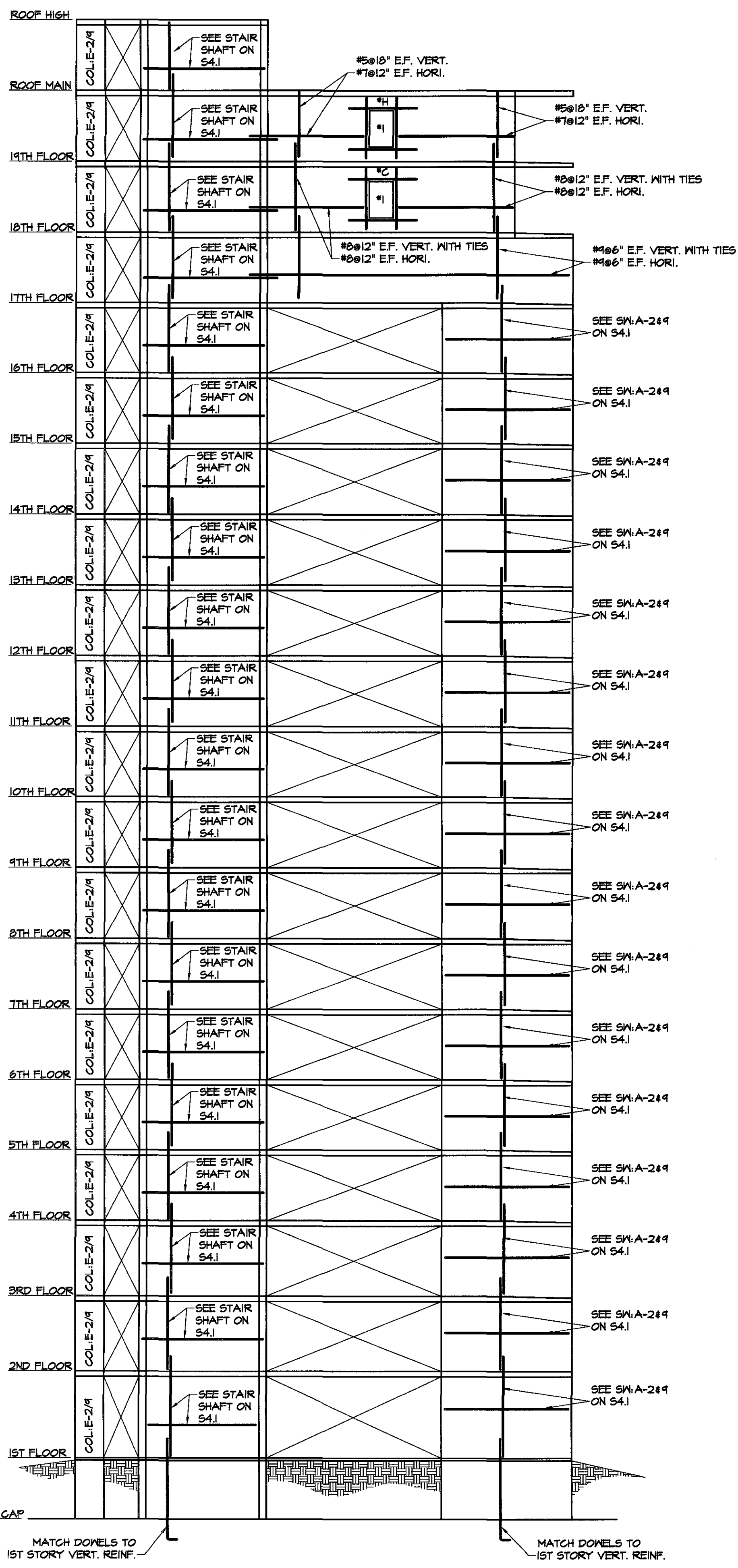


TYPICAL WALL CONTROL JOINT DETAIL
3/4" = 1'-0"

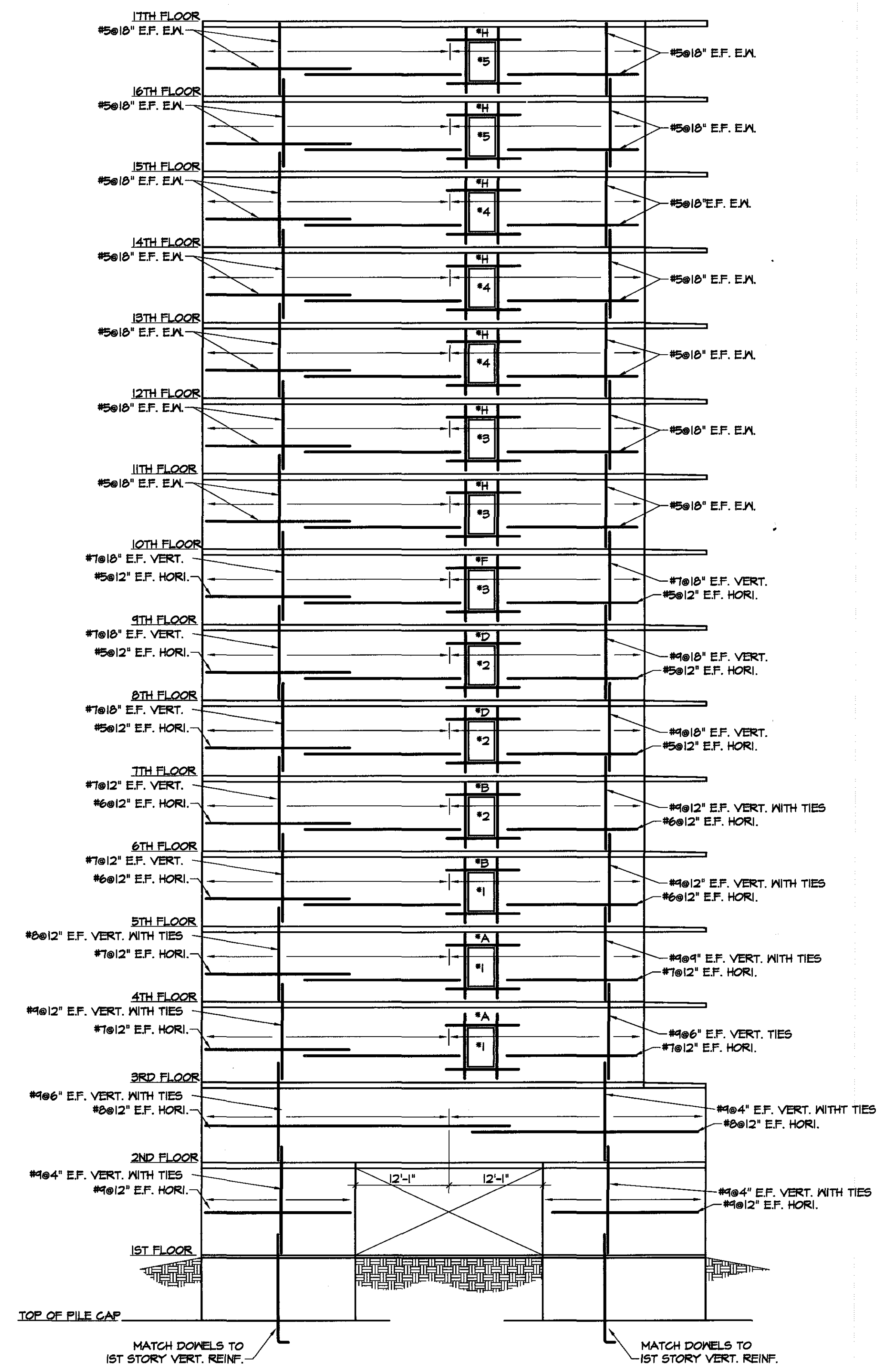
OPENING REINFORCEMENT SCHEDULE FOR SECTIONS A,B,C, S4.2

- *1 = 2#4 AT EACH OPENING FACE
- *2 = 2#8 AT EACH OPENING FACE
- *3 = 2#1 AT EACH OPENING FACE
- *4 = 2#6 AT EACH OPENING FACE
- *5 = 2#5 AT EACH OPENING FACE

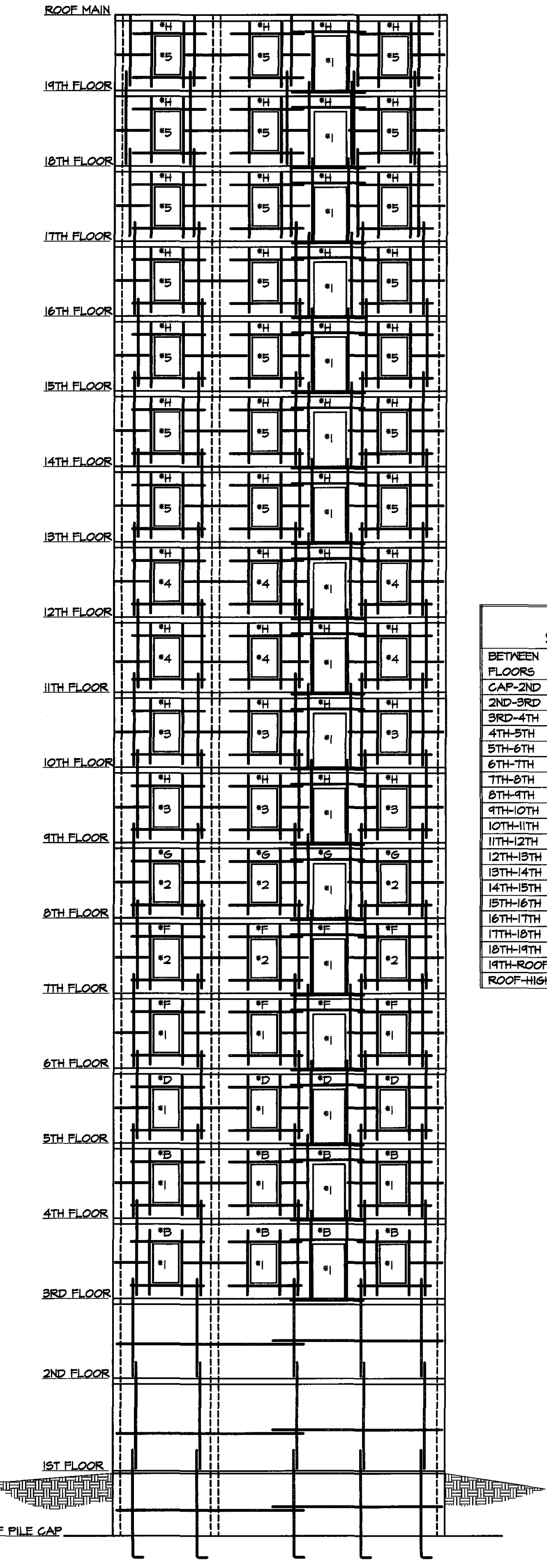
*A = #6 @ 4" STIRRUPS
 *B = #6 @ 5" STIRRUPS
 *C = #5 @ 4" STIRRUPS
 *D = #5 @ 5" STIRRUPS
 *E = #4 @ 4" STIRRUPS
 *F = #4 @ 6" STIRRUPS
 *G = #3 @ 4" STIRRUPS
 *H = #3 @ 6" STIRRUPS



WALLS ON LINES 2 & 9 ELEVATION **A**
3/32" = 1'-0" 5-4.2



WALLS ON LINES 1 & 10 ELEVATION **B**
3/32" = 1'-0" 5-4.2

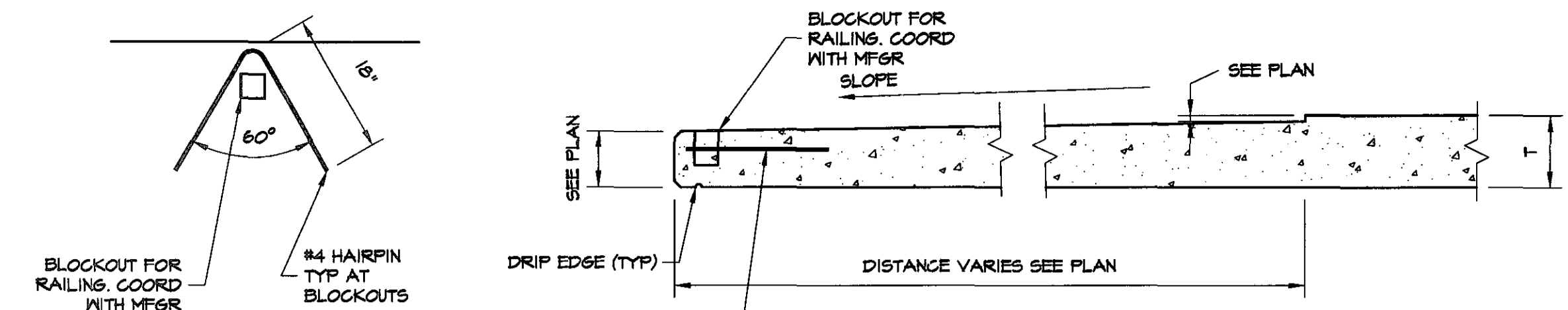


NOTE: SECTION C/S4.2 SHOWN OPPOSITE HAND FOR SW:D-3&8

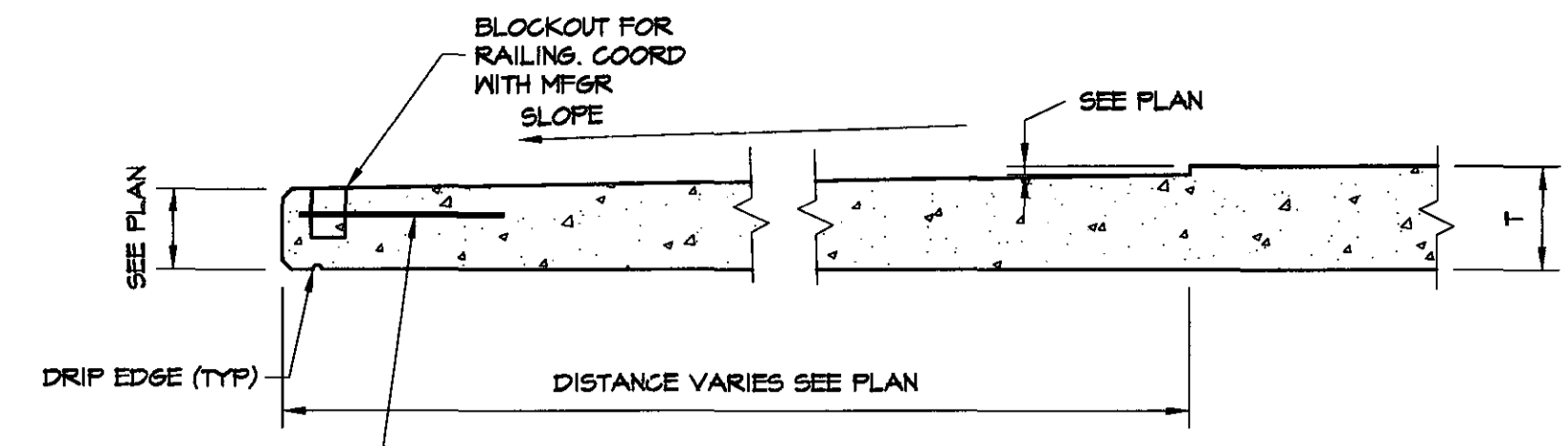
SW:D-3&8 **C**
3/32" = 1'-0" 5-4.2

REINFORCEMENT SCHEDULE FOR SW:D-3&8

BETWEEN FLOORS	CONCRETE f'c	VERT. A BARS	HORI. BARS	TIES
CAP-2ND	10,000 PSI	#4@6" E.F.	#4@18" E.F.	Y
2ND-3RD	8,000 PSI	#4@12" E.F.		
3RD-4TH	8,000 PSI			
4TH-5TH	6,000 PSI		#8@18" E.F.	
5TH-6TH	6,000 PSI	#4@18" E.F.		N
6TH-7TH	5,000 PSI	#8@18" E.F.		
7TH-8TH	5,000 PSI	#7@18" E.F.	#7@18" E.F.	
8TH-9TH	5,000 PSI	#6@18" E.F.		
9TH-10TH	5,000 PSI	#5@18" E.F.		
10TH-11TH	5,000 PSI		#6@18" E.F.	
11TH-12TH	5,000 PSI			
12TH-13TH	5,000 PSI		#5@18" E.F.	
13TH-14TH	5,000 PSI			
14TH-15TH	5,000 PSI			
15TH-16TH	5,000 PSI			
16TH-17TH	5,000 PSI			
17TH-18TH	5,000 PSI			
18TH-19TH	5,000 PSI			
19TH-ROOF	5,000 PSI			
ROOF-HIGH	5,000 PSI			

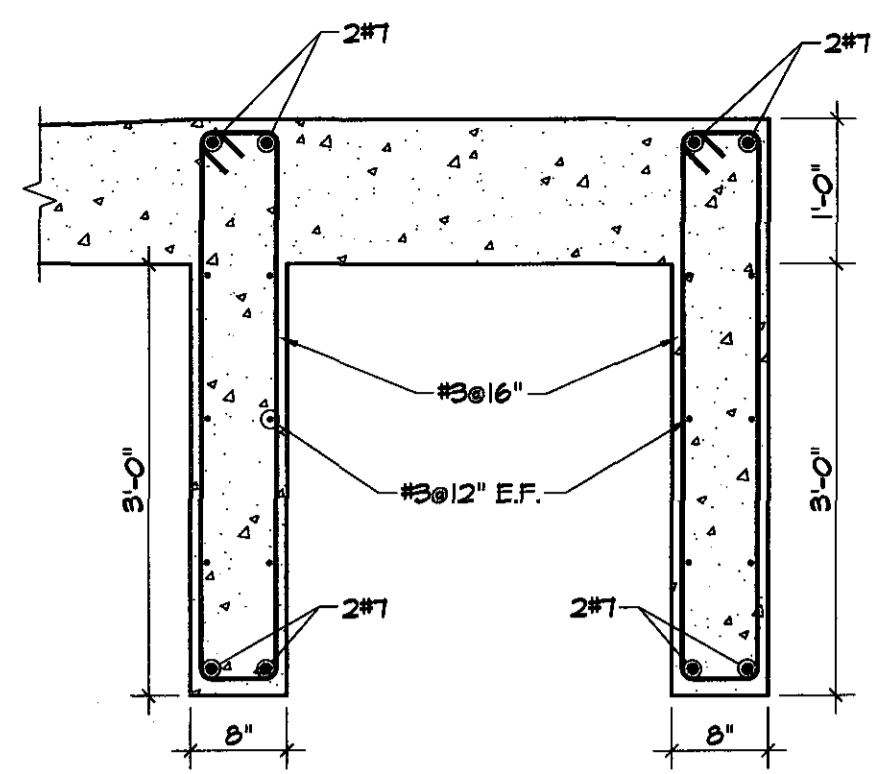


DETAIL A
3/4" = 1'-0" S5.1

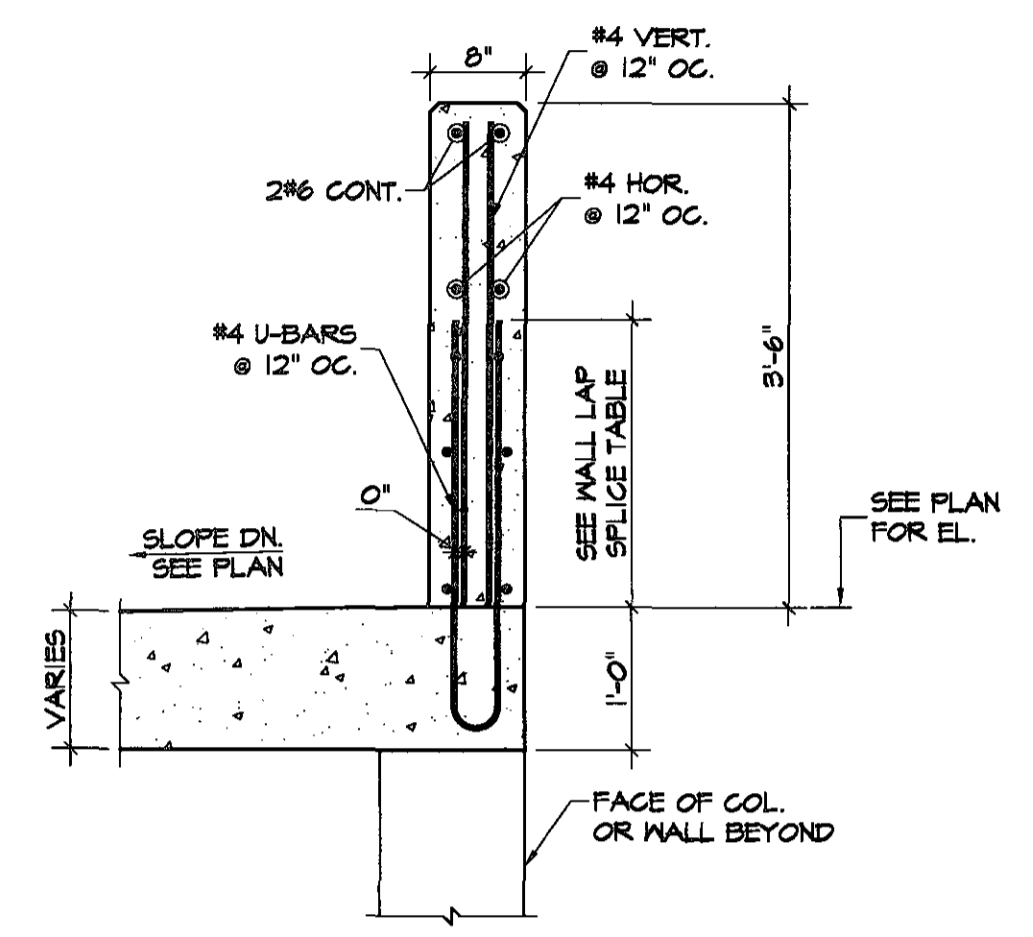


TYPICAL BALCONY SECTION

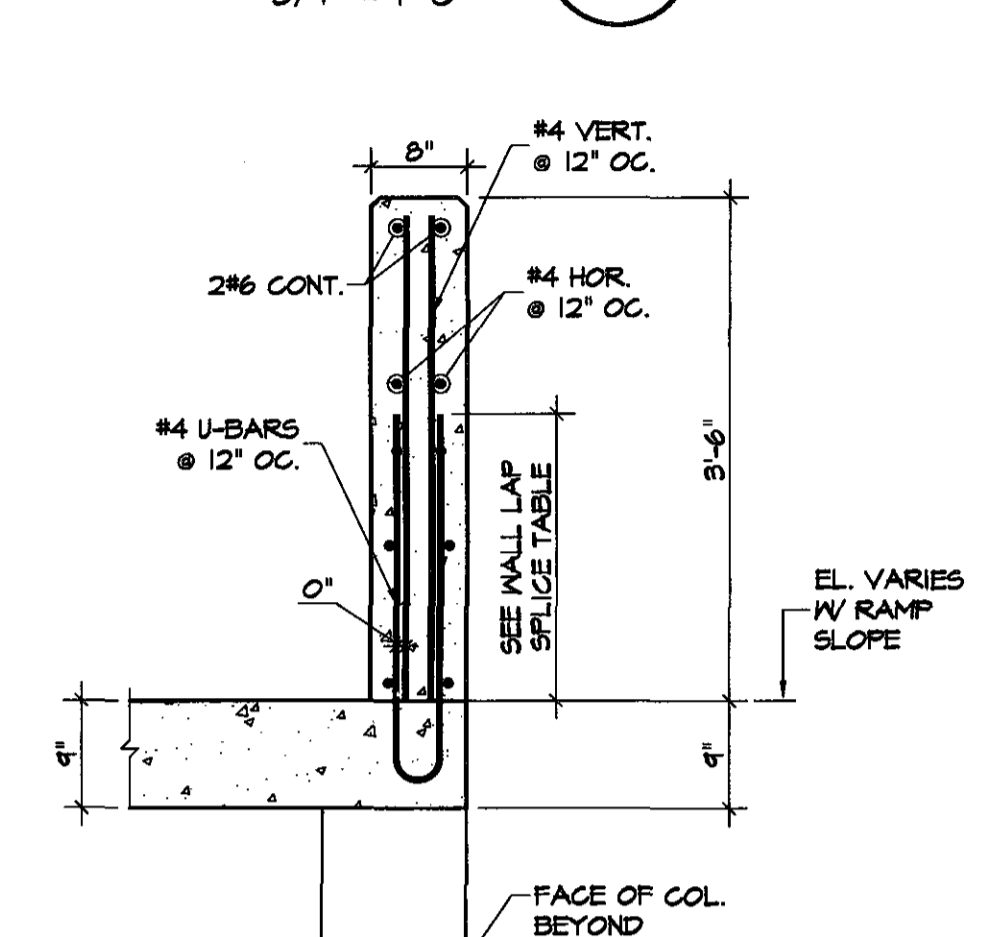
DETAIL B
3/4" = 1'-0" S5.1



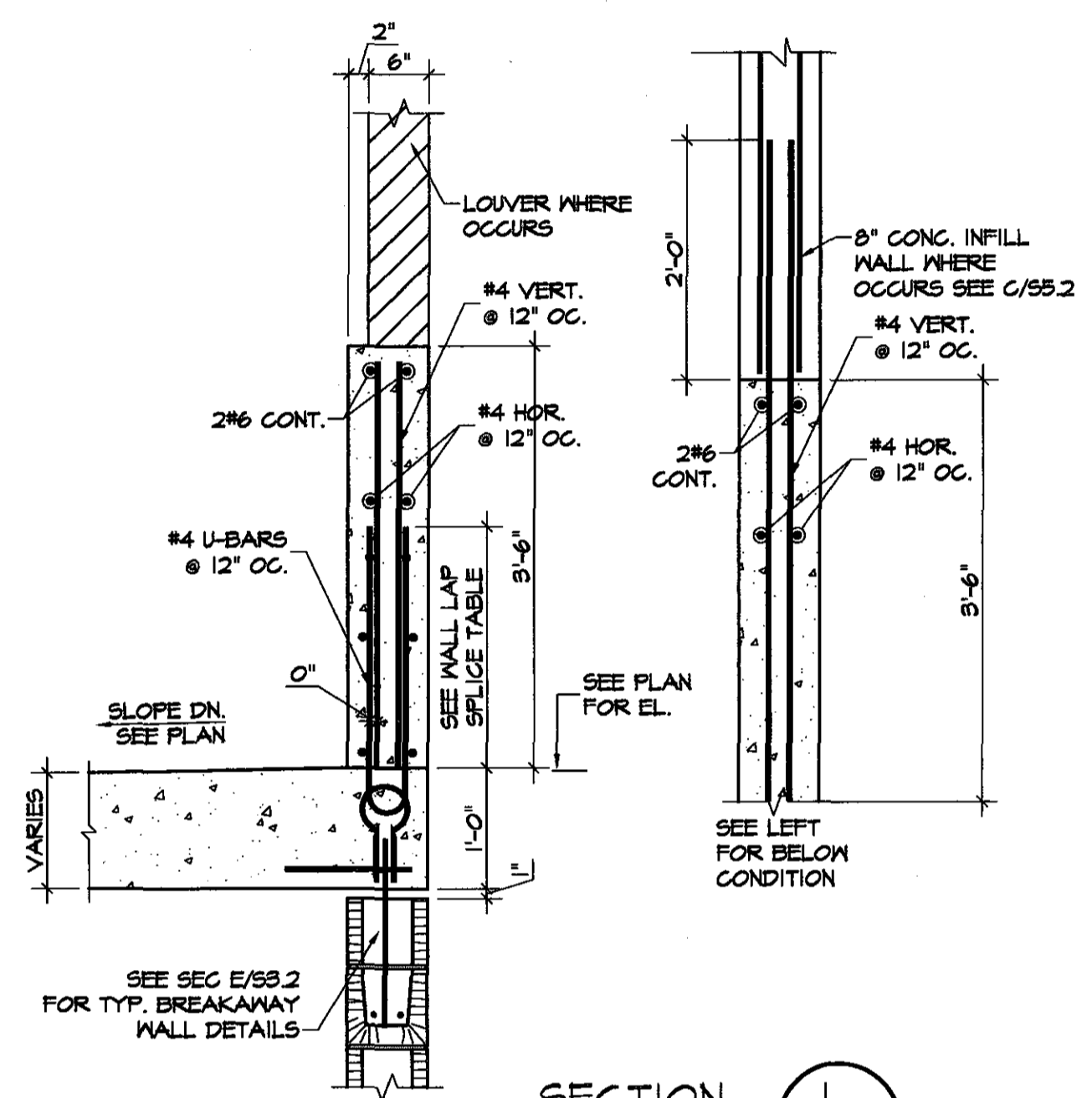
B-5 & B-6 M
3/4" = 1'-0" S5.1



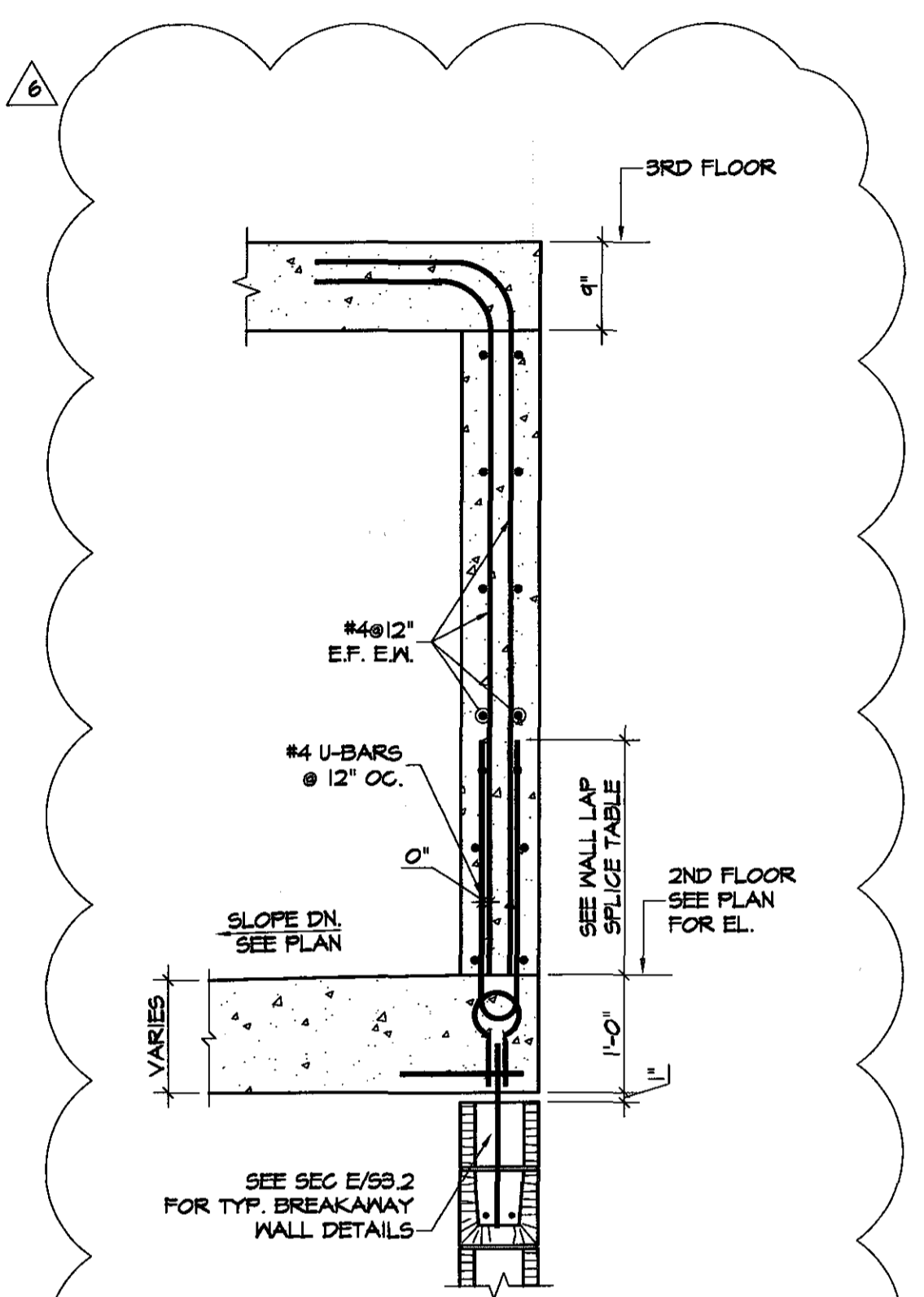
SECTION D
3/4" = 1'-0" S5.1



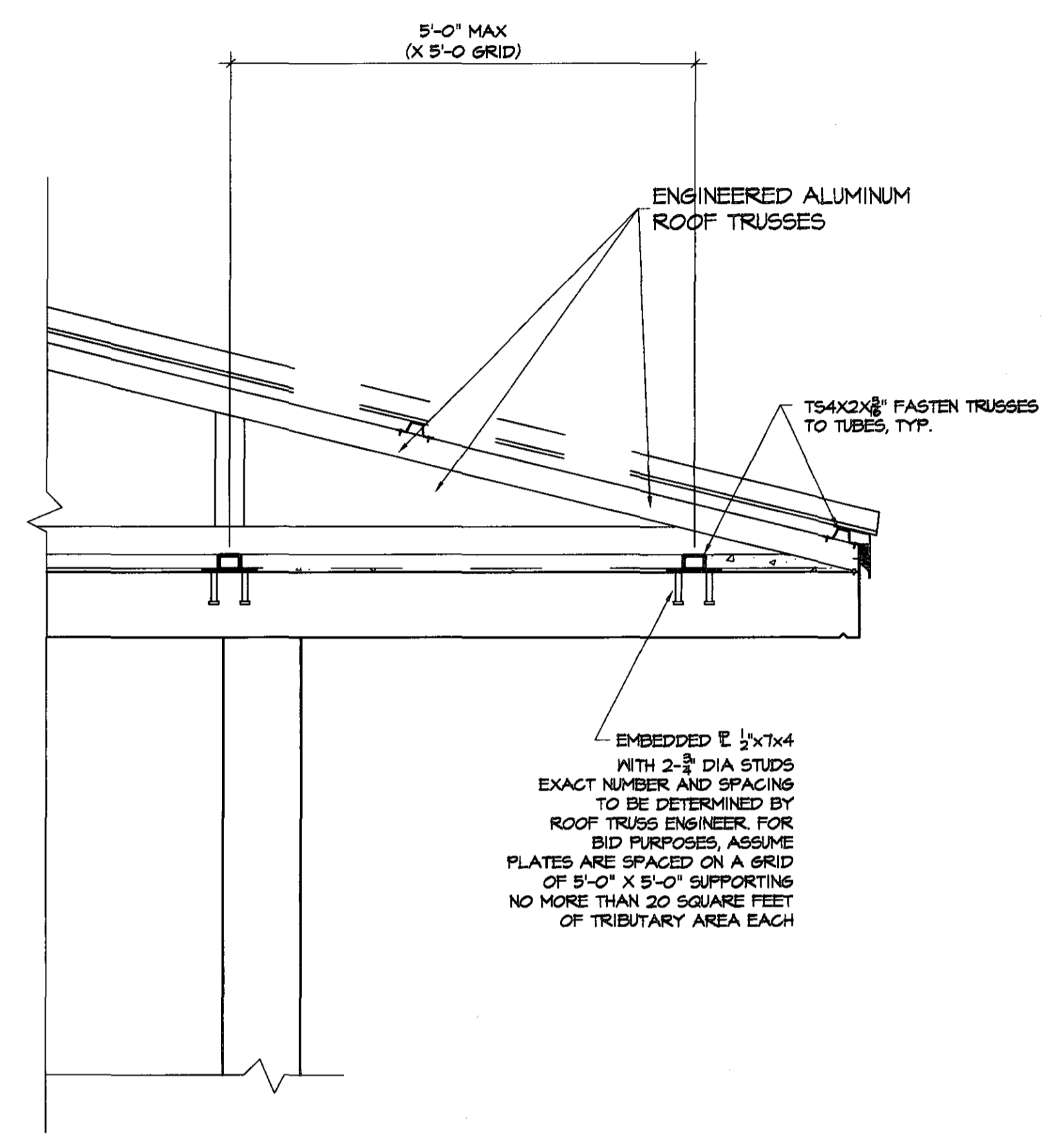
SECTION E
3/4" = 1'-0" S5.1



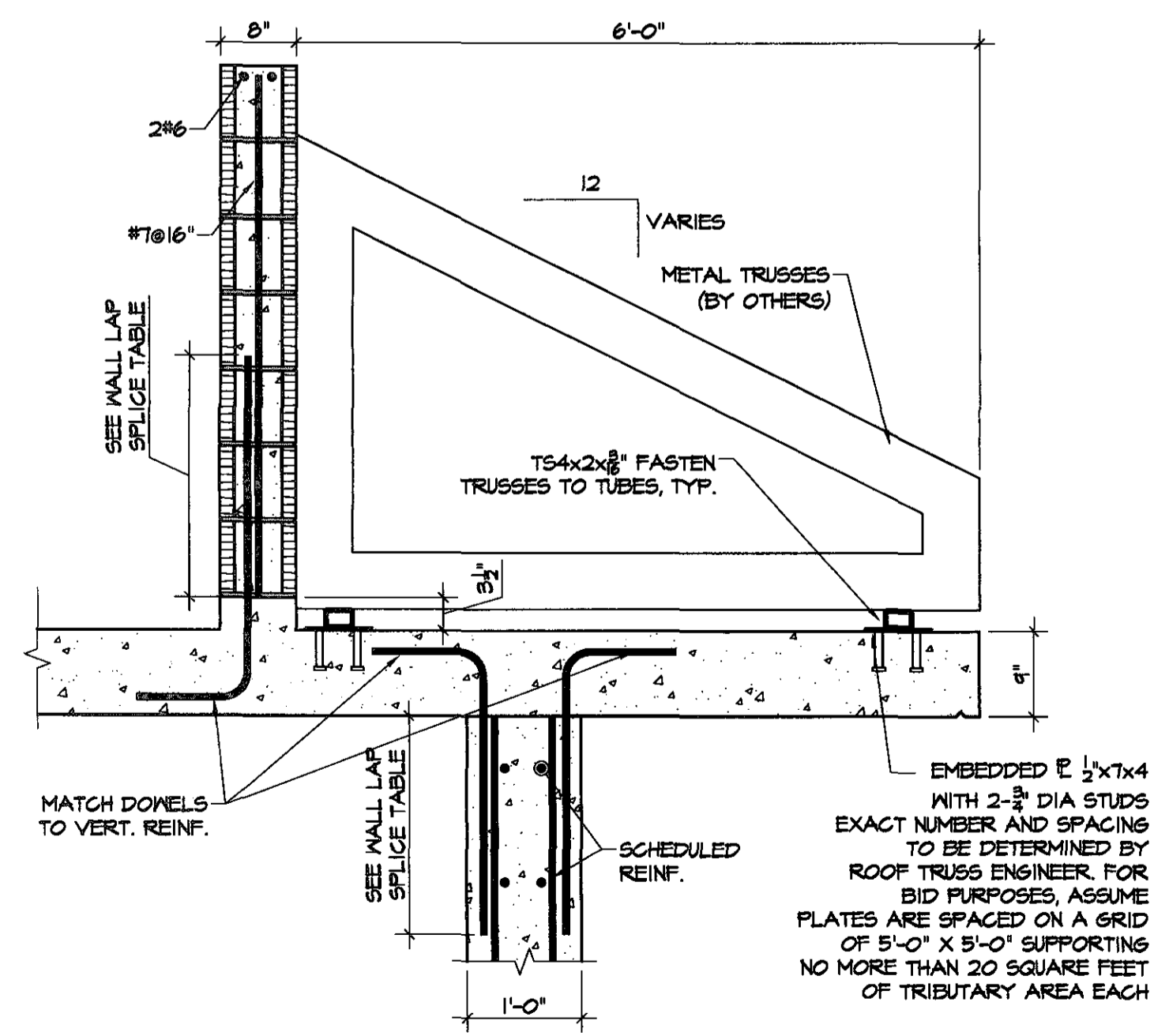
SECTION L
3/4" = 1'-0" S5.1



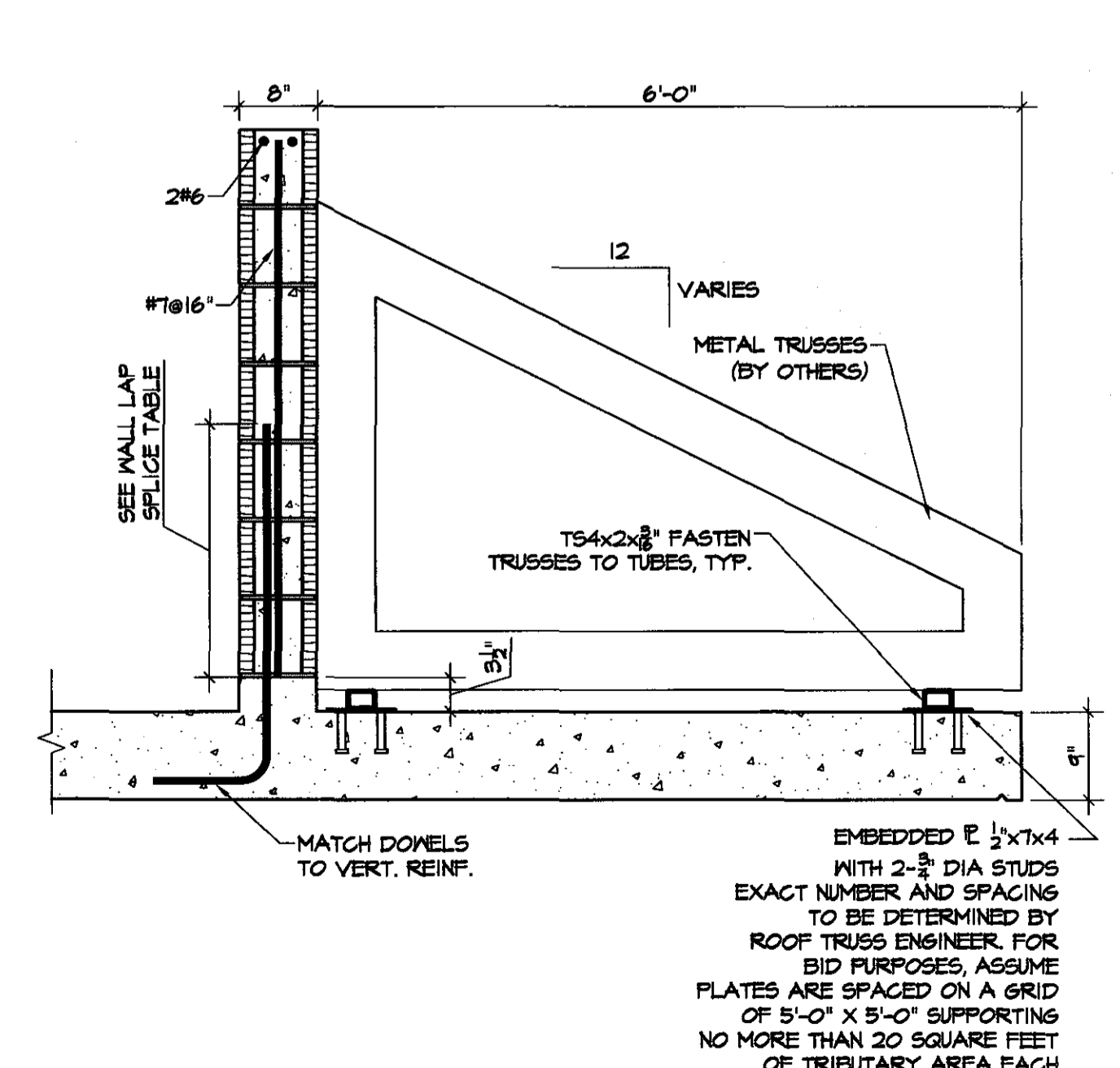
SECTION N
3/4" = 1'-0" S5.1



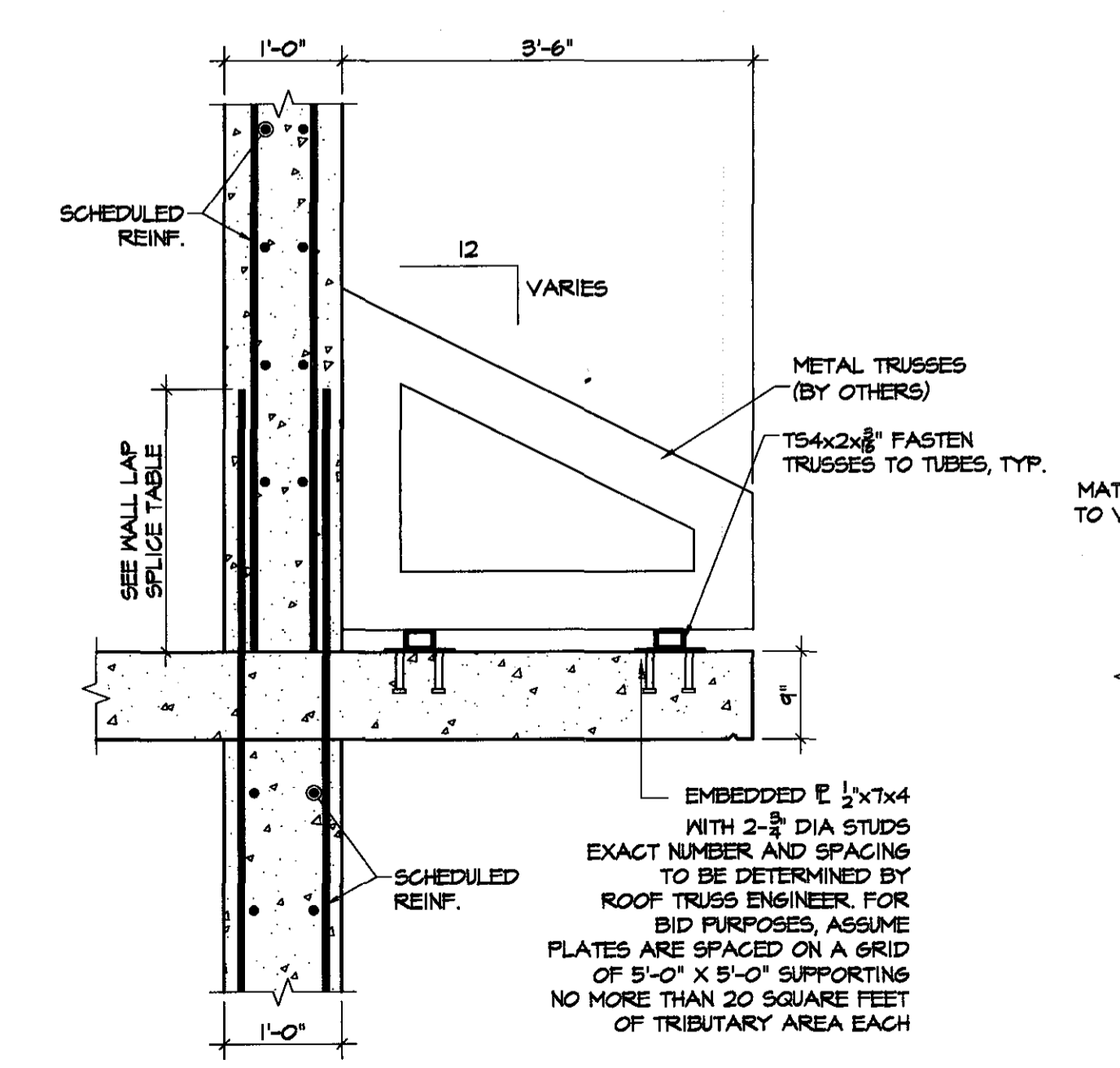
TYPICAL SLOPED ROOF DETAIL C
3/4" = 1'-0" S5.1



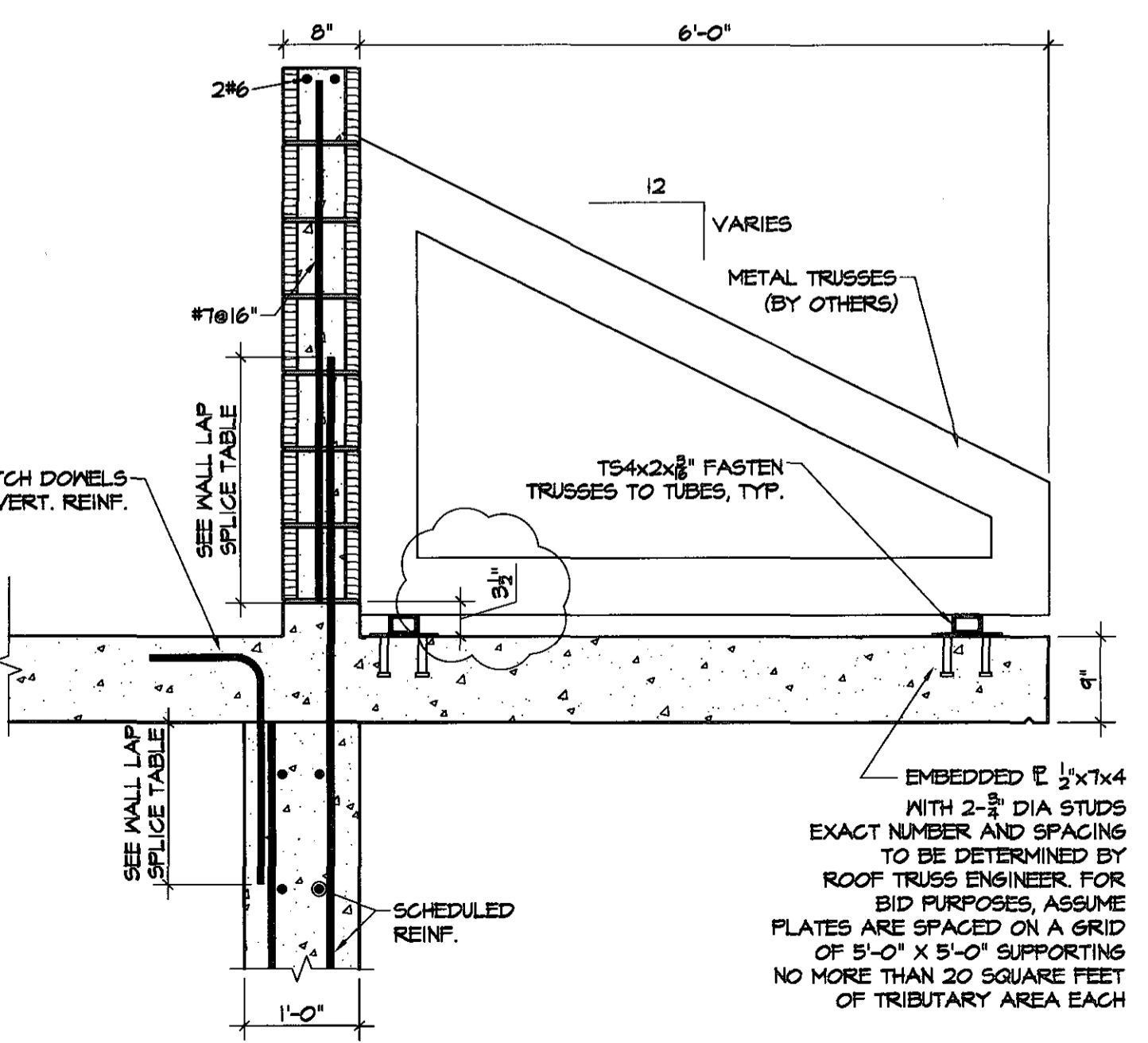
PARAPET DETAIL G
3/4" = 1'-0" S5.1



PARAPET DETAIL H
3/4" = 1'-0" S5.1



PARAPET DETAIL J
3/4" = 1'-0" S5.1



PARAPET DETAIL K
3/4" = 1'-0" S5.1



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

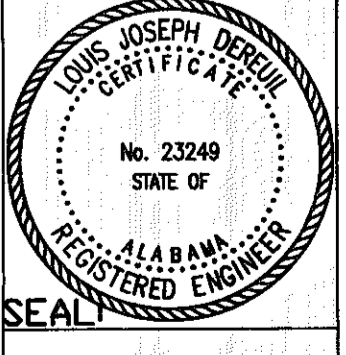
30 N. PALAFOX PENSACOLA, FLORIDA 32502

(850) 432-6011 FAX 435-9001 henry@hnorris.com

JOE DREUIL ASSOCIATES, LLC STRUCTURAL ENGINEERS 9 WEST BLOOMING STREET - PENSACOLA, FLORIDA 32504-0915 ALABAMA REG. NO. 23349 / ALABAMA C.E. NO. 2484-E

San Carlos Condominium Gulf Shores, Alabama

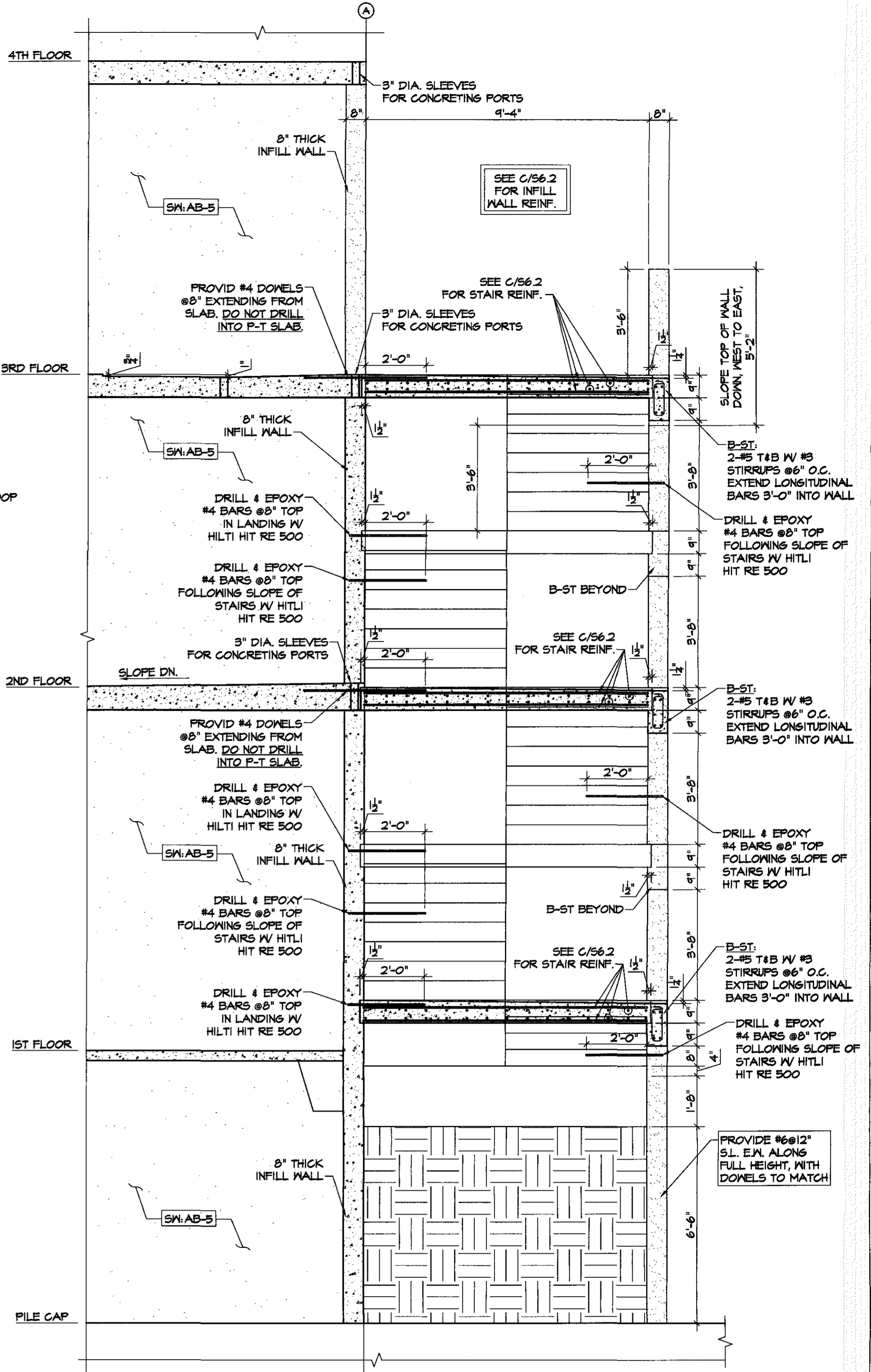
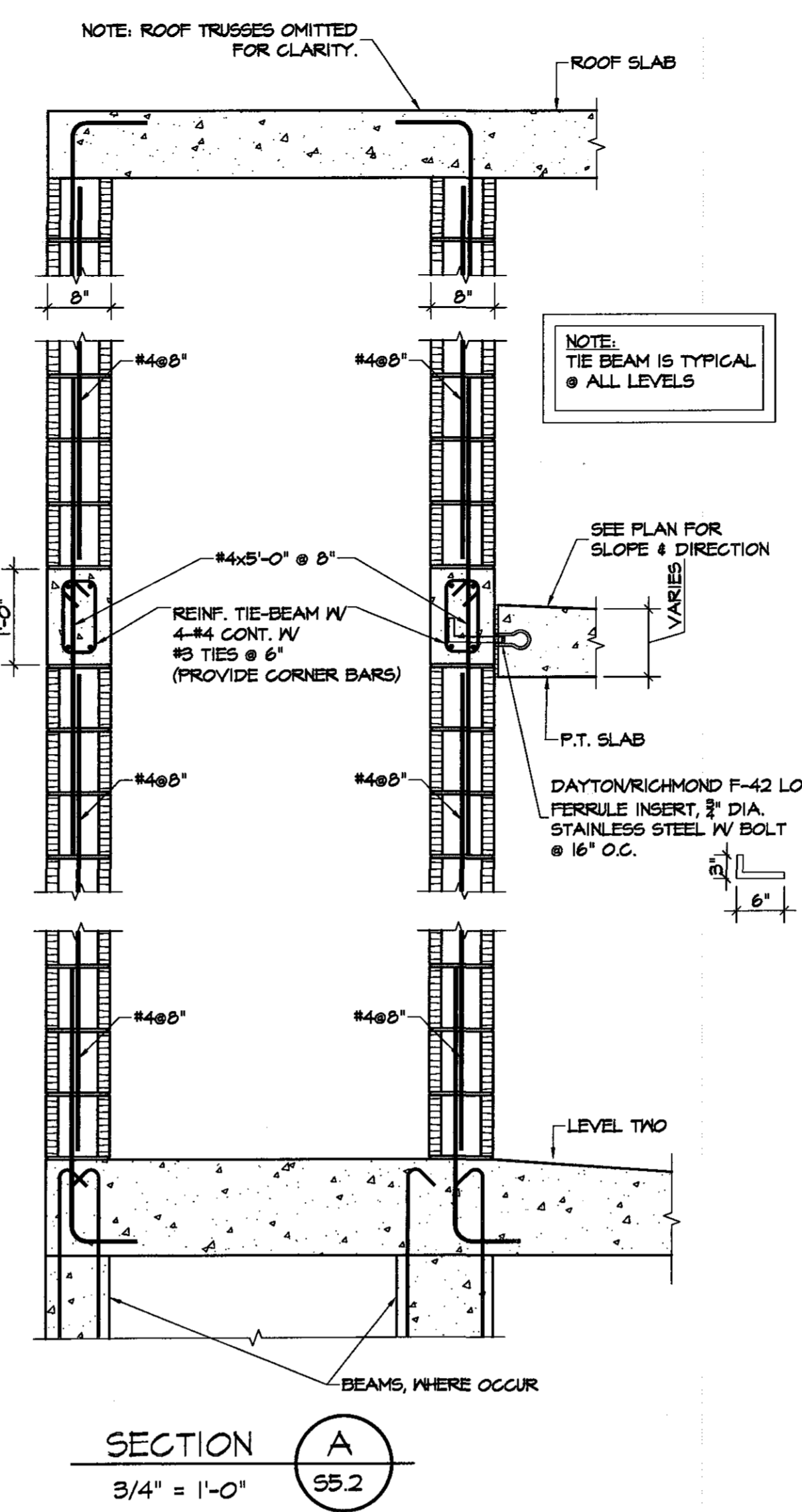
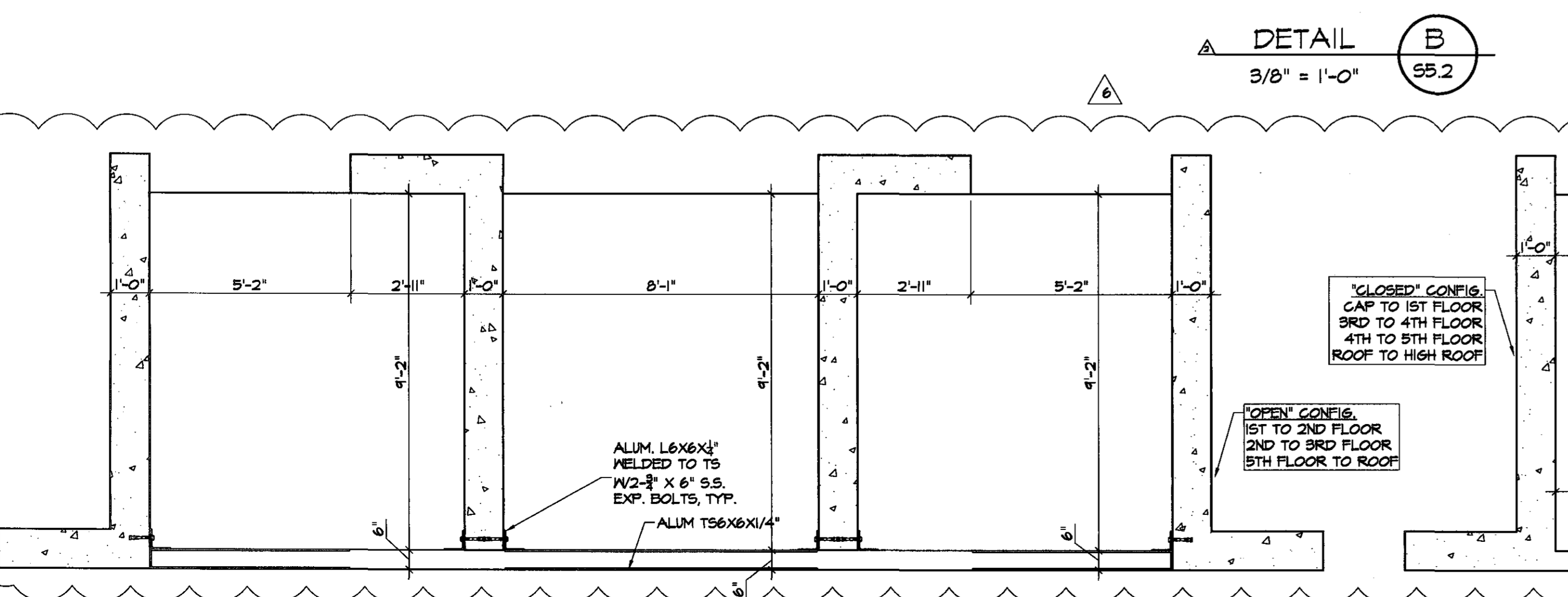
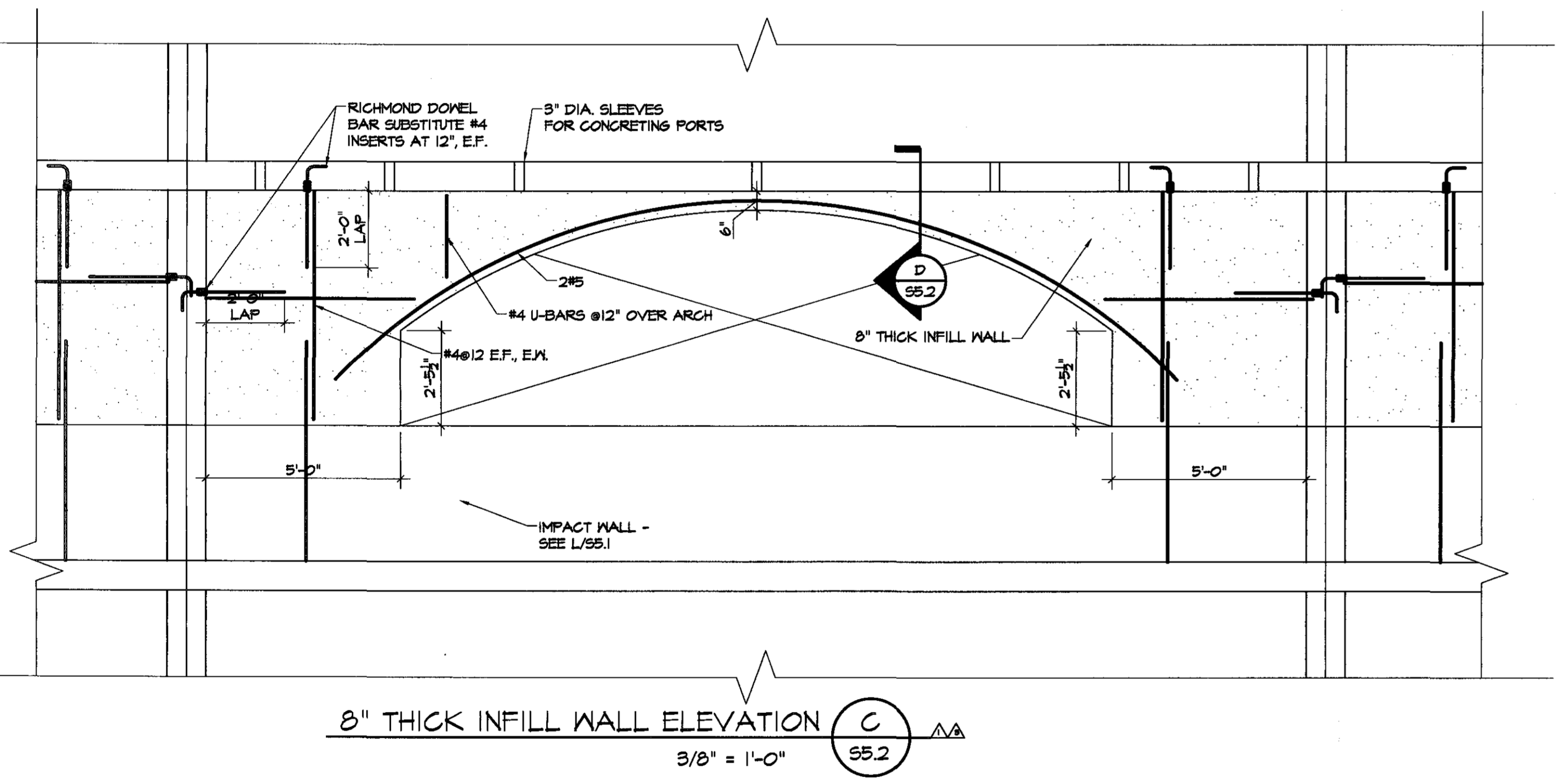
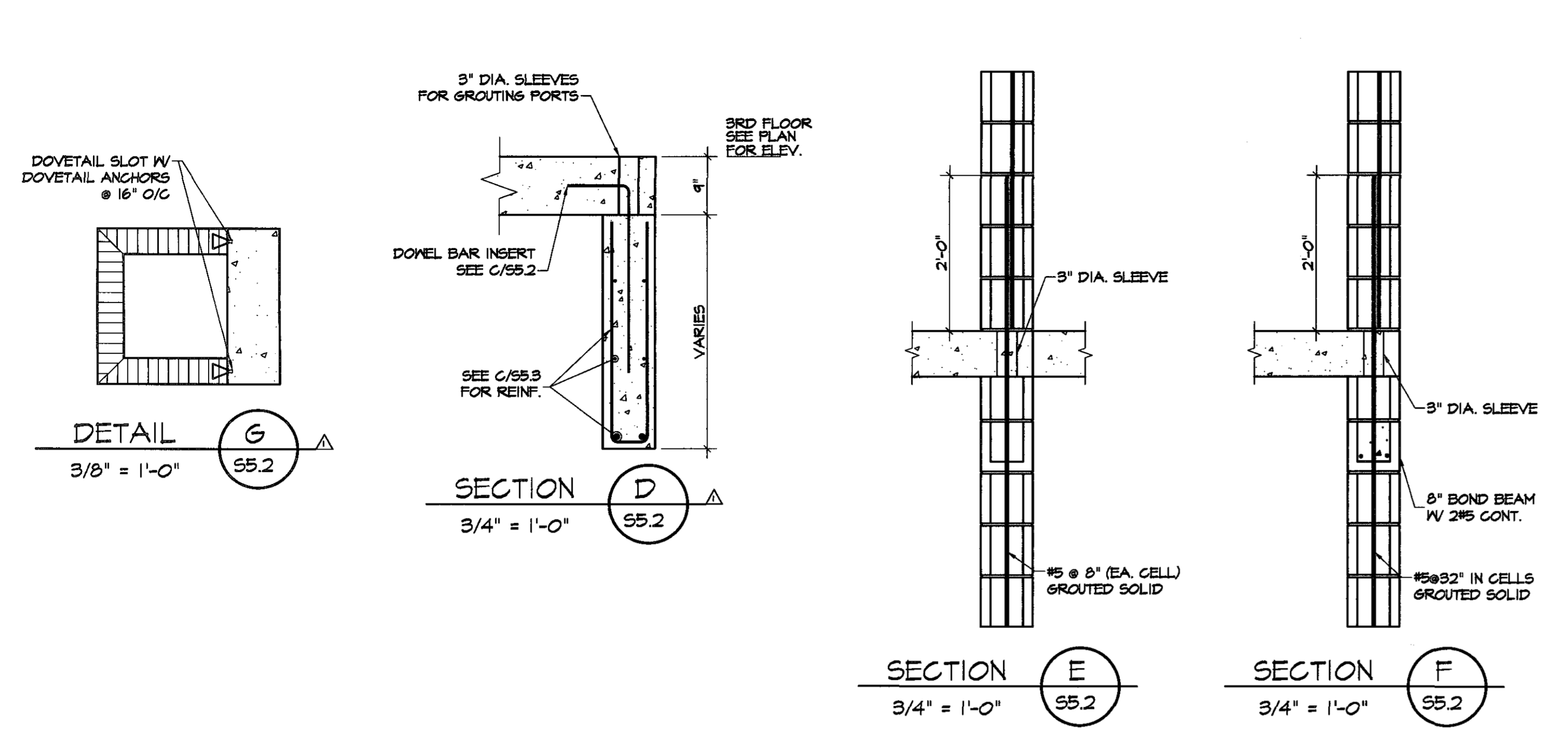
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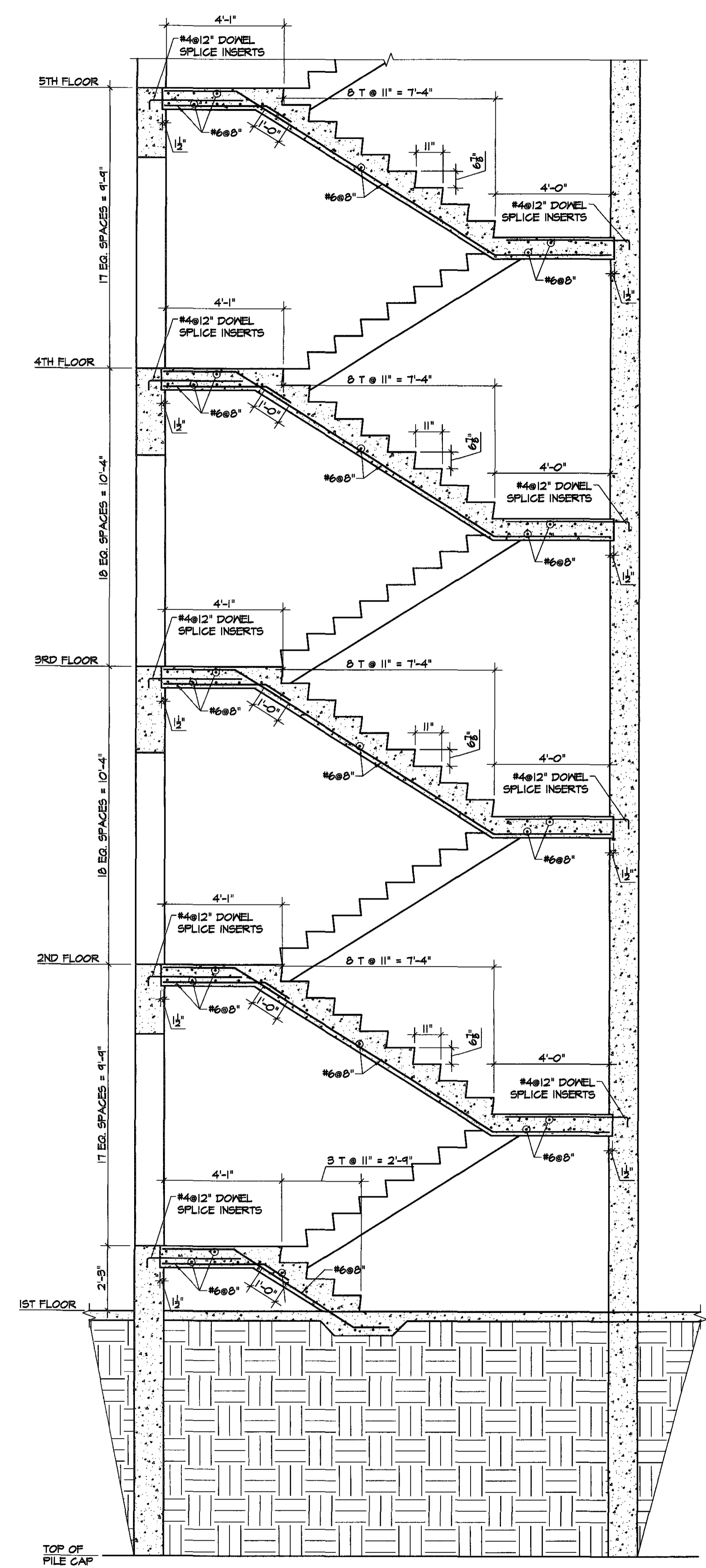


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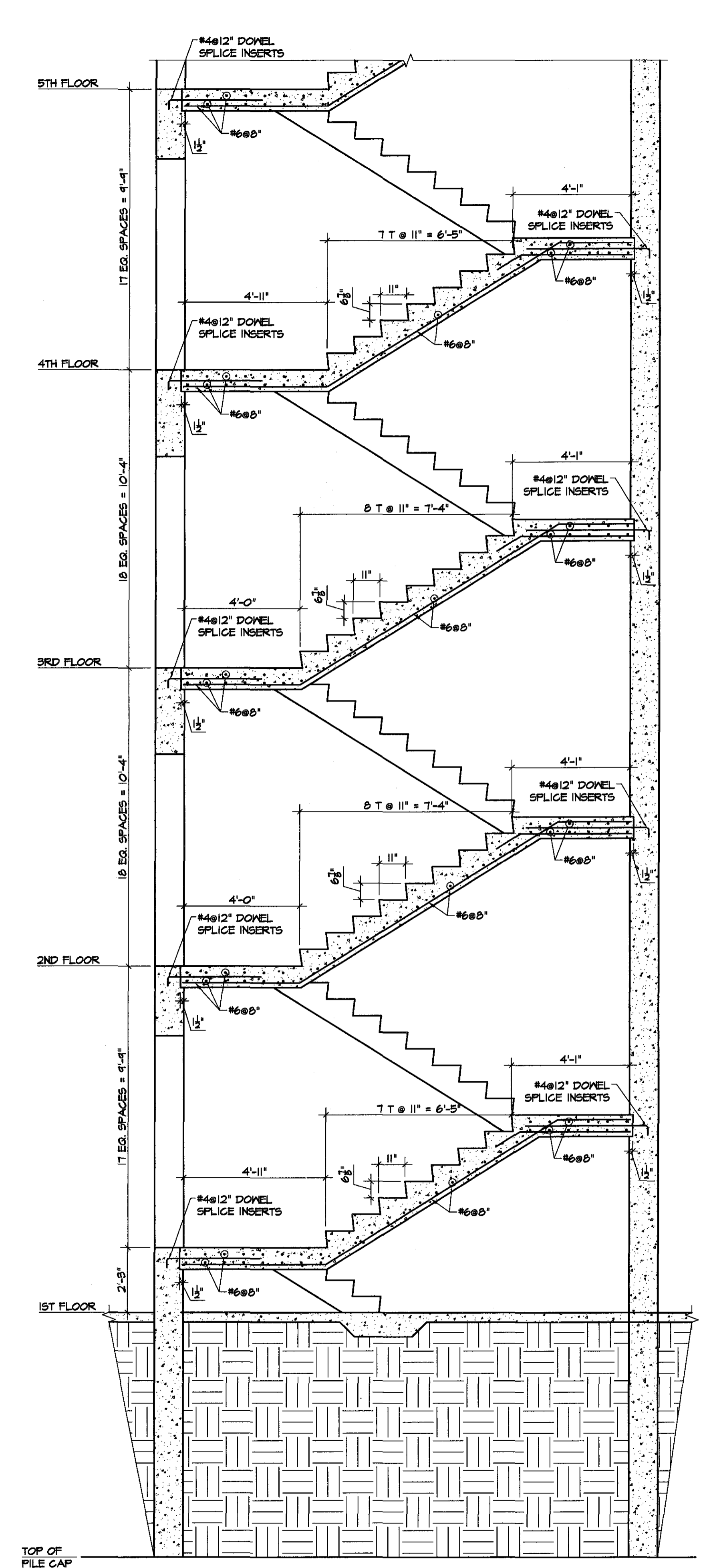
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"NEED NOT BE BUILT" OF --

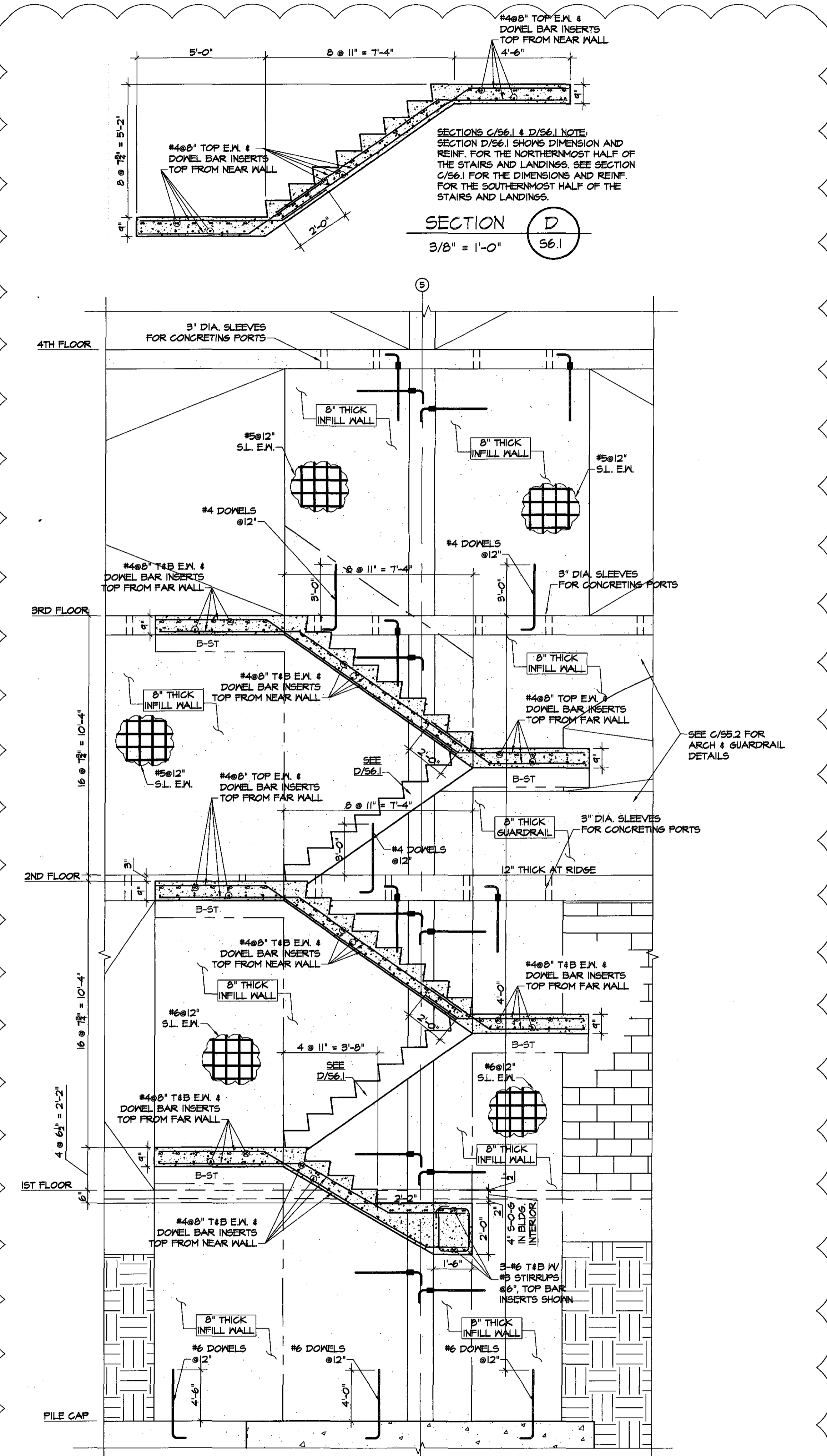




SECTION A
3/8" = 1'-0" S6.1



SECTION B
3/8" = 1'-0" S6.1



SECTION C
3/8" = 1'-0" S6.1

TYP. RICHMOND DONEL BAR SUBSTITUTE
STD. HK. #4 INSERTS @ 12" WHERE SHOWN

SECTIONS C/S6.1 & D/S6.1 NOTE:
SECTION D/S6.1 SHOWS DIMENSION AND REINF. FOR THE NORTHERNMOST HALF OF THE STAIRS AND LANDINGS. SEE SECTION C/S6.1 FOR THE DIMENSIONS AND REINF. FOR THE SOUTHERNMOST HALF OF THE STAIRS AND LANDINGS.

SEE C/S6.2 FOR ARCH & GUARDRAIL DETAILS

SPLIT SYSTEM AIR CONDITIONING UNIT SCHEDULE

MARK	AREA SERVED	INDOOR FAN DATA				COOLING CAPACITY						AHU ELECTRICAL DATA						CU ELECTRICAL DATA						BASIS OF DESIGN	
		TOTAL CFM	OA CFM	ESP	MOTOR	EDB	EWB	AMBIENT	TOTAL BTU/HR	SENSIBLE BTU/HR	MIN. SEER	STRIP HEAT	VOLTS	Hz	PHASE	MCA	MOCP	COMPR. RLA	OUTDOOR FAN FLA	VOLTS	Hz	PHASE	MCA		MOCP
AHU/CU-1	ELEV. LOBBY LEVELS 1 & 2	600	50	0.3"	1/2 HP	80F	67F	95F	18,060	13,030	11.0	7.5 KW	208	60	1	53.8	60	9.0	0.8	208	60	1	12.1	20	CARRIER INDOOR MODEL FK4C002 CARRIER OUTDOOR MODEL 38CKC018
AHU/CU-13	ELEV. LOBBY LEVEL 3	800	75	0.3"	1/2 HP	80F	67F	95F	24,550	18,150	11.0	7.5 KW	208	60	1	76.3	80	11.6	1.0	208	60	1	15.5	20	CARRIER INDOOR MODEL FK4C003 CARRIER OUTDOOR MODEL 38CKC024
AHU/CU-L(4/5 -6/7)	ELEV. LOBBY LEVELS 4-19	1,050	50	0.3"	1/2 HP	80F	67F	95F	29,120	21,870	11.0	7.5 KW	208	60	1	53.8	60	9.4	0.8	208	60	3	12.6	15	CARRIER INDOOR MODEL FK4C005 CARRIER OUTDOOR MODEL 38CKC030
AHU/CU-3-1	COMMON AREA LEVEL 3	1,980	200	0.3"	3/4 HP	80F	67F	95F	48,980	37,080	11.0	11.3 KW	208	60	3	47.7	50	16.0	1.4	208	60	3	21.4	30	CARRIER INDOOR MODEL FK4C006 CARRIER OUTDOOR MODEL 38CKC060
AHU/CU-3-2	COMMON AREA LEVEL 3	1,200	75	0.3"	1/2 HP	80F	67F	95F	29,120	21,870	11.0	11.3 KW	208	60	3	47.7	50	13.5	1.4	208	60	3	18.3	30	CARRIER INDOOR MODEL FK4C005 CARRIER OUTDOOR MODEL 38CKC036
AHU/CU-3-3	COMMON AREA LEVEL 3	1,500	150	0.3"	1/2 HP	80F	67F	95F	35,150	26,810	11.0	11.3 KW	208	60	3	47.7	50	14.1	1.4	208	60	3	19.0	30	CARRIER INDOOR MODEL FK4C006 CARRIER OUTDOOR MODEL 38CKC048
AHU/CU-3-4	COMMON AREA LEVEL 3	1,060	100	0.3"	1/2 HP	80F	67F	95F	29,120	21,870	11.0	7.5 KW	208	60	1	53.8	60	9.4	0.8	208	60	3	12.6	15	CARRIER INDOOR MODEL FK4C005 CARRIER OUTDOOR MODEL 38CKC030
AHU/CU-A (3-19)	A CONDO UNITS LEVELS 3-19	1,750	--	0.4"	3/4 HP	80F	67F	95F	48,980	37,080	11.0	11.3 KW	208	60	1	76.3	80	24.4	1.4	208	60	1	31.9	50	CARRIER INDOOR MODEL FK4C006 CARRIER OUTDOOR MODEL 38CKC048
AHU/CU-B (3-18)	B CONDO UNITS LEVELS 3-18	1,530	--	0.4"	1/2 HP	80F	67F	95F	41,310	30,090	11.0	11.3 KW	208	60	1	76.3	80	20.5	1.4	208	60	1	27.0	40	CARRIER INDOOR MODEL FK4C006 CARRIER OUTDOOR MODEL 38CKC042
AHU/CU-C (3-16)	C CONDO UNITS LEVELS 3-16	1,800	--	0.4"	3/4 HP	80F	67F	95F	48,980	37,080	11.0	11.3 KW	208	60	1	76.3	80	24.4	1.4	208	60	1	31.9	50	CARRIER INDOOR MODEL FK4C006 CARRIER OUTDOOR MODEL 38CKC048
AHU/CU-P1-1	P1 PENTHOUSE CONDO UNITS LEVEL 19	1,050	--	0.3"	1/2 HP	80F	67F	95F	29,120	21,870	11.0	7.5 KW	208	60	1	53.8	60	14.1	0.8	208	60	1	18.4	30	CARRIER INDOOR MODEL FK4C005 CARRIER OUTDOOR MODEL 38CKC030
AHU/CU-P1-2	P1 PENTHOUSE CONDO UNITS LEVEL 19	1,040	--	0.3"	1/2 HP	80F	67F	95F	29,120	21,870	11.0	7.5 KW	208	60	1	53.8	60	14.1	0.8	208	60	1	18.4	30	CARRIER INDOOR MODEL FK4C005 CARRIER OUTDOOR MODEL 38CKC030
AHU/CU-P2-1	P2 PENTHOUSE CONDO UNITS LEVEL 19	1,080	--	0.3"	1/2 HP	80F	67F	95F	29,120	21,870	11.0	7.5 KW	208	60	1	53.8	60	14.1	0.8	208	60	1	18.4	30	CARRIER INDOOR MODEL FK4C005 CARRIER OUTDOOR MODEL 38CKC030
AHU/CU-P2-2	P2 PENTHOUSE CONDO UNITS LEVEL 19	850	--	0.3"	1/2 HP	80F	67F	95F	24,550	18,150	11.0	7.5 KW	208	60	1	76.3	80	11.6	1.0	208	60	1	15.5	20	CARRIER INDOOR MODEL FK4C003 CARRIER OUTDOOR MODEL 38CKC024

NOTES: 1. AHU'S SHALL HAVE MINIMUM 1" THICK PLEATED THROWAWAY FILTERS EQUAL TO FARR 20/20 IN AHU OR AT SIDEWALL FILTER GRILLE PER PLANS.
2. ELECTRICAL POWER SUPPLY SHOWN SHALL BE SINGLE POINT.
3. PROVIDE EACH CU WITH 5 MINUTE TIME DELAY RELAY, CRANKCASE HEATER, COMPRESSOR START ASSIST, AND FACTORY INSTALLED CONDENSER COIL GUARD.
4. AHU'S SHALL BE VARIABLE SPEED TYPE.
5. ELECTRIC HEATERS HAVE BEEN DERATED FOR 208V OPERATION (15KW AT 240V x 0.75 = 11.3KW)
6. PROVIDE EACH SYSTEM WITH 24 VAC WALL MOUNTED THERMISTATS.
7. PROVIDE CLEAR LOCKING COVER FOR COMMON AREA UNIT THERMISTATS.
8. SYSTEM L1/2 SERVES 1ST AND 2ND FLOOR LOBBIES, L4/5 SERVES 4TH AND 5TH FLOOR LOBBIES, L18/19 SERVES 18TH AND 19TH FLOOR LOBBIES, ETC. COMMON SYSTEM EVERY 2 FLOORS EXCEPT LEVEL 3 IS ON A SINGLE SYSTEM.

FAN SCHEDULE

MARK	CFM	TSP IN WC	MAX RPM	TYPE DRIVE	TYPE FAN	CONTROL WITH	SERVES	MOTOR HP/AMPS	SONES	ELECTRICAL DATA			BASIS OF DESIGN
										VOLTS	Hz	PHASE	
EF-1	40	0.25"	1280	DIRECT	CEILING CENTRIFUGAL	WALL SWITCH	RESTROOM	0.5 A	3.6	120	60	1	ACME MODEL VQ80
EF-2	60	0.25"	1280	DIRECT	CEILING CENTRIFUGAL	WALL SWITCH	RESTROOM	0.5 A	3.6	120	60	1	ACME MODEL VQ80
EF-3	80	0.25"	1280	DIRECT	CEILING CENTRIFUGAL	WALL SWITCH	RESTROOM	0.5 A	3.6	120	60	1	ACME MODEL VQ80
TEF-1	2,430	0.25"	1075	DIRECT	ROOF CENTRIFUGAL	RUN CONTINUOUSLY	TRASH CHUTE	1/3 HP	14.0	120	60	1	ACME MODEL PRN171F
SF-1	5,320	0.5"	1760	DIRECT	SIDEWALL PROPELLER	FIRE ALARM/ SMOKE DETECTION	STAIRWELL PRESSURIZATION	1 HP	30.0	460	60	3	ACME MODEL FN-21J4

NOTES: 1. PROVIDE CEILING EXHAUST FANS (EF-1,2&3) WITH WHITE FINISHED GRILLES, INTEGRAL BACKDRAFT DAMPERS AND SOLID STATE SPEED CONTROLLERS. BALANCE FAN TO AIRFLOW SHOW WITH SPEED CONTROLLER. CONTROL FANS BY SEPARATE WALL SWITCH AND DO NOT INTERLOCK FANS WITH LIGHTS.
2. PROVIDE TRASH CHUTE EXHAUST FANS (TEF-1) WITH SPUN ALUMINUM HOUSING, BIRDSCREEN AND 8" ALUMINUM ROOF CURB.
3. PROVIDE SIDEWALL PROPELLER FANS WITH WALL MOUNTING COLLAR, GRAVITY BDD, AND MOTOR SIDE GAURD. CUF-1 SHALL BE PROVIDED WITH WALL MOUNTED 120V/1# THERMOSTAT.

PACKAGED THRU-WALL AIR CONDITIONING UNIT SCHEDULE

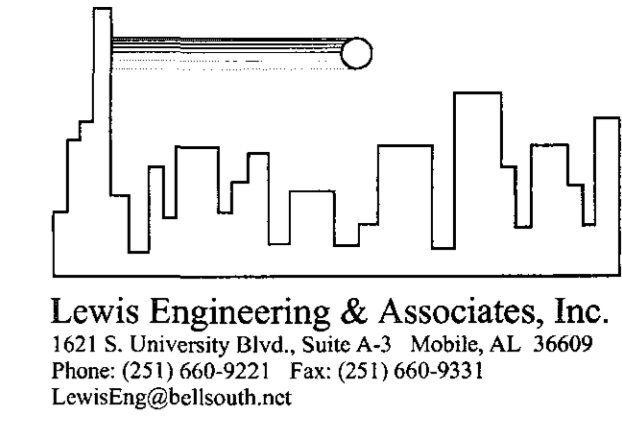
MARK	AREA SERVED	INDOOR FAN DATA		COOLING CAPACITY					ELECTRICAL DATA					BASIS OF DESIGN	
		CFM HI/LOW	MOTOR	EDB	EWB	AMBIENT	TOTAL BTU/HR	MIN. SEER	ELEC. HEAT	VOLTS	Hz	PHASE	MCA		MOCP
PACU-1	ELEVATOR EQUIPMENT ROOM	350/270	1/4 HP	80F	67F	95F	14,500	9.5	2.3 KW	208	60	1	13.4	15	CARRIER MODEL 52PE-215-3-CP

NOTES: 1. PROVIDE PACU WITH WALL SLEEVE, SUBBASE WITH LEVELING LEGS, CORROSION PROTECTION, WALL SLEEVE, CONDENSATE REMOVAL SYSTEM, EXTERNAL CONDENSATE KIT (AS BACK-UP), HARDWARE KIT, AND EXTRUDED ALUMINUM LOUVERED OUTDOOR GRILLE.

BASEBOARD HEATER SCHEDULE

MARK	TYPE	ELECTRICAL DATA				BASIS OF DESIGN
		CAPACITY	VOLTS	Hz	PHASE	
BBH-1	BASEBOARD CONVECTOR	2 KW	208	60	1	MARKEL MODEL 8523500FB

NOTE: PROVIDE BBH-1 WITH 16 GAUGE STEEL COVER WITH POWDER COAT FINISH, PENCIL PROOF LOUVERS, SLOPED TOP, RELAY, THERMOSTAT, 500 WATT/FOOT HEATING ELEMENT AND 4 FEET LENGTH, BOTTOM INLET AND TOP OUTLET.



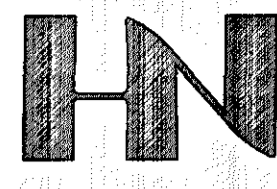
Lewis Engineering & Associates, Inc.
1621 S. University Blvd., Suite A-3 Mobile, AL 36689
Phone: (251) 660-9222 Fax: (251) 660-9331
LewisEng@bellsouth.net

MECHANICAL LEGEND

AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
BBH	BASEBOARD HEATER
CD	CEILING DIFFUSER
CFM	CUBIC FEET PER MINUTE
CR	CEILING REGISTER
CU	CONDENSING UNIT
EF	EXHAUST FAN
EXH	EXHAUST
ESP	EXTERNAL STATIC PRESSURE
FD	FLOOR DRAIN
FRD	FIRE DAMPER WITH ACCESS DOOR
HD	HUB DRAIN
MVD	MANUAL VOLUME DAMPER
OA	OUTSIDE AIR
PACU	PACKAGED TERMINAL AIR CONDITIONING UNIT
RA	RETURN AIR
RAR	RETURN AIR REGISTER
SA	SUPPLY AIR
SF	SUPPLY FAN
SWR	SIDEWALL REGISTER
SWFG	SIDEWALL RETURN AIR FILTER GRILLE
SWRAR	SIDEWALL RETURN AIR REGISTER
TYP.	TYPICAL
TG	TRANSFER GRILLE
⊖	THERMISTAT
→ D →	CONDENSATE DRAIN
⊗	SA CEILING DIFFUSER WITH SIZE AND THROW AS INDICATED.
⊠	RECTANGULAR RETURN AIR REGISTER, TRANSFER GRILLE, OR EXHAUST REGISTER WITH AIRFLOW SHOWN.
⊠	CEILING MOUNTED EXHAUST FAN WITH RIGHT ANGLE CONNECTION AND HARD ROUND DUCT AT FULL SIZE OF CONNECTION.
⊠	SIDEWALL SUPPLY AIR REGISTER (SWR) WITH THREE WAY DEFLECTION. EXTEND DUCT OFF BACK OF SWR AT FULL SIZE OF SWR CONNECTION UNLESS OTHERWISE NOTED.
⊠	RETURN AIR, EXHAUST, OR OA DUCT THROUGH CEILING.
12x6	RECTANGULAR DUCT, 12" WIDE x 6" DEEP INSIDE DIMENSIONS.
⊠	RECTANGULAR TO ROUND TRANSITION
⊠	RECTANGULAR BRANCH DUCT TAKEOFF FROM RECTANGULAR DUCT MAIN WITH 45° COLLAR AND MVD. MANUAL VOLUME DAMPER IN RECTANGULAR DUCT SHALL BE OPPOSED BLADE TYPE WITH LOCKING QUADRANT SEAM REGULATOR.
⊠	ROUND BRANCH DUCT TAKEOFF FROM RECTANGULAR DUCT MAIN. BRANCH DUCT SHALL BE FLEXIBLE ROUND DUCT OR ROUND SNAPLOCK DUCT AS INDICATED. ROUND DUCT TAP-IN SHALL BE MADE WITH SPIN-IN COLLAR WITH MANUAL VOLUME DAMPER.
⊠	SQUARE THROAT ELBOW IN RECTANGULAR DUCT WITH DOUBLE WALL TURNING VANES
⊠	LONG RADIUS ELBOW IN ROUND SNAPLOCK DUCT, ADJUSTABLE TYPE, 8"ø.

MECHANICAL GENERAL NOTES

- VERIFY COLLAR SIZES ON ALL EQUIPMENT INLETS AND OUTLETS. TRANSITION DUCTWORK AS NECESSARY.
- CONTRACTOR SHALL VERIFY CLEARANCE SPACE AVAILABLE, OFFSETS REQUIRED, STRUCTURAL OPENINGS, AND WORK BY OTHER TRADES PRIOR TO FABRICATION OF DUCTWORK. COORDINATE EXACT ROUTES WITH TRUSSES AND STRUCTURE.
- CONTRACTOR SHALL INSTALL ALL EQUIPMENT, PIPING, AND DUCTWORK SUCH THAT MANUFACTURER'S RECOMMENDED CLEARANCES ARE MET FOR ACCESS TO MOTORS, FANS, COMPRESSORS, ETC.
- COORDINATE INSTALLATION OF ALL HVAC EQUIPMENT WITH OTHER TRADES PRIOR TO ORDERING.
- CONTRACTOR SHALL COORDINATE SCHEDULING AND PHASING OF ALL EQUIPMENT AND MATERIALS.
- INSTALL ALL MATERIALS IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS AND MANUFACTURER'S INSTRUCTIONS.
- DUCTWORK DIMENSIONS ARE INTERNAL CLEAR DIMENSIONS.
- ALL SUPPLY AIR DUCTWORK TAKE-OFFS SHALL BE 45° SHOE-FITTING TYPE.
- COORDINATE INSTALLATION WITH LATEST PLANS AND EQUIPMENT PROVIDED FROM EACH DISCIPLINE.
- ALL LABOR AND MATERIALS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR. ALL COMPRESSORS SHALL HAVE A 5 YEAR WARRANTY.
- CONDENSATE PIPING SHALL BE SCH 40 PVC FOR NON-FIRE RATED PARTITIONS. INSTALL COPPER TUBING WITH SLEEVES AND UL AND UL APPROVED FIRE PROOFING AT FIRE RATED PENETRATIONS.
- COMMERCIAL AREA DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL PER SMACNA DUCT CONSTRUCTION REQUIREMENTS. TRANSVERSE DUCT FLANGE (TDF) CONNECTIONS SHALL USED AND EQUAL TO DUCTIMATE OR FABRICATED BY CONTRACTOR. INSTALL NEOPRENE GASKETS AND SEALANT AS REQUIRED. LONGITUDINAL DUCT SEAMS SHALL BE DOUBLE GROOVED TYPE FOR STRAIGHT DUCTS AND PITTSBURGH LOCK FOR FITTINGS. INSTALL DUAL RADIUS TURNING VANES FOR SA DUCTWORK. INSPECT DUCTWORK FOR LEAKS AND RESEAL AS REQUIRED PRIOR TO INSULATING.
- ALL GALVANIZED SUPPLY AND RETURN DUCTWORK SHALL BE INSULATED WITH 2" THICK, 1# DENSITY DUCT WRAP WITH FOIL FACE VAPOR BARRIER ON EXTERIOR OF DUCT. INSTALL INSULATION PER MANUFACTURER'S INSTRUCTIONS.
- EXHAUST AND OUTSIDE AIR DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL PER SMACNA DUCT CONSTRUCTION REQUIREMENTS. INSULATE DUCTS INSULATE DUCTWORK SUBJECT TO CONDENSATION WITH 2" THICK, 3/4# INSULATION WITH FOIL FACE VAPOR BARRIER. SEAL DUCTWORK AND CHECK FOR LEAKS AND RESEAL AS REQUIRED.
- MAXIMUM FLEX DUCT RUNOUTS SHALL BE 8 FEET. ROUND RIGID DUCTS SHALL BE ROUTED TO WITHIN 8 FEET OF CEILING DIFFUSERS. FLEX DUCTWORK SHALL BE EQUAL TO THERMAFLEX TYPE M-KFB OR EQUAL.
- RESIDENTIAL SUPPLY MAIN DUCTS SHALL BE EQUAL TO OWENS CORNING ENOURACOT 1" THICK WITH ACRYLIC INTERIOR COATING AND ALUMINUM FOIL FACING ON EXTERIOR OF DUCT. CONSTRUCT AND INSTALL DUCTWORK PER SMACNA FIBROUS DUCT CONSTRUCTION STANDARDS AND MANUFACTURER'S INSTRUCTIONS.
- INSULATE REFRIGERANT SUCTION AND CONDENSATE PIPING WITH 1/2" WALL ARMAFLEX INSULATION. PAINT INSULATION EXPOSED TO WEATHER WITH TWO COATS OF ARMAFLEX PAINT.
- BALANCING DAMPERS SHALL BE INSTALLED AT ALL BRANCH TAKE-OFFS AND AIR DEVICES.
- TEST AND BALANCE SHALL BE PROVIDED BY CERTIFIED T&B AGENCY IN ACCORDANCE WITH AMBC OR NEBB REQUIREMENTS. PROVIDE TEST AND BALANCE REPORTS TO ENGINEER.
- INSTALL SMOKE DETECTORS FOR HVAC EQUIPMENT PROVIDED BY ELECTRICAL CONTRACTOR.
- ALL EXPOSED CONTROLS WIRING SHALL BE IN CONDUIT. LABEL CONDUIT AND WIRING FOR EQUIPMENT SERVED.
- ALL AIR DEVICES SHALL BE PAINTED TO MATCH ARCHITECTURAL FINISHES.
- ALL LOUVERS SHALL HAVE KYNAR FINISH TO MATCH ARCHITECTURAL FINISHES AS APPROVED BY ARCHITECT.
- COORDINATE ALL CEILING MOUNTED AIR DEVICE LOCATIONS WITH LATEST ELECTRICAL AND ARCHITECTURAL REFLECTED CEILING PLANS.
- CONTRACTOR SHALL VERIFY COUNTS OF ALL EQUIPMENT AND MATERIALS PRIOR TO BIDDING AND ORDERING.



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

30 N. PALAFOX
PENSACOLA,
FLORIDA 32501

(850) 432-6011
FAX 435-9011
henry@hnormis.com

HVAC SCHEDULES

San Carlos Condominium

Gulf Shores, Alabama

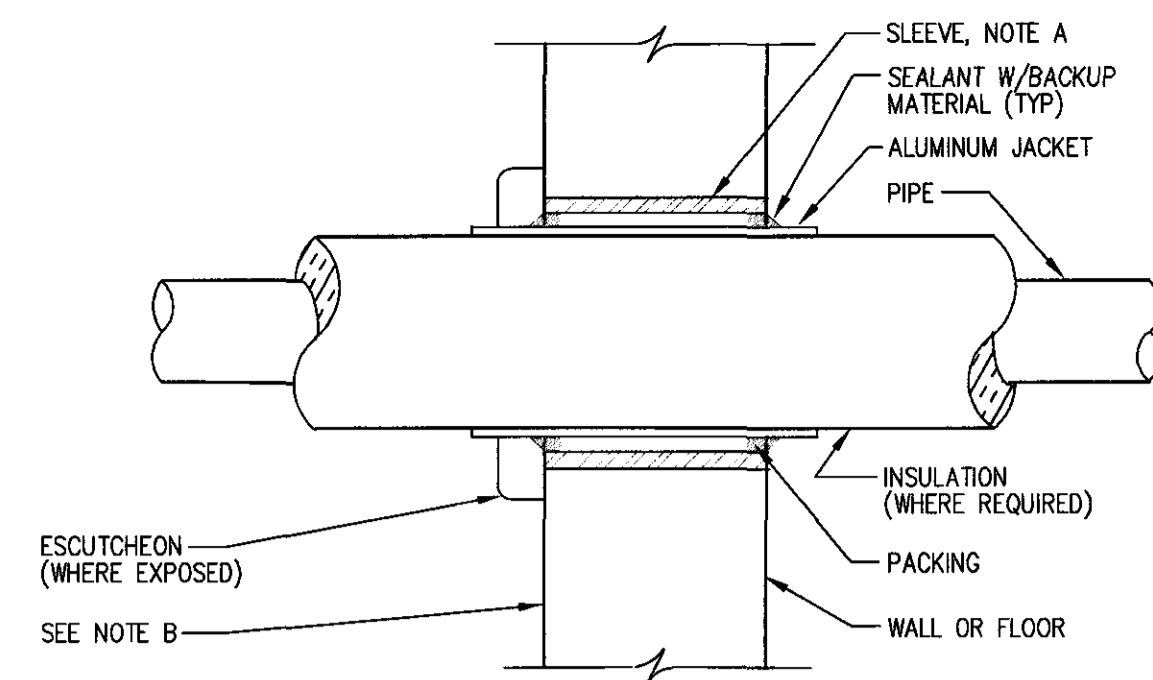
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REVISIONS:

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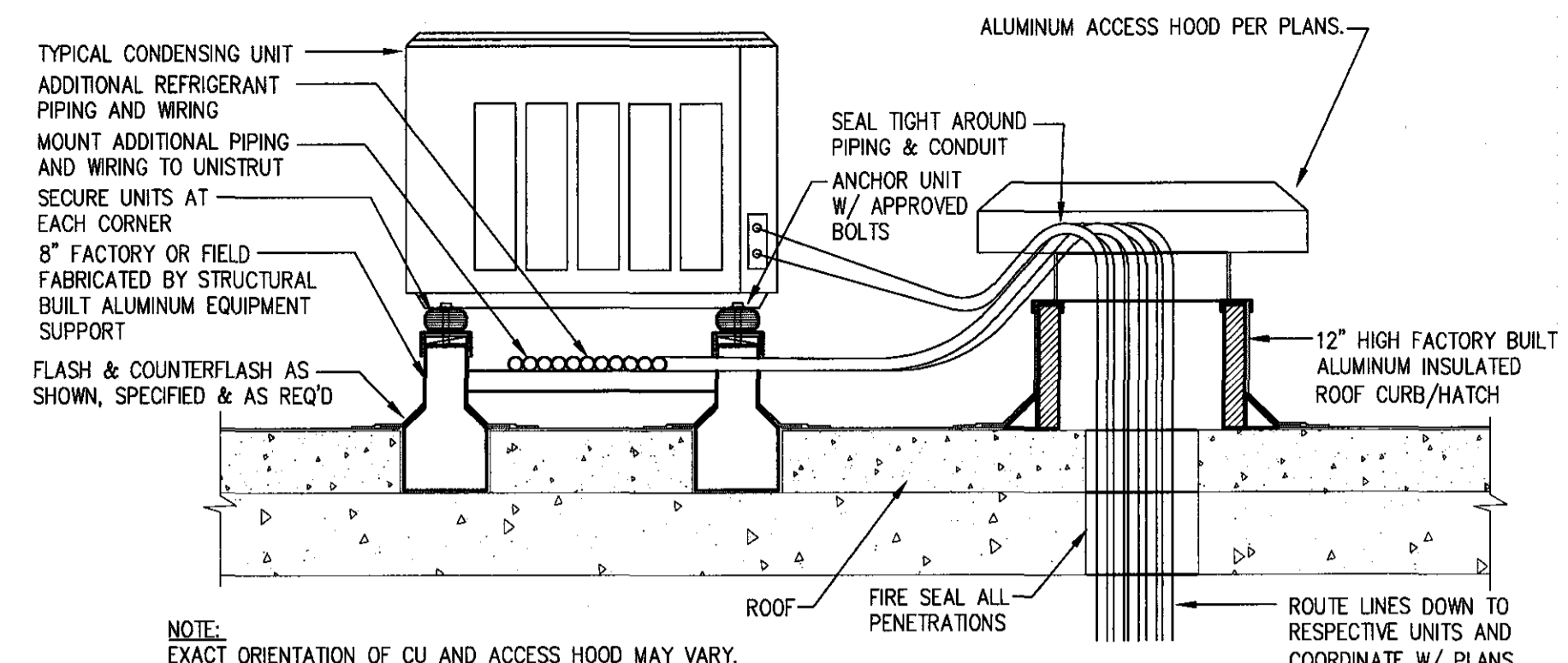
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OF



NOTES: A. IN BEARING WALLS, SLEEVE TO BE SCHEDULE 40 STEEL PIPE MATERIAL. SLEEVE AND PACKING MAY BE OMITTED FOR PIPE PASSING THRU GYPSUM WALL BOARD EXCEPT WHERE WALL IS FIRE RATED.
 B. THIS DETAIL IS FOR NON-FIRE RATED CONSTRUCTION. PIPE PENETRATIONS OF FIRE-RATED CONSTRUCTION SHALL BE FIRE STOPPED W/A U.L. CLASSIFIED SYSTEM.

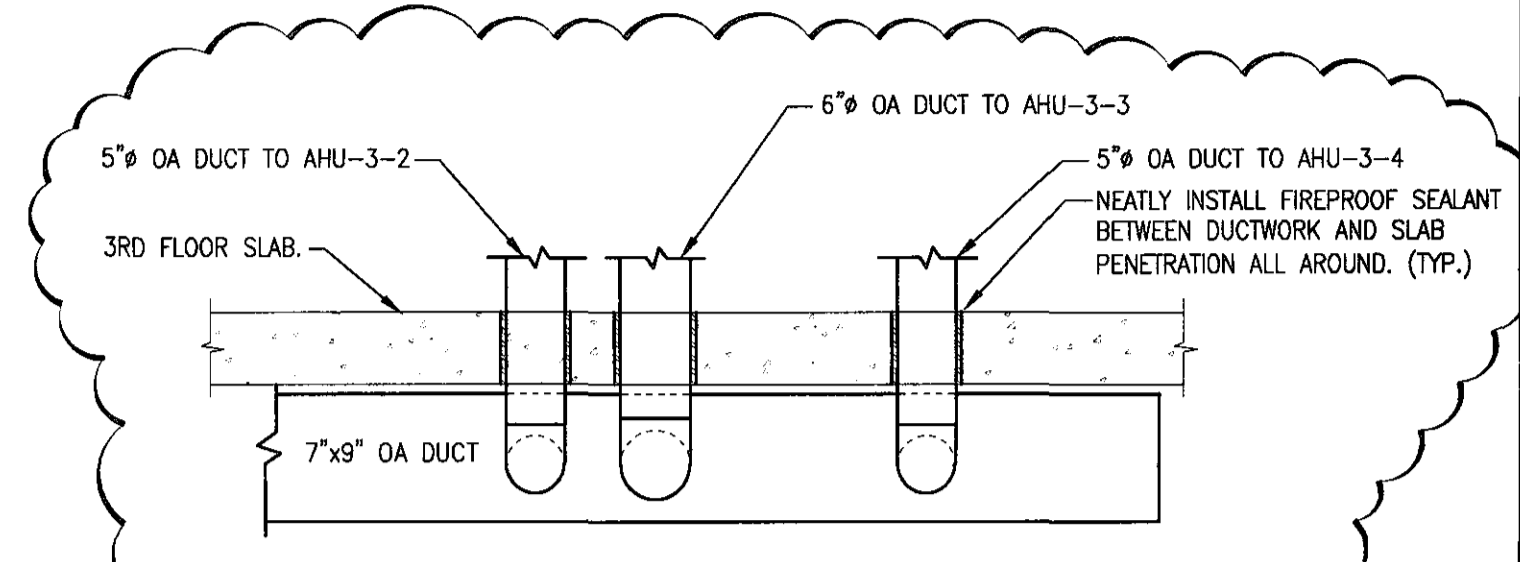
TYPICAL PIPE SLEEVE DETAIL
 NOT TO SCALE



NOTE: EXACT ORIENTATION OF CU AND ACCESS HOOD MAY VARY.

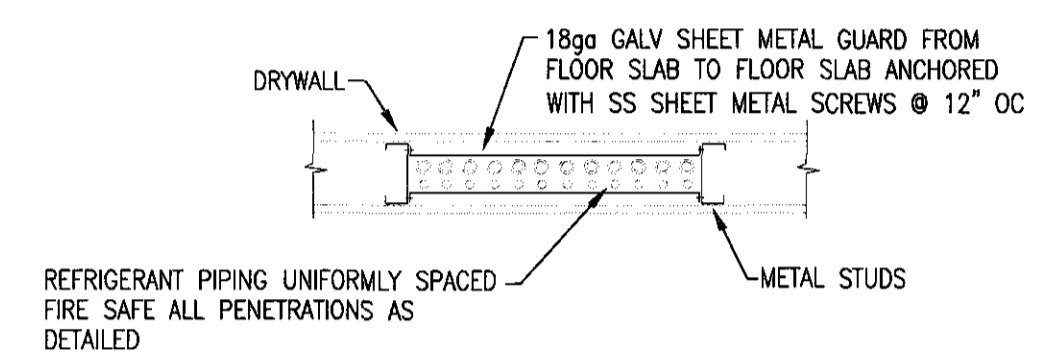
ROOF-MOUNTED CONDENSING UNIT DETAIL
 NOT TO SCALE

- NOTES:
1. SECURE CURB TO ROOF AND VENT TO ROOF CURB.
 2. PROVIDE FLASHING AND SEALANT FOR WEATHERPROOF INSTALLATION.
 3. ROUTE DUCTWORK DUCT DOWN BETWEEN ROOF STRUCTURE AND SIZE PER PLAN REQUIREMENTS.

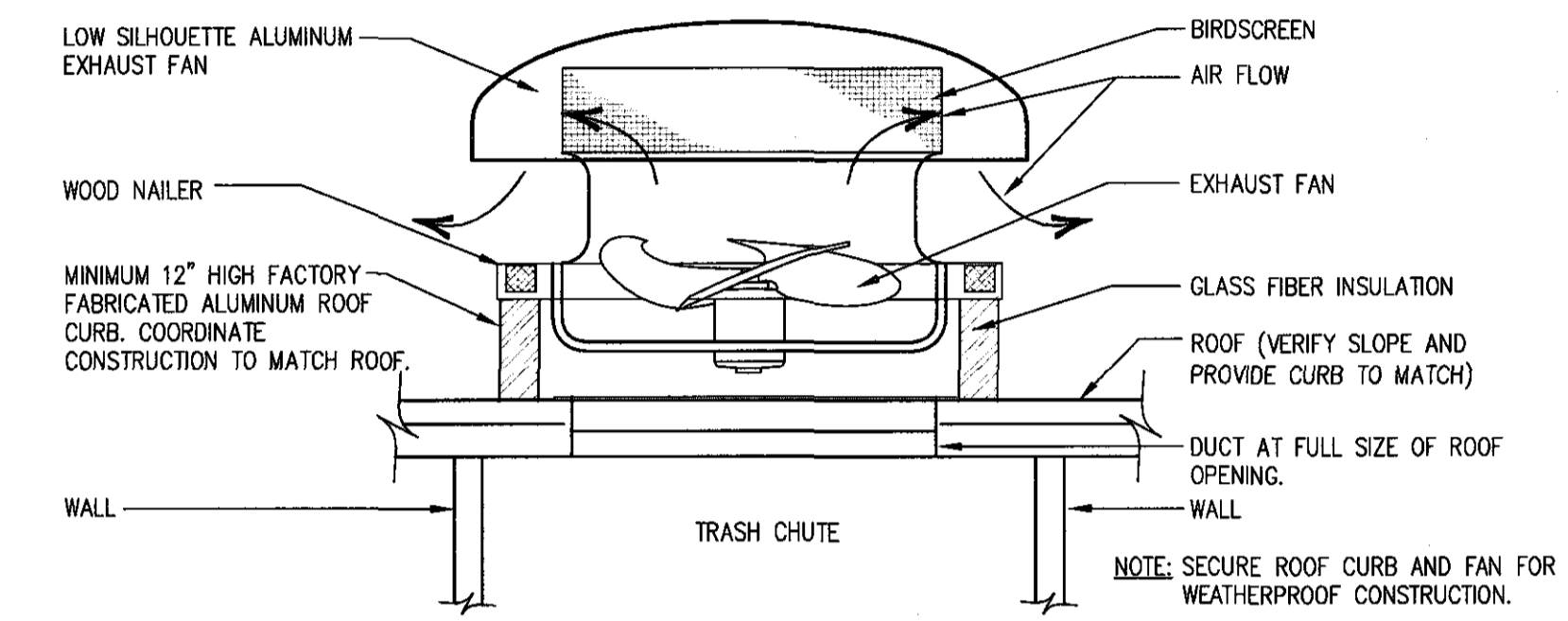


AHU-3-2, 3-3 AND 3-4 OA DUCT DETAILS
 NOT TO SCALE

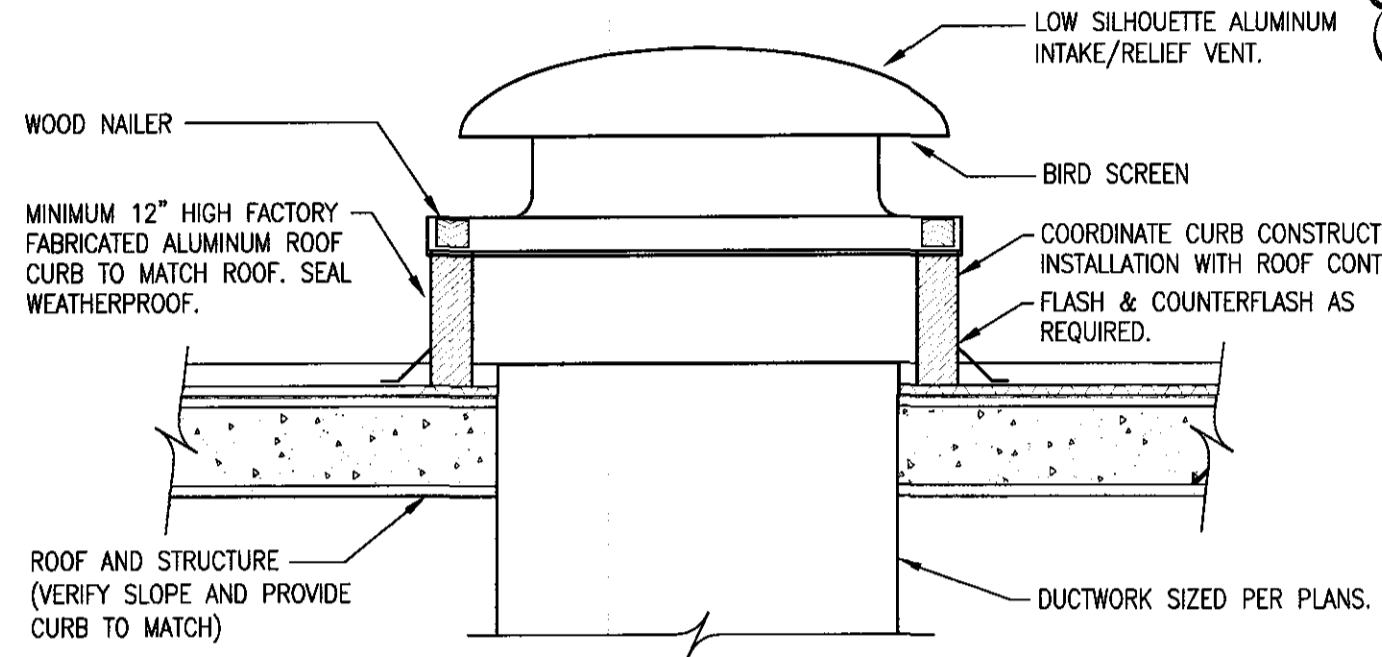
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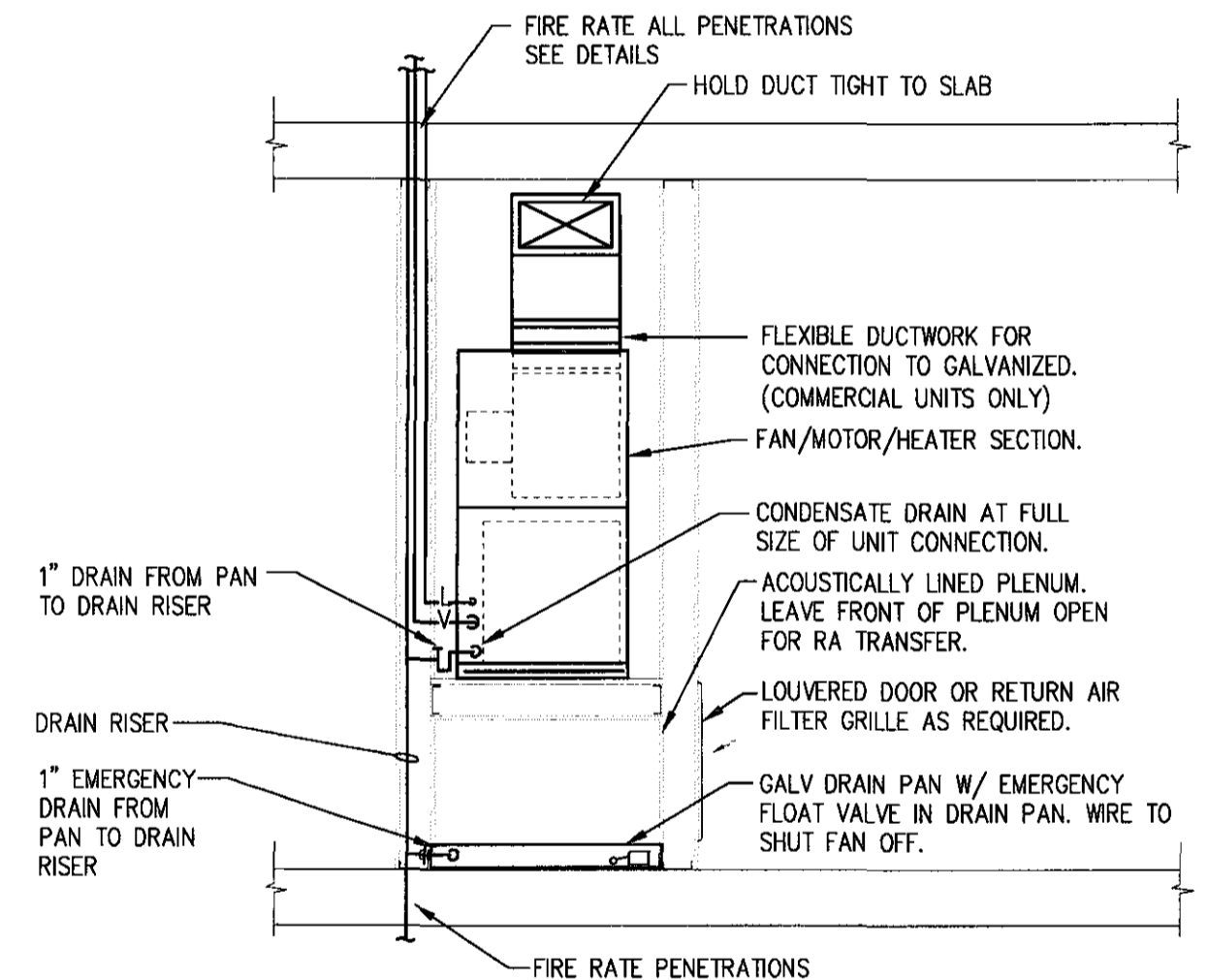
PIPING CHASE DETAIL
 NOT TO SCALE



ROOFTOP TRASH CHUTE EXHAUST FAN DETAIL
 NOT TO SCALE

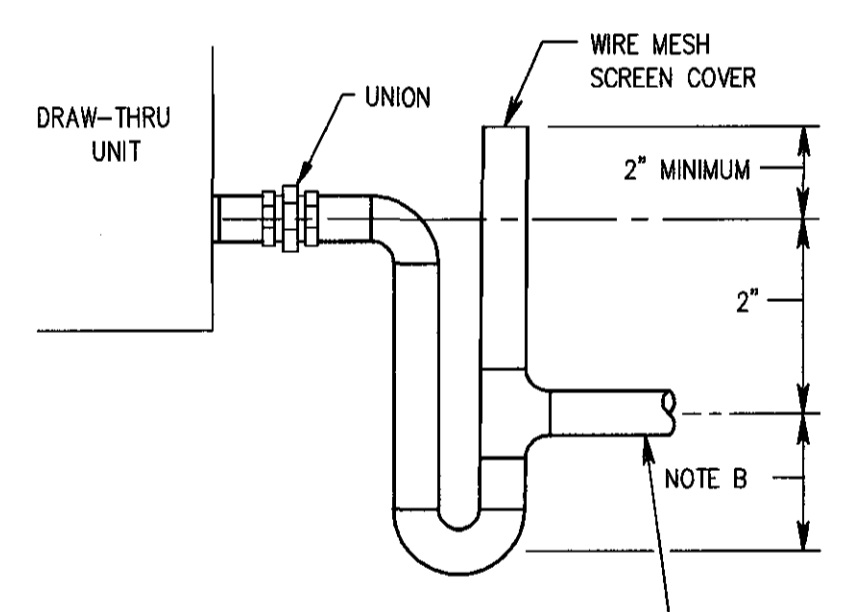


LOW SILHOUETTE INTAKE/RELIEF VENT DETAIL
 NOT TO SCALE



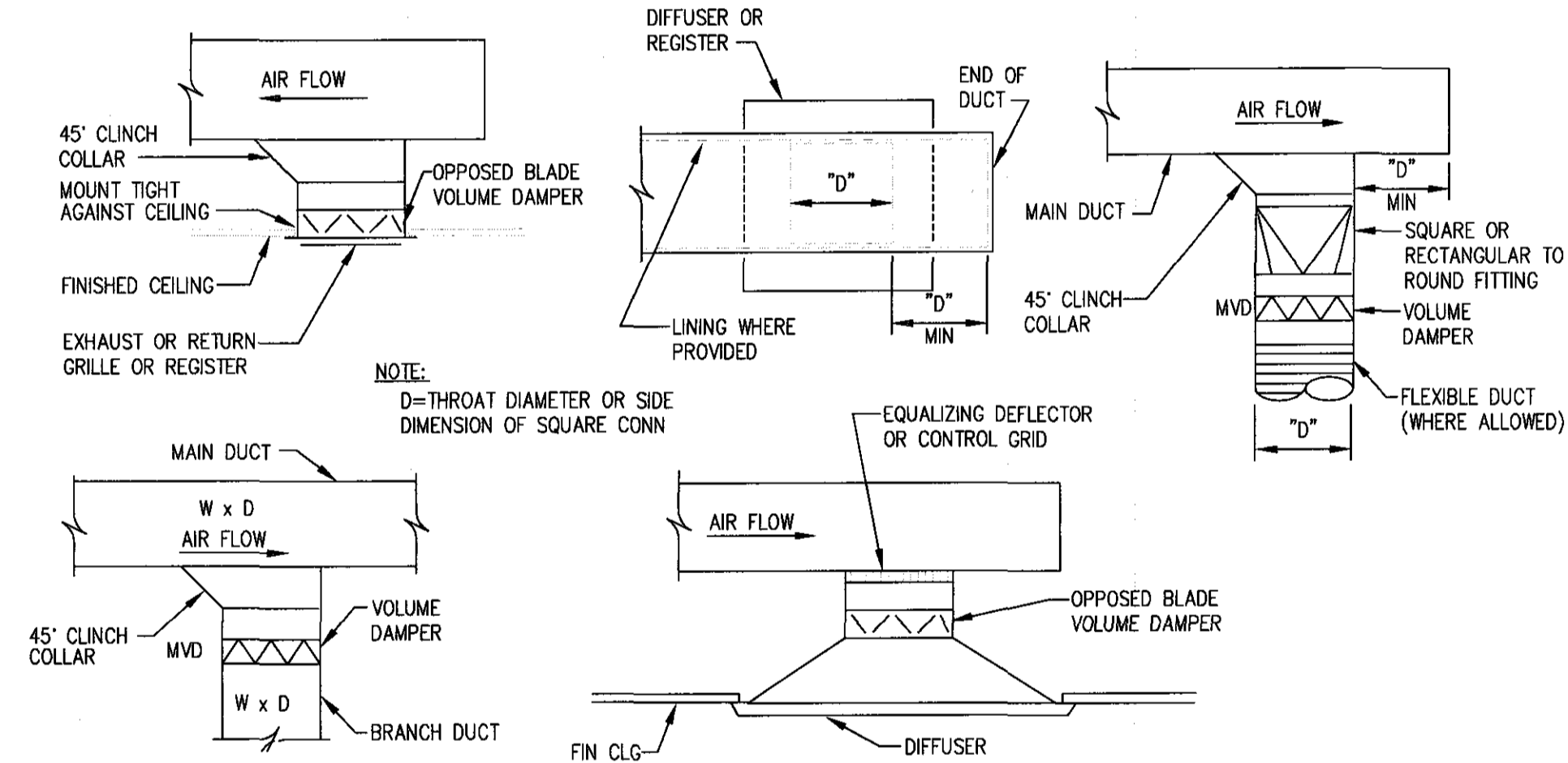
NOTE: RA PLENUM SHALL BE CONSTRUCTED OF GALVANIZED ANGLE FRAME AND LINED SHEET METAL. SEAL PLENUM AIRTIGHT.

PLENUM MOUNTED AHU DETAIL
 NOT TO SCALE

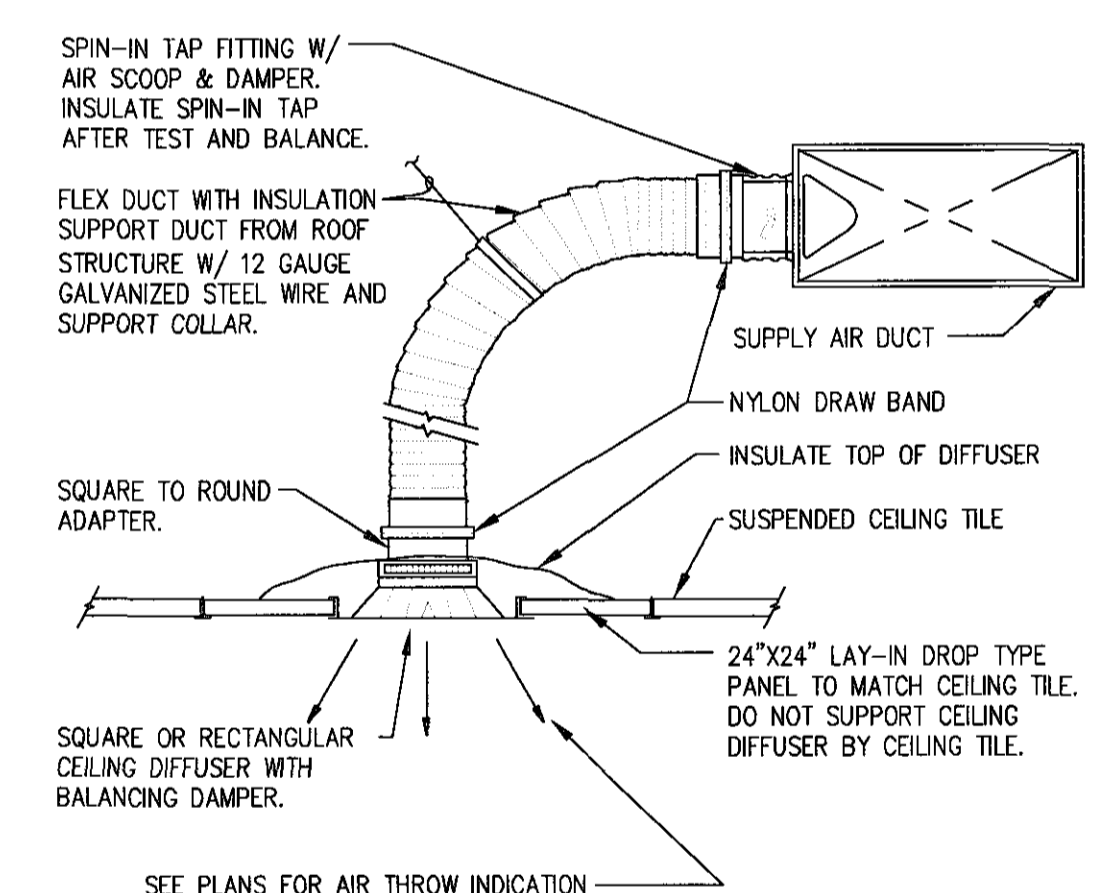


NOTES: A. DRAIN TO BE FULL SIZE OF UNIT CONNECTION.
 B. 2 TIMES THE MAXIMUM TOTAL UNIT STATIC PRESSURE.

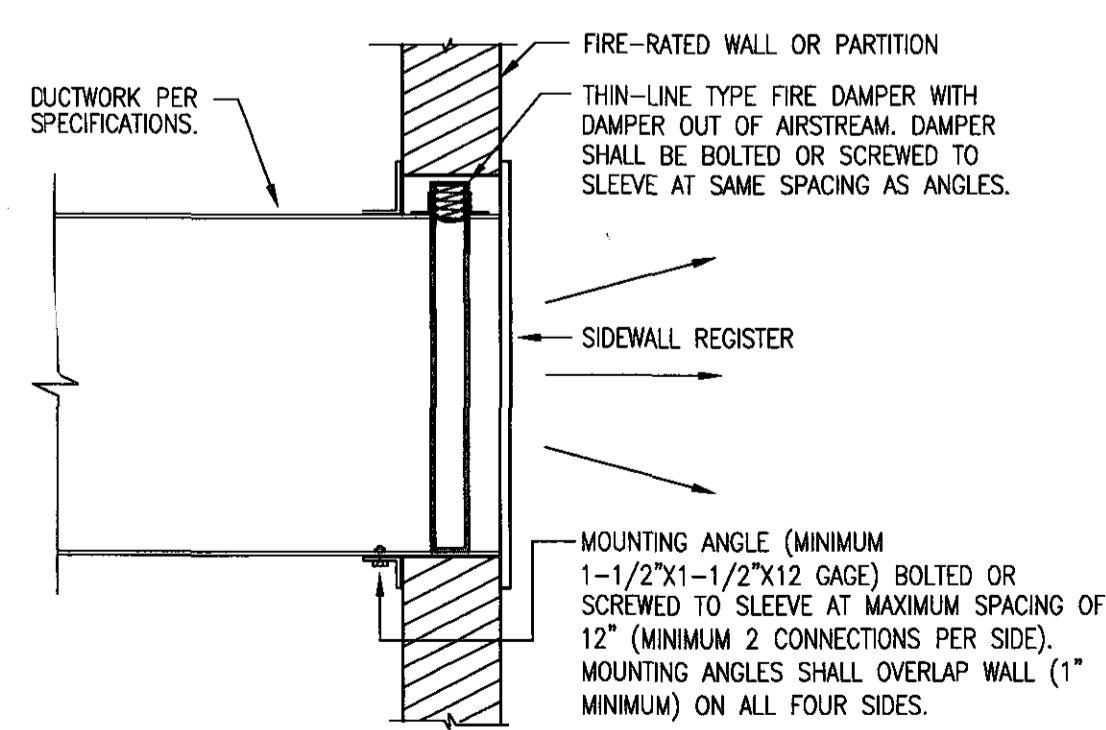
TYPICAL CONDENSATE P-TRAP DETAIL
 NOT TO SCALE



TYPICAL HARD DUCT TO AIR DEVICE DETAILS
 NOT TO SCALE

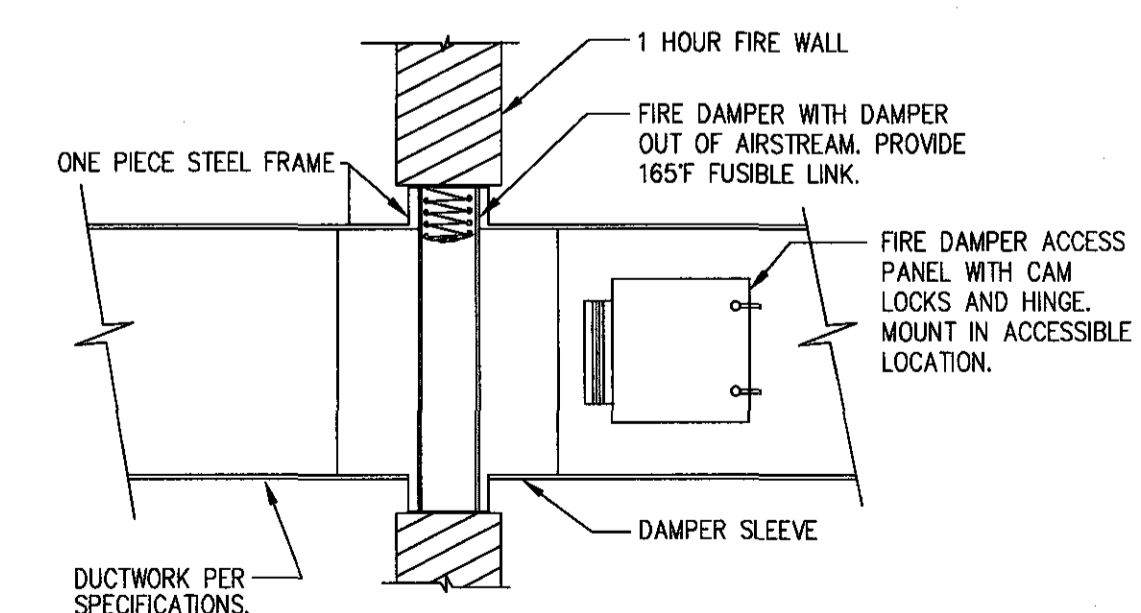


TYPICAL LAY-IN CEILING DIFFUSER DETAIL
 NOT TO SCALE



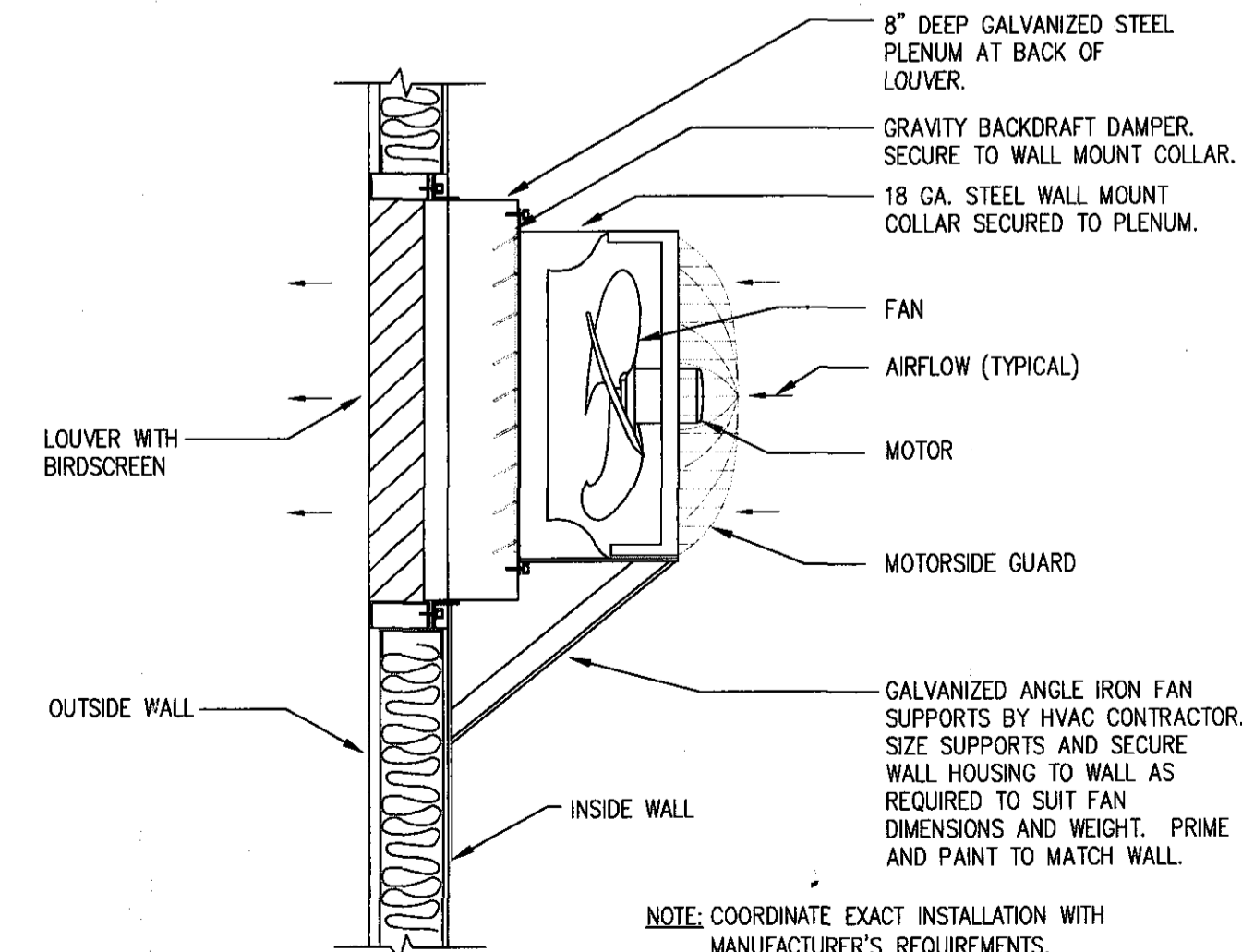
NOTE: OPENINGS IN WALL OR PARTITION SHALL BE 1/8\"/>

TYPICAL SIDEWALL MOUNTED FIRE DAMPER DETAIL
 NOT TO SCALE

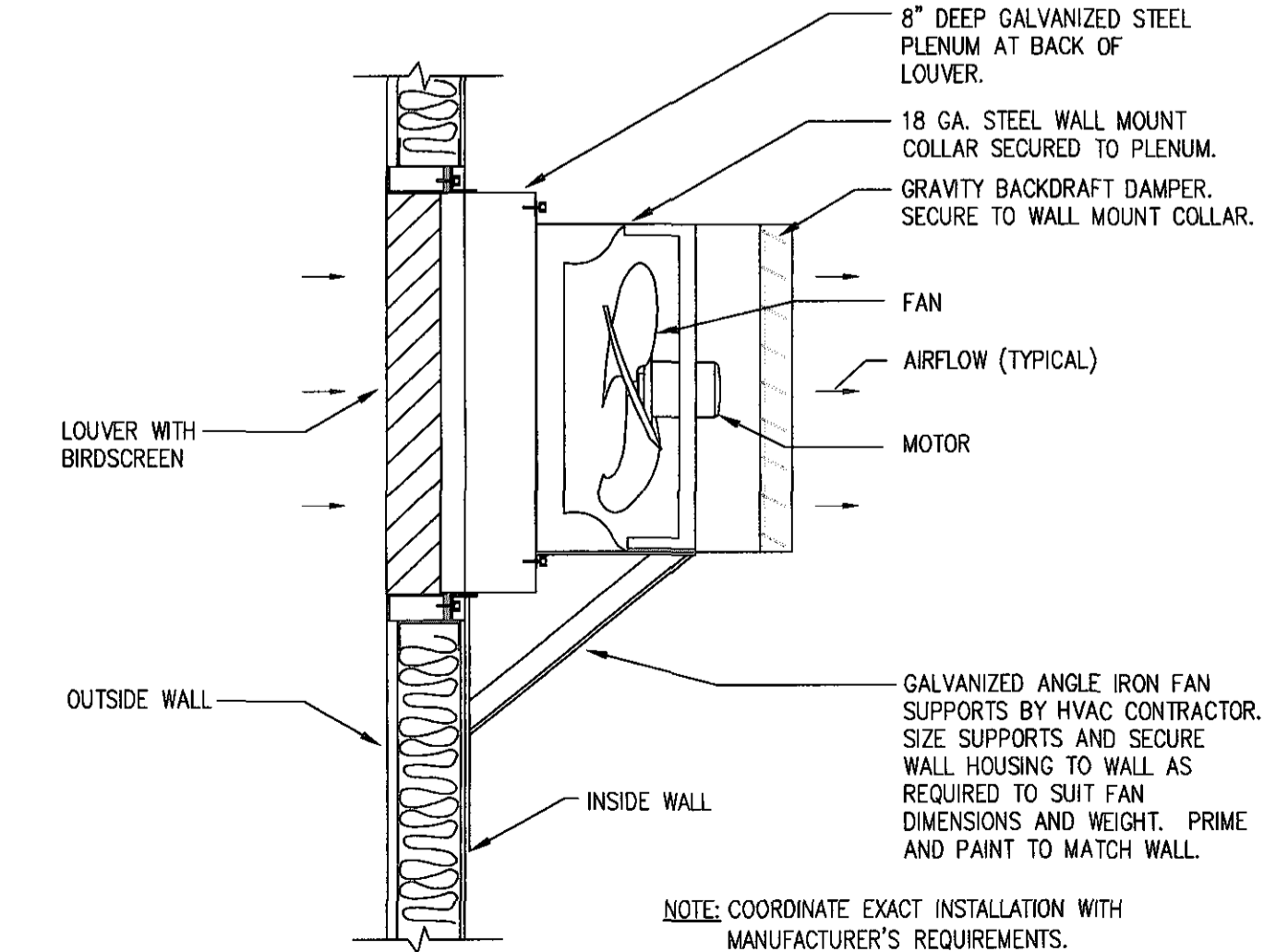


NOTE: OPENINGS IN WALL SHALL BE 1/8\"/>

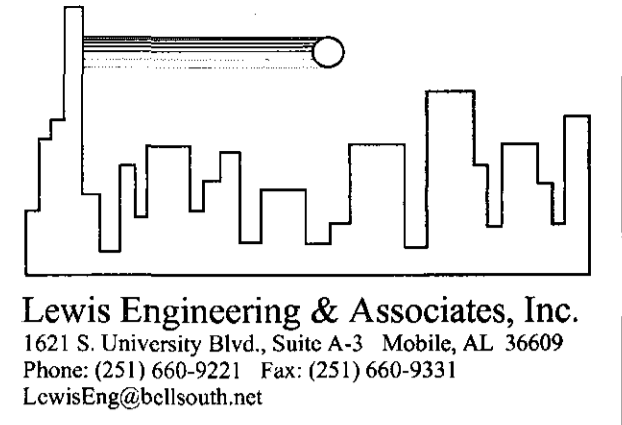
TYPICAL DUCT MOUNTED FIRE DAMPER DETAIL
 NOT TO SCALE



SIDEWALL MOUNTED EXHAUST FAN DETAIL
 NOT TO SCALE



SIDEWALL MOUNTED SUPPLY FAN DETAIL
 NOT TO SCALE



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ARCHITECTURE & ENVIRONMENTAL DESIGN

30 N. PALAFOX
 PENSACOLA, FLORIDA 32501

(850) 432-6011
 FAX 435-9011
 henry@hnorris.com

HVAC DETAILS

San Carlos Condominium
 Gulf Shores, Alabama

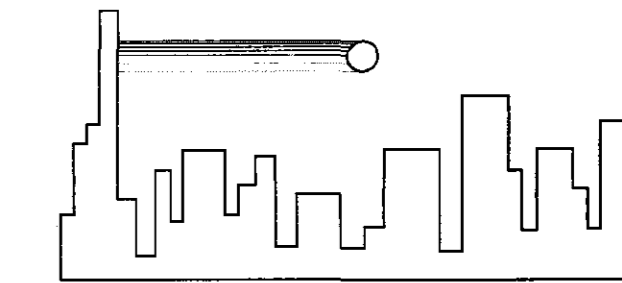
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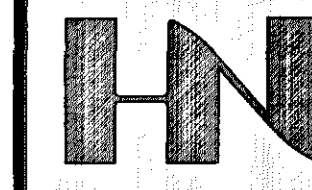
SHEET

M-1.1

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1621 S. University Blvd., Suite A-3 Mobile, AL 36609
Phone (251) 660-9221 Fax (251) 660-9331
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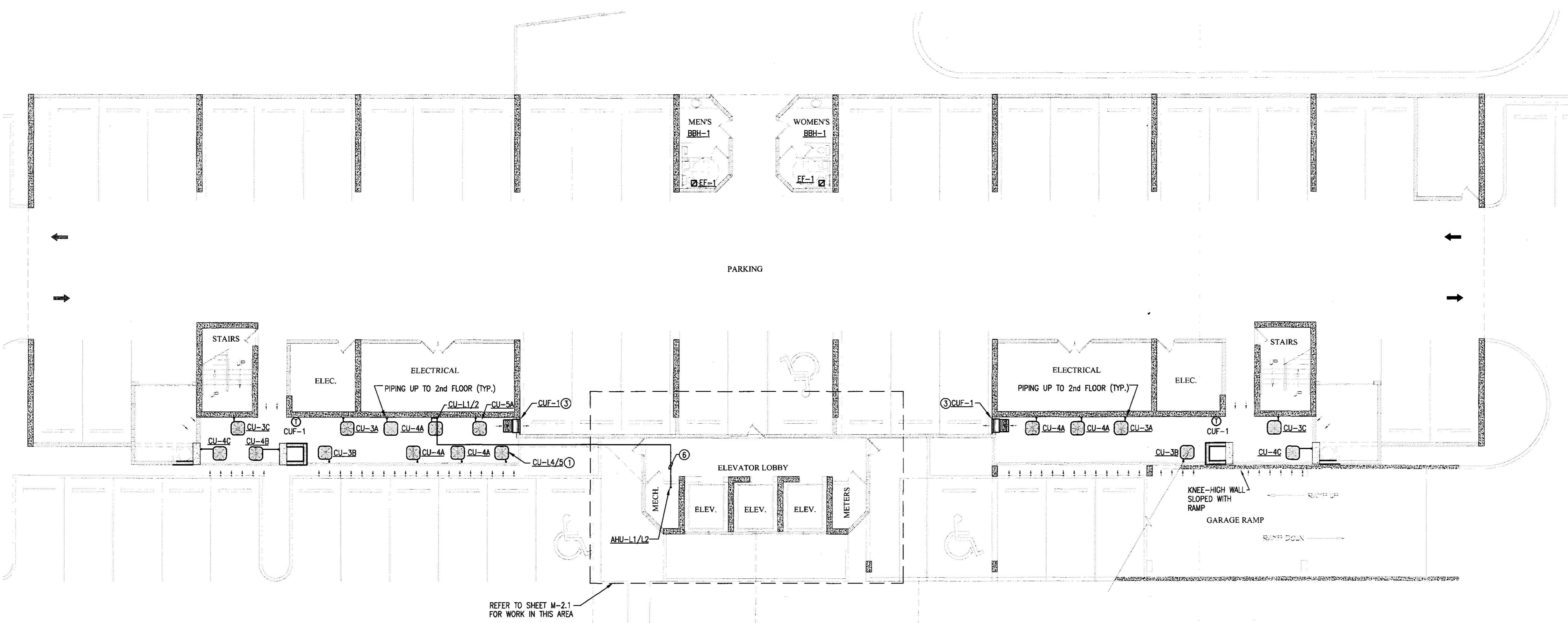
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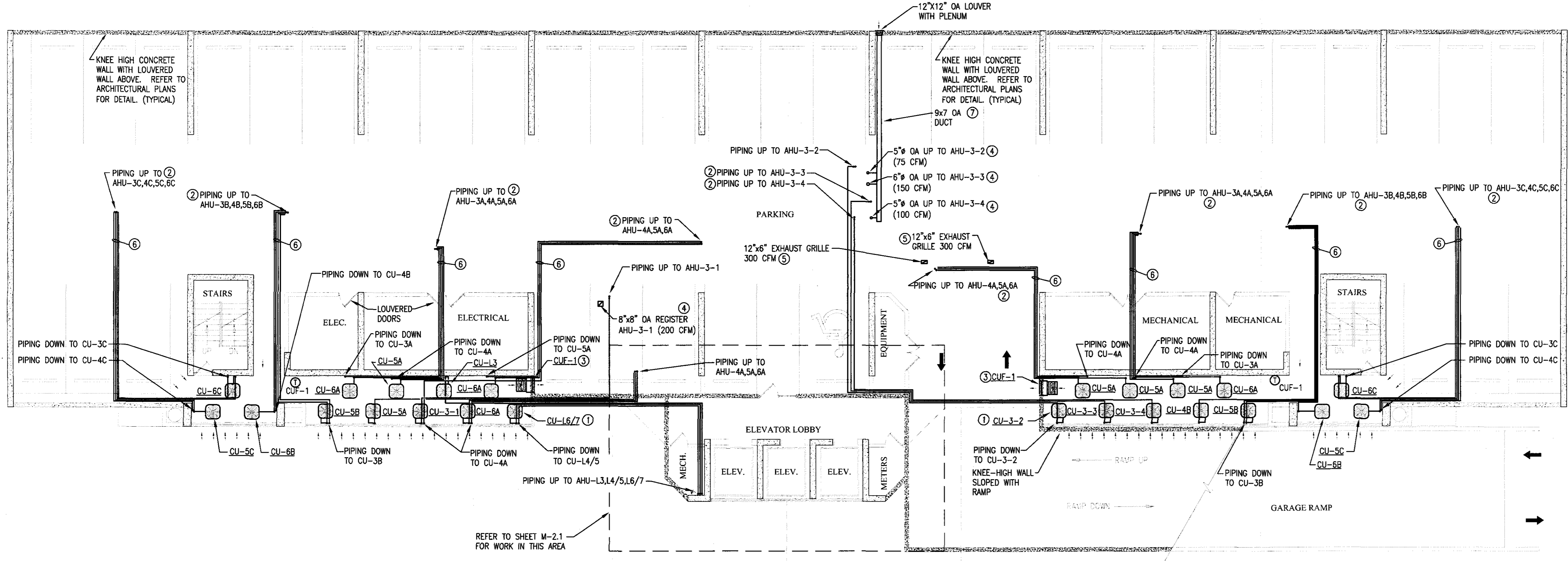
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Ground &
2nd Floor
HVAC Plans

San Carlos Condominium
Gulf Shores, Alabama



GROUND FLOOR HVAC PLAN
SCALE: 3/32" = 1'-0"



2nd FLOOR HVAC PLAN
SCALE: 3/32" = 1'-0"

KEYNOTES

- ① SECURE CU TO SLAB WITH UNISTRUT AND HARDWARE. INSTALL NEOPRENE ISOLATORS UNDER CU. ROUTE REFRIGERANT PIPING SIZED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS FROM CU NEATLY, SECURELY AND OVER AS HIGH AS POSSIBLE TO CORRESPONDING AHU. INSTALL REFRIGERANT SPECIALTIES AS RECOMMENDED BY MANUFACTURER. INSULATE SUCTION PIPING PER SPECIFICATIONS. COORDINATE ALL INSTALLATIONS WITH OTHER TRADES. (TYPICAL)
- ② ROUTE PIPING UP THROUGH SLAB TO AHU'S ABOVE. CLEARLY TAG ALL UNITS SERVED PRIOR TO FLOOR PENETRATIONS. SLEEVE ALL PIPING PENETRATIONS AND SEAL FIREPROOF. REFER TO 3rd LEVEL HVAC PLAN FOR CONTINUATION. (TYPICAL)
- ③ 30"x48" DRAINABLE LOUVER WITH 8" DEEP GALVANIZED STEEL PLENUM AT FULL SIZE OF LOUVER. MOUNT LOUVER AND PLENUM AS HIGH AS POSSIBLE. MOUNT CONDENSING UNIT EF AT BACK OF PLENUM PER DETAIL ON SHEET M-1.1
- ④ ROUTE OA DUCT UP TO MECHANICAL CLOSET ABOVE AND TO AHU PLENUM PER SHEET M-3.2. BALANCE OA AIRFLOW WITH MVD IN CLOSET TO SCHEDULED CFM.
- ⑤ ROUTE EXHAUST DUCT DOWN FROM 3rd FLOOR FAN TO EXHAUST GRILLE AT UNDERSIDE OF 3rd FLOOR SLAB.
- ⑥ ROUTE REFRIGERANT PIPING OVER AS HIGH AS POSSIBLE. NEATLY SECURE UP WALLS AND ABOVE WALKWAYS. IN PARKING AREAS SECURE PIPING INSIDE PROTECTIVE 6" DEEP (WIDTH AS APPLICABLE) GALVANIZED STEEL ENCLOSURE WITH PAINTGRIP FINISH. PAINT TO MATCH ADJACENT STRUCTURE. NOTE THAT ONLY ONE REFRIGERANT LINE PER UNIT IS SHOWN FOR CLARITY. COORDINATE EXACT PIPE ROUTING WITH OTHER TRADES. LABEL ALL PIPING FOR UNIT SERVED. (TYPICAL)
- ⑦ ROUTE OA DUCT SERVING AHU'S ABOVE AS HIGH AS POSSIBLE AND TERMINATE AT OA LOUVER AS HIGH AS POSSIBLE. NEATLY SECURE DUCTWORK AND LOUVER. DUCTWORK SHALL BE GALVANIZED STEEL WITH PAINTGRIP FINISH. PAINT TO MATCH ADJACENT STRUCTURE.

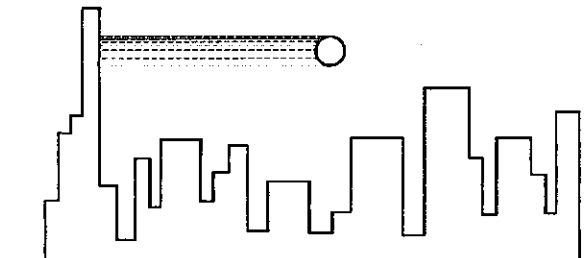
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 Phone: (251) 668-9221 Fax: (251) 668-9331
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30 N. PALAFOX
 PENSACOLA,
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**Ground &
 2nd Floor
 HVAC Plans**

San Carlos Condominium
 Gulf Shores, Alabama

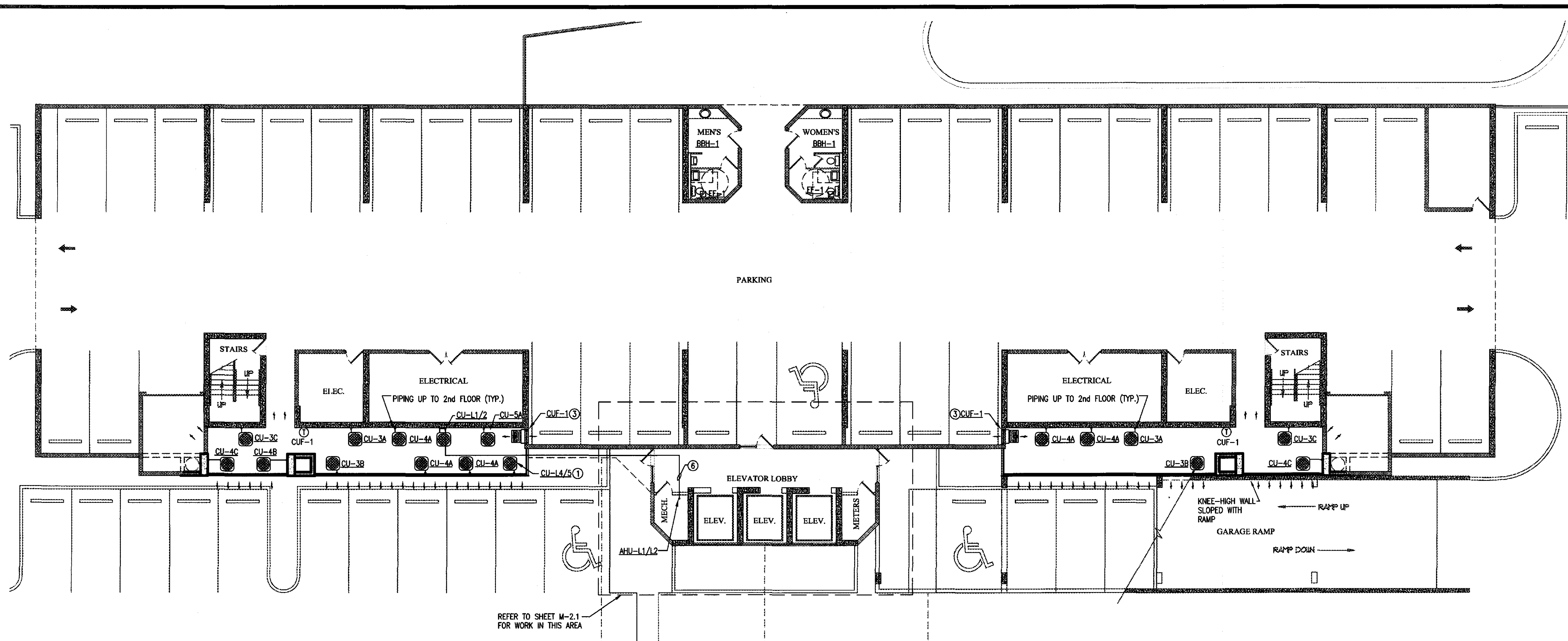
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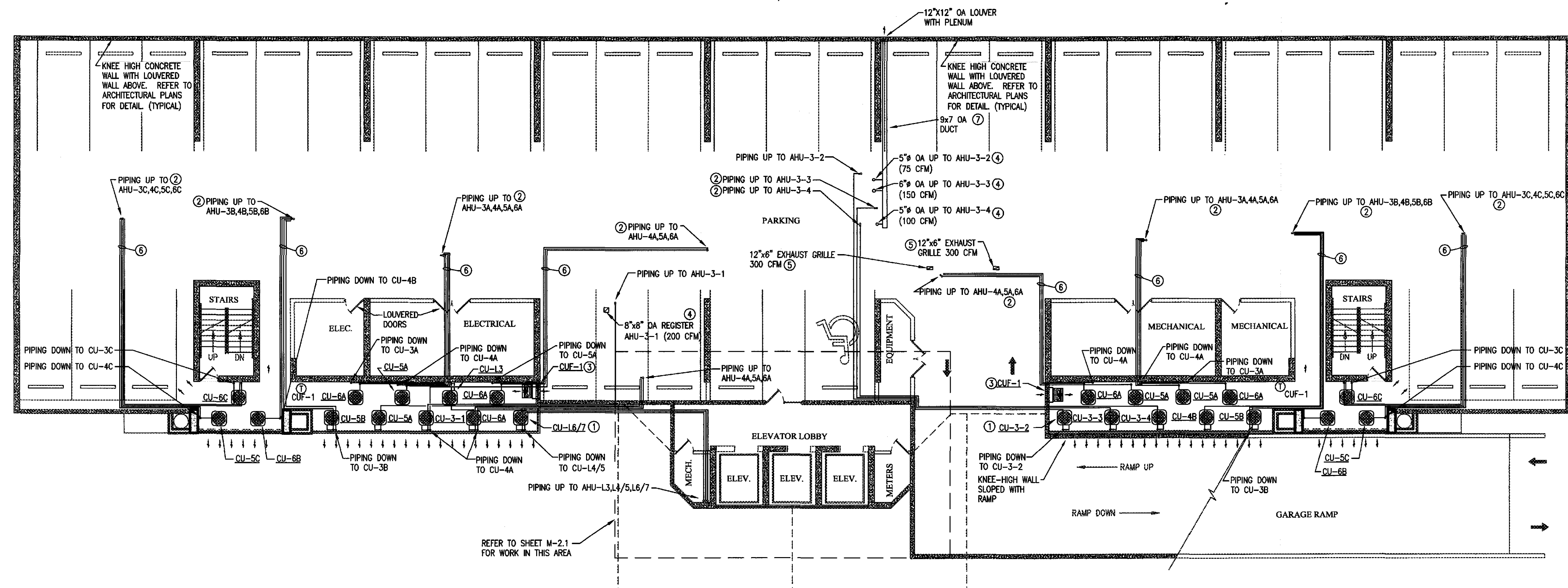
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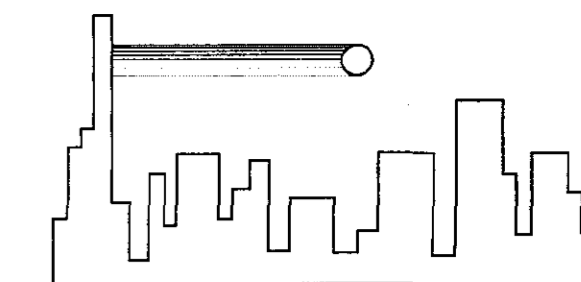


GROUND FLOOR HVAC PLAN
 SCALE: 3/32" = 1'-0"

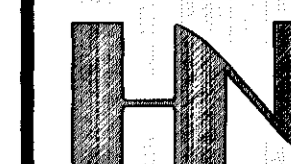


2nd FLOOR HVAC PLAN
 SCALE: 3/32" = 1'-0"

- KEYNOTES**
- ① SECURE CU TO SLAB WITH UNISTRUT AND HARDWARE. INSTALL NEOPRENE ISOLATORS UNDER CU. ROUTE REFRIGERANT PIPING SIZED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS FROM CU NEATLY, SECURELY AND OVER AS HIGH AS POSSIBLE TO CORRESPONDING AHU. INSTALL REFRIGERANT SPECIALTIES AS RECOMMENDED BY MANUFACTURER. INSULATE SUCTION PIPING PER SPECIFICATIONS. COORDINATE ALL INSTALLATIONS WITH OTHER TRADES. (TYPICAL)
 - ② ROUTE PIPING UP THROUGH SLAB TO AHU'S ABOVE. CLEARLY TAG ALL UNITS SERVED PRIOR TO FLOOR PENETRATIONS. SLEEVE ALL PIPING PENETRATIONS AND SEAL FIREPROOF. REFER TO 3rd LEVEL HVAC PLAN FOR CONTINUATION. (TYPICAL)
 - ③ 30"x48" DRAINABLE LOUVER WITH 8" DEEP GALVANIZED STEEL PLENUM AT FULL SIZE OF LOUVER. MOUNT LOUVER AND PLENUM AS HIGH AS POSSIBLE. MOUNT CONDENSING UNIT EF AT BACK OF PLENUM PER DETAIL ON SHEET M-1.1
 - ④ ROUTE OA DUCT UP TO MECHANICAL CLOSET ABOVE AND TO AHU PLENUM PER SHEET M-3.2. BALANCE OA AIRFLOW WITH MVO IN CLOSET TO SCHEDULED CFM.
 - ⑤ ROUTE EXHAUST DUCT DOWN FROM 3rd FLOOR FAN TO EXHAUST GRILLE AT UNDERSIDE OF 3rd FLOOR SLAB.
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FLORIDA 32501

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**Elevator
Lobbies
HVAC Plans**

Gulf Shores, Alabama

San Carlos Condominium

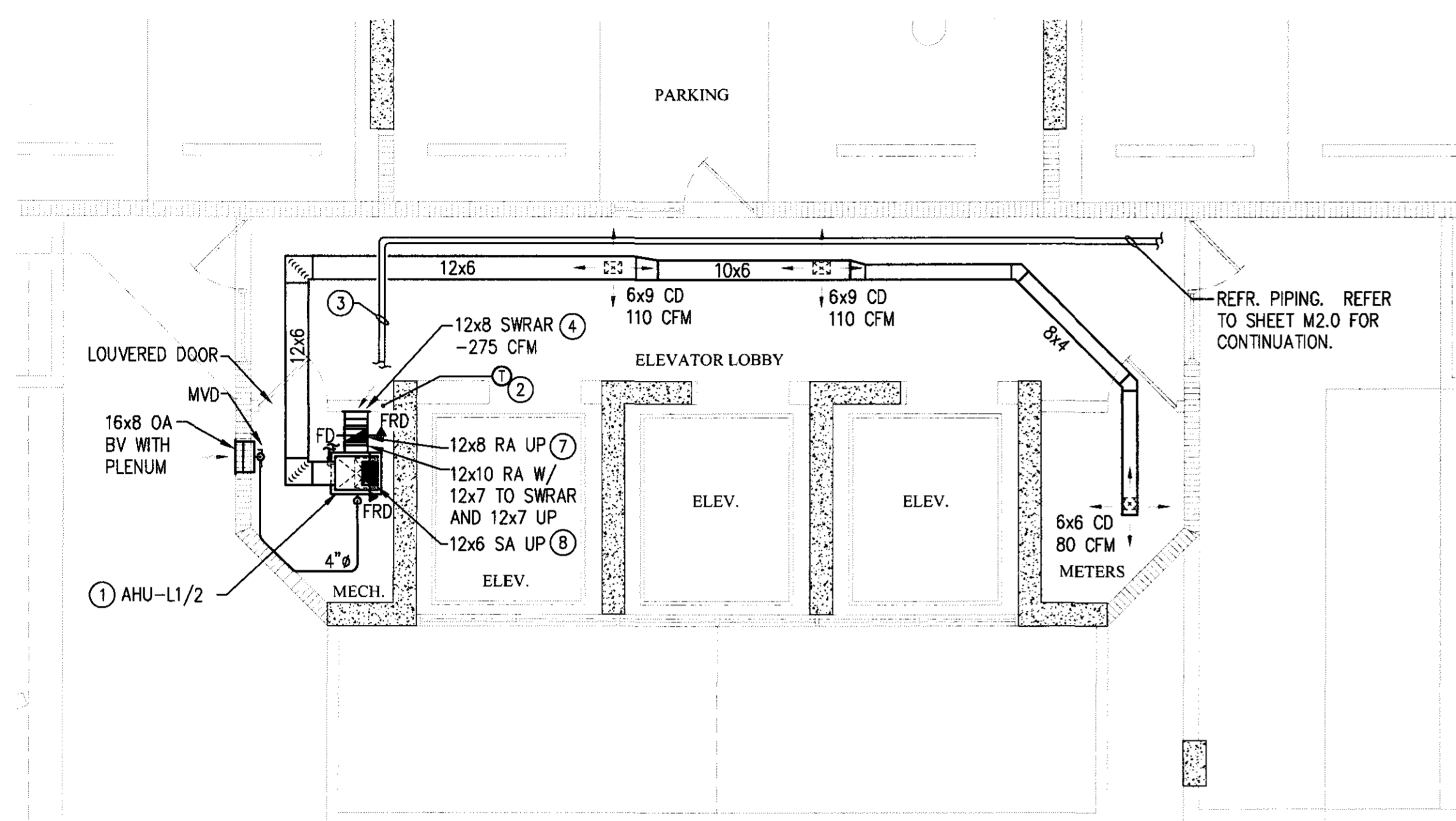
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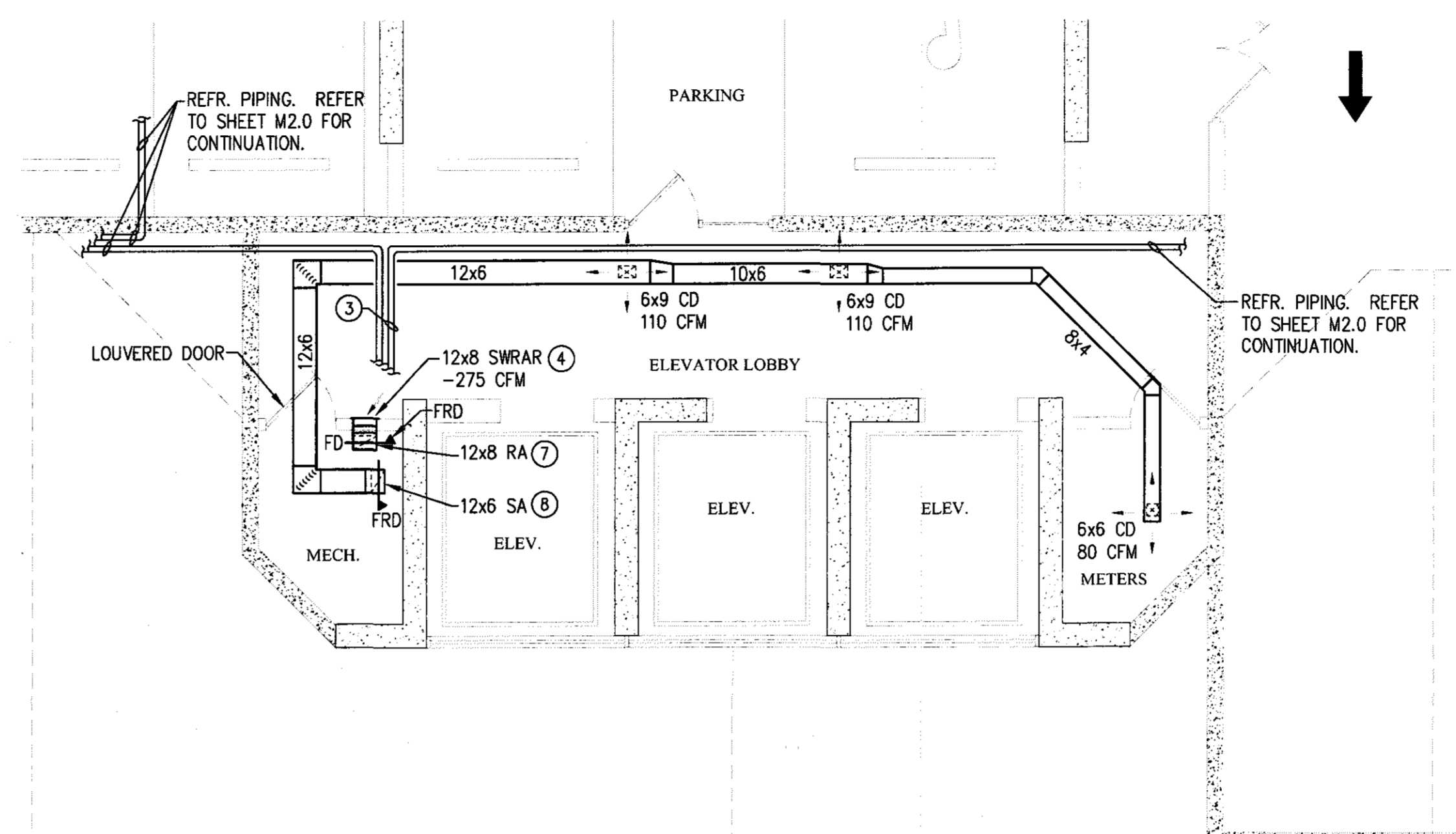
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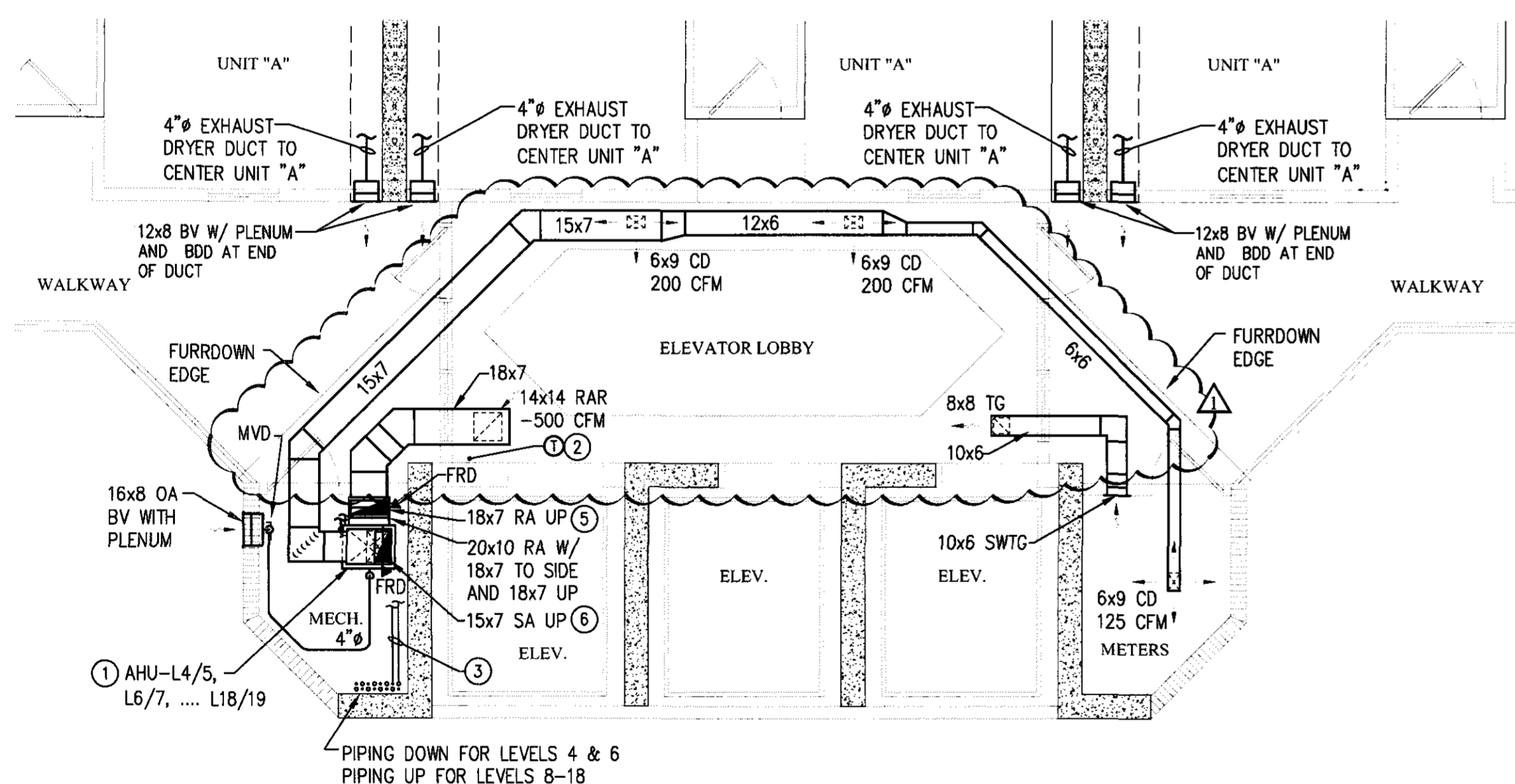
GROUND LEVEL ELEVATOR LOBBY HVAC PLAN

SCALE: 3/16" = 1'-0"



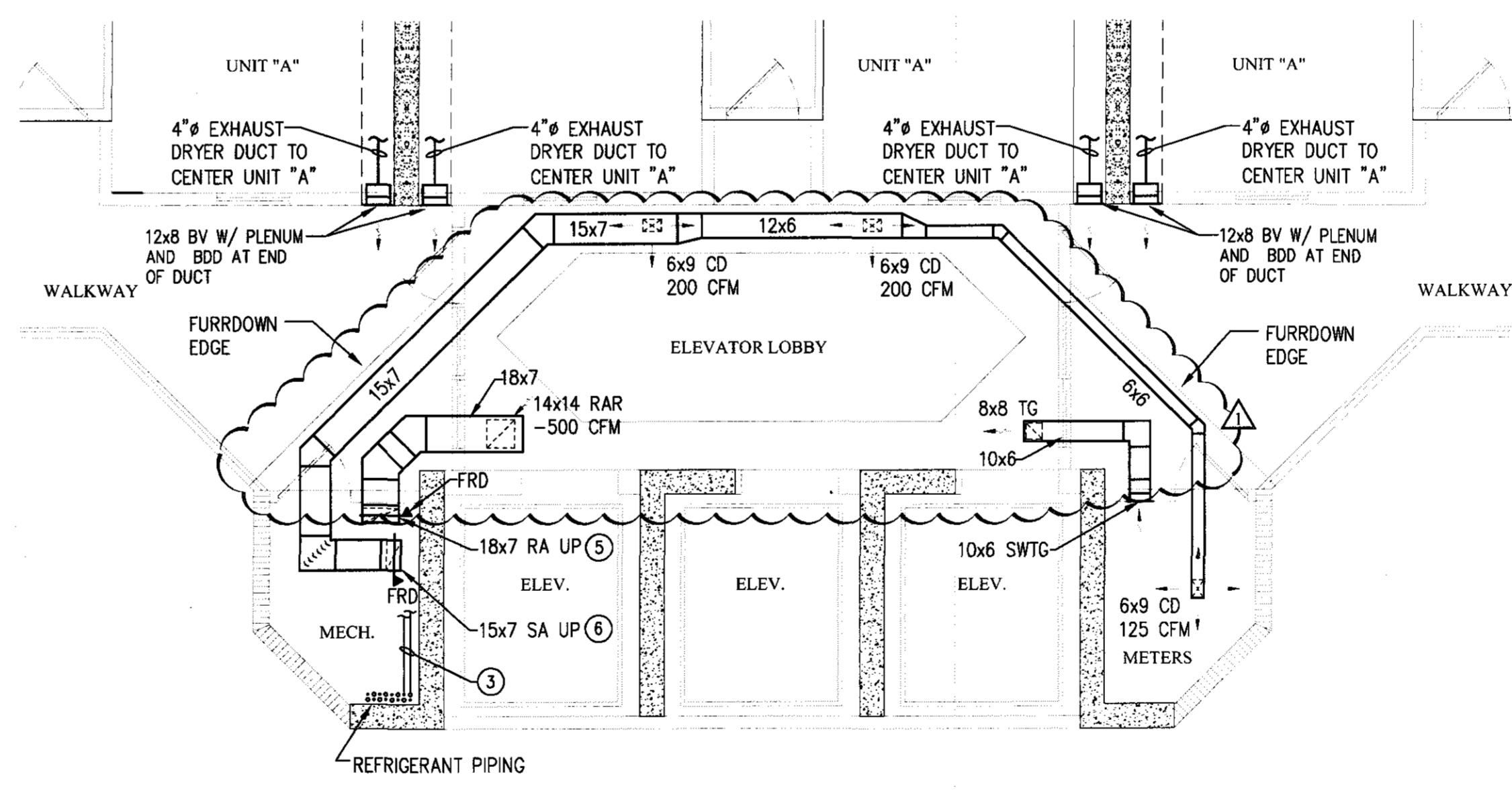
2nd LEVEL ELEVATOR LOBBY HVAC PLAN

SCALE: 3/16" = 1'-0"



TYPICAL EVEN LEVELS (4,6,8,10,12,14,16,18) ELEVATOR LOBBIES HVAC PLAN

SCALE: 3/16" = 1'-0"

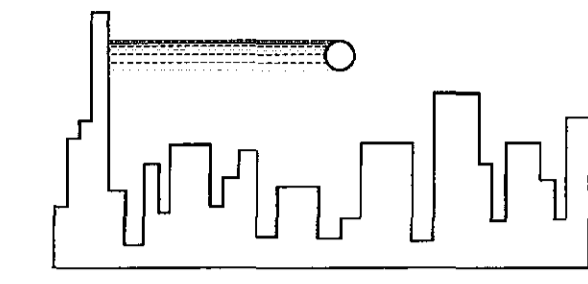


TYPICAL ODD LEVELS (5,7,9,11,13,15,17,19) ELEVATOR LOBBIES HVAC PLAN

SCALE: 3/16" = 1'-0"

KEYNOTES

- ① MOUNT AIR HANDLING UNIT MOUNTED ON 30" HIGH RA PLENUM. CONSTRUCT RA PLENUM OF FIRE PROOF MATERIALS AND REINFORCE PLENUM AS REQUIRED. ROUTE 1" CONDENSATE DRAIN AND 1" EMERGENCY DRAIN TO CONDENSATE DRAIN RISER PER PLUMBING PLANS. INSULATE DRAIN PIPING WITH 1/2" WALL ARMAFLEX. INSTALL P-TRAP PER DETAIL ON SHEET M-1.1. SLOPE CONDENSATE PIPING A MINIMUM OF 1/4" PER FOOT. TRANSITION SA DUCT FROM FULL SIZE OF UNIT CONNECTION TO SIZE SHOWN PER PLANS. SEAL CONNECTIONS AIRTIGHT.
- ② THERMISTAT MOUNTED AT 54" AFF. WIRE TO AHU/OU PER MANUFACTURER'S INSTRUCTIONS.
- ③ ROUTE REFRIGERANT LINES OVER FROM AHU NEATLY TO CORRESPONDING CU. AVOID INTERFERENCE WITH MAINTENANCE ACCESS TO AHU. ROUTE 2nd & 4th FLOOR AHU PIPING DOWN IN CHASE AND ROUTE 6th - 18th FLOOR AHU PIPING UP IN CHASE. SIZE REFRIGERANT PIPING AND INSTALL ALL REFRIGERANT SPECIALTIES PER MANUFACTURER'S INSTRUCTIONS. INSULATE SUCTION PIPING PER SPECIFICATIONS. SECURE PIPING AT MAXIMUM 8'-0" ON CENTERS. TAG ALL PIPING WITH UNIT SERVED. (TYPICAL)
- ④ MOUNT SWRAR AT 6" AFF. CONNECT RA DUCT AT FULL SIZE OF REGISTER TO DUCT SHOWN. TRANSITION AND OFFSET AS REQUIRED.
- ⑤ ROUTE 18"x7" RA DUCT THROUGH FLOOR BETWEEN 4th/5th, 6th/7th ... 18th/19th LEVELS WITH FRD AND ACCESS PANEL. SEAL PENETRATION WITH FIRE CAULKING.
- ⑥ ROUTE 15"x7" SA DUCT THROUGH FLOOR BETWEEN 4th/5th, 6th/7th ... 18th/19th LEVELS WITH FRD AND ACCESS PANEL. SEAL PENETRATION WITH FIRE CAULKING.
- ⑦ ROUTE 12"x8" RA DUCT THROUGH FLOOR BETWEEN 1st/2nd LEVELS WITH FRD AND ACCESS PANEL. SEAL PENETRATION WITH FIRE CAULKING.
- ⑧ ROUTE 12"x6" SA DUCT THROUGH FLOOR BETWEEN 1st/2nd LEVELS WITH FRD AND ACCESS PANEL. SEAL PENETRATION WITH FIRE CAULKING.



Lewis Engineering & Associates, Inc.
 1621 S. University Blvd., Suite A-3 Mobile, AL 36609
 Phone: (251) 660-9221 Fax: (251) 660-9331
 LewisEng@aol.com



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30 N. PALAFOX
 PENSACOLA,
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**Elevator
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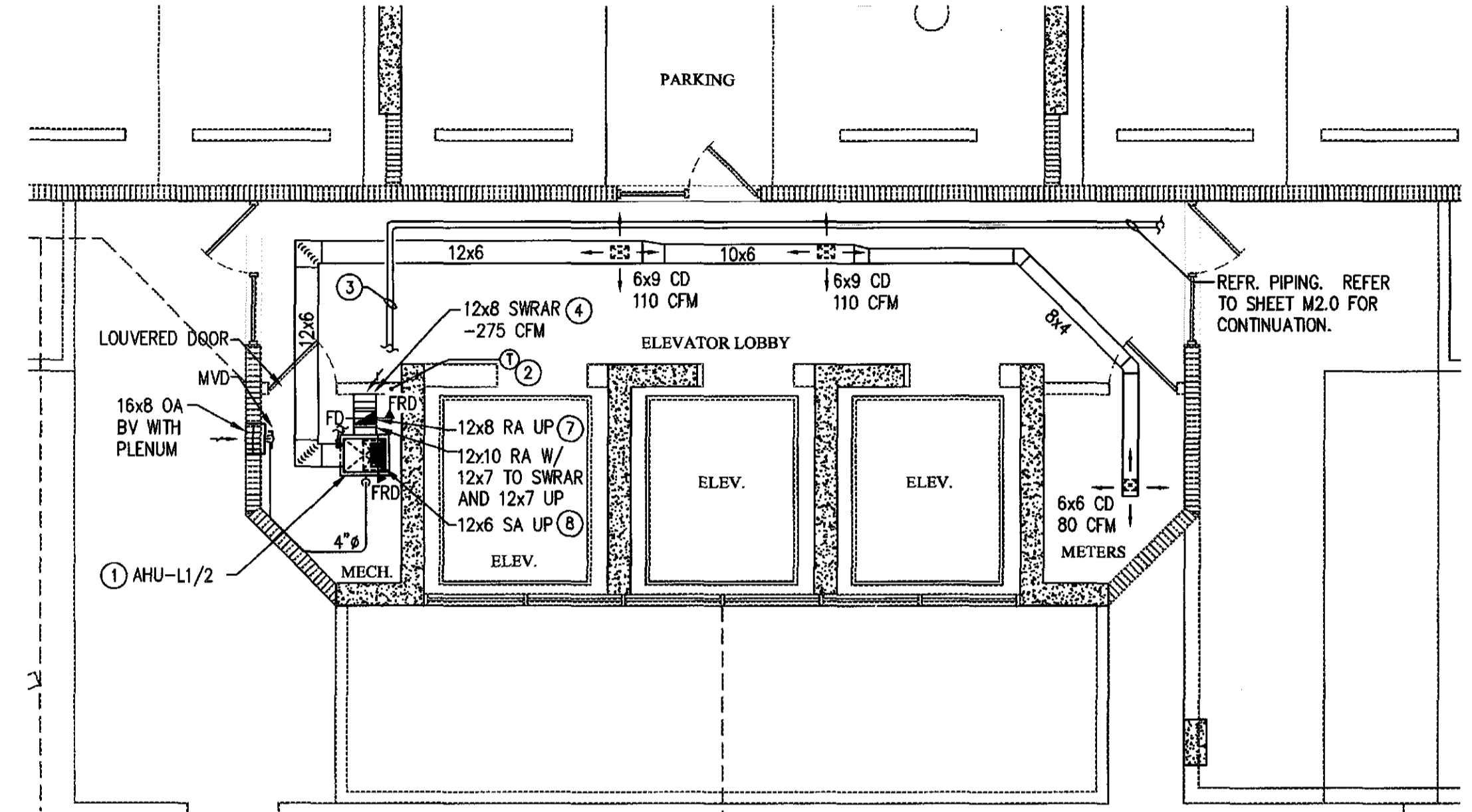
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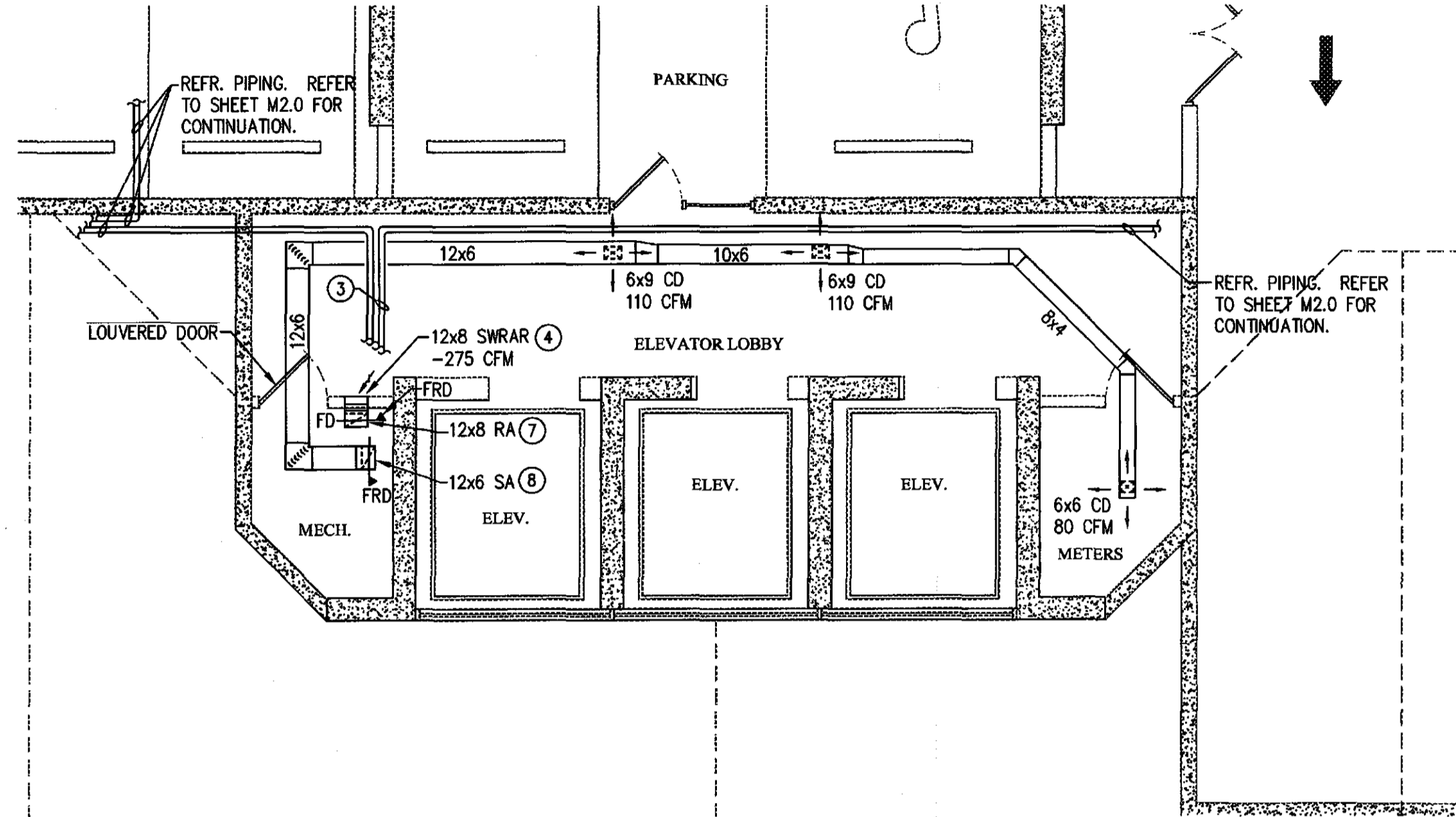
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KEYNOTES

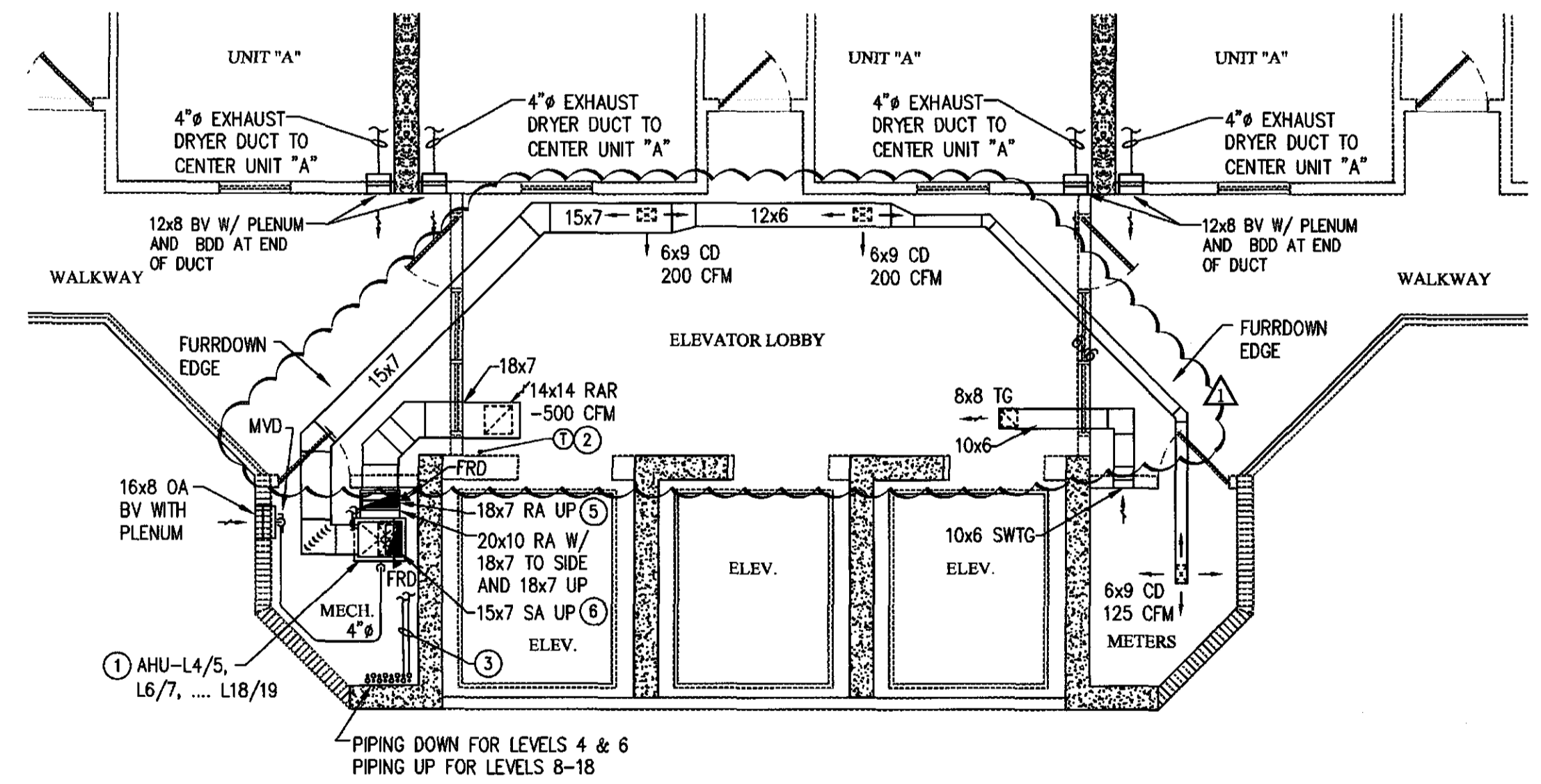
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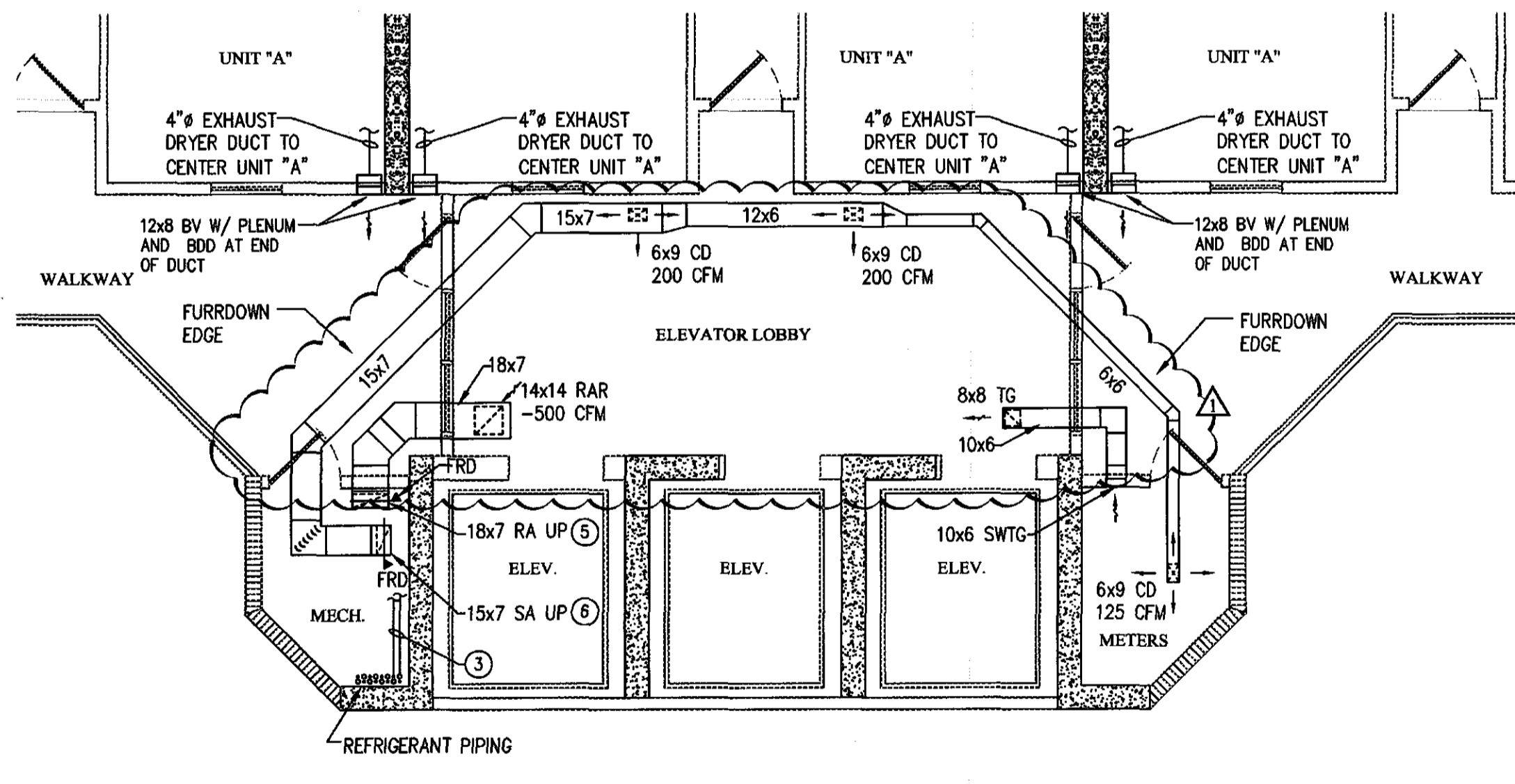
GROUND LEVEL ELEVATOR LOBBY HVAC PLAN
 SCALE: 3/16" = 1'-0"



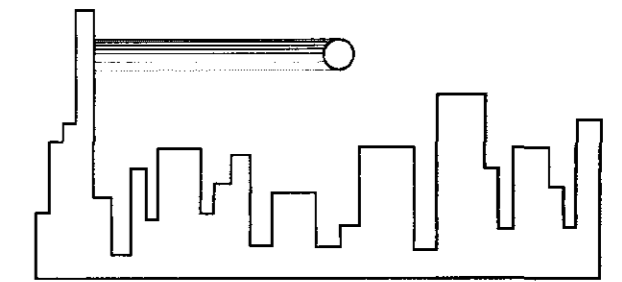
2nd LEVEL ELEVATOR LOBBY HVAC PLAN
 SCALE: 3/16" = 1'-0"



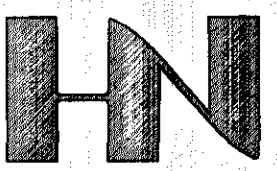
TYPICAL EVEN LEVELS (4,6,8,10,12,14,16,18) ELEVATOR LOBBIES HVAC PLAN
 SCALE: 3/16" = 1'-0"



TYPICAL ODD LEVELS (5,7,9,11,13,15,17,19) ELEVATOR LOBBIES HVAC PLAN
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Roof
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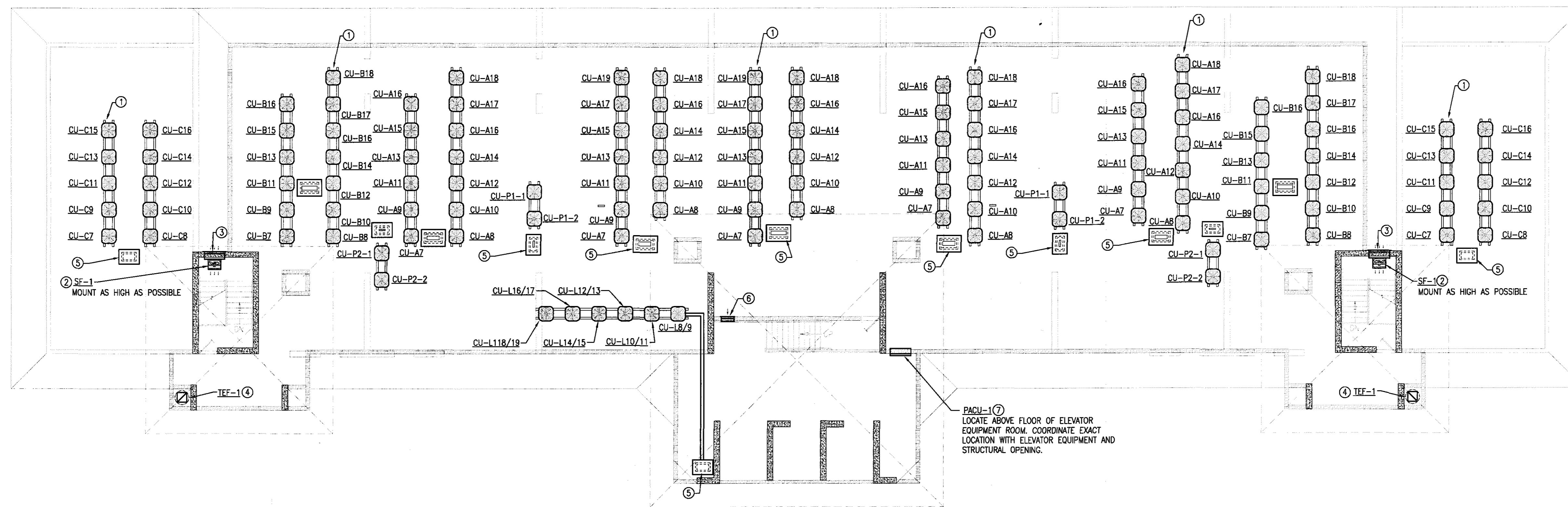
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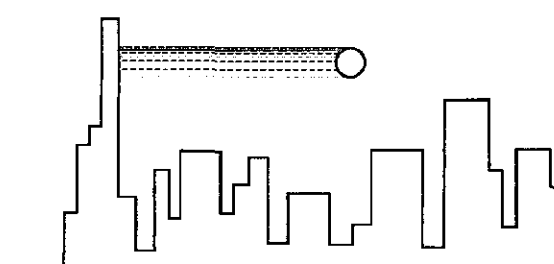
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KEYNOTES

- ① COORDINATE EXACT LOCATIONS, DIMENSIONS, AND WEIGHTS OF ALL CU'S WITH STRUCTURAL CONTRACTOR. SECURE CONDENSING UNITS TO STRUCTURAL SUPPORT RAILS WITH NEOPRENE PADS AND CORROSION RESISTANT HARDWARE. ROUTE REFRIGERANT PIPING SIZED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS FROM CU NEATLY AND SECURELY TO CORRESPONDING AHU. INSTALL REFRIGERANT SPECIALTIES AS RECOMMENDED BY MANUFACTURER. INSULATE SUCTION PIPING PER SPECIFICATIONS. REFER TO STRUCTURAL PLANS AND ARCHITECTURAL ROOF DETAILS FOR ADDITIONAL INFORMATION. COORDINATE ALL INSTALLATIONS WITH OTHER TRADES. (TYPICAL)
- ② WALL MOUNTED EMERGENCY STAIRWELL PRESSURIZATION FAN. MOUNT FAN WITH BACK OF PLENUM FLUSH WITH INSIDE WALL AS HIGH AS POSSIBLE PER DETAIL ON SHEET M-1.1. INTERLOCK FAN WITH FIRE ALARM SYSTEM.
- ③ 42"x42" DRAINABLE LOUVER WITH 8" DEEP GALVANIZED STEEL PLENUM AT FULL SIZE OF LOUVER. EXTEND PLENUM THROUGH WALL AND MOUNT FAN TO PLENUM.
- ④ INSTALL TRASH CHUTE EXHAUST FAN (TEF) AT TOP OF TRASH CHUTE ON 12" HIGH ROOF CURB. SECURE CURB TO ROOF AND FAN TO CURB. REFER TO DETAIL ON SHEET M-1.1 FOR ADDITIONAL INFORMATION. (TYPICAL)
- ⑤ INSTALL REFRIGERANT CHASE HOOD ON ROOF WITH 12" HIGH ALUMINUM ROOF CURB. HOOD AND CURB SHALL BE ALUMINUM. HOOD SHALL HAVE HINGED COVER OR REMOVABLE BOLTED COVER. HOOD SHALL BE EQUAL ACME SERIES EV HOOD WITH HINGED TOP AND MINIMUM 24"x12" THROAT. ROUTE PIPING AND CONTROL WIRING THROUGH THROAT TO CONDENSING UNITS. EXACT SIZE AND LOCATION MAY VARY AS REQUIRED AND COORDINATED WITH STRUCTURAL OPENINGS AND OTHER TRADES. SECURE CURB TO ROOF AND FAN TO CURB. REFER TO DETAIL ON SHEET M-1.1 FOR ADDITIONAL INFORMATION. (TYPICAL)
- ⑥ 42"Wx18"H LOUVER WITH PLENUM THROUGH WALL FOR PRESSURE RELIEF AND VENTILATION OF STAIRWELL. INSTALL IN WALL MINIMUM 12" ABOVE ROOF AND BELOW EQUIPMENT ROOM FLOOR. COORDINATE EXACT LOCATION WITH OTHER TRADES. SEAL INSTALLATION WEATHERPROOF.
- ⑦ INSTALL PTAC WITH WALL SLEEVE AND LOUVER ABOVE FLOOR OF ELEVATOR EQUIPMENT ROOM. COORDINATE EXACT LOCATION WITH ELEVATOR EQUIPMENT AND STRUCTURAL OPENING. INSTALL AUXILIARY DRAIN KIT FOR PTAC. SEAL INSTALLATION WEATHERPROOF.



ROOF HVAC PLAN
SCALE: 3/32" = 1'-0"



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 1621 S. University Blvd., Suite A-3 Mobile, AL 36609
 Phone: (251) 660-9221 Fax: (251) 660-9331
 LewisEng@bellsouth.net



**HENRY
 NORRIS &
 ASSOC., INC.**

ARCHITECTURE &
 ENVIRONMENTAL
 DESIGN

30 N. PALAFOX
 PENSACOLA,
 FLORIDA 32501

(850) 432-6011
 FAX 435-9011
 henry@hnorris.com

Roof
 HVAC Plan

San Carlos Condominium
 Gulf Shores, Alabama

JOB NO.: 099807
 CAD: JRS
 CHECKED: SBP
 DATE: 6/10/04
 REVISIONS:

SEAL

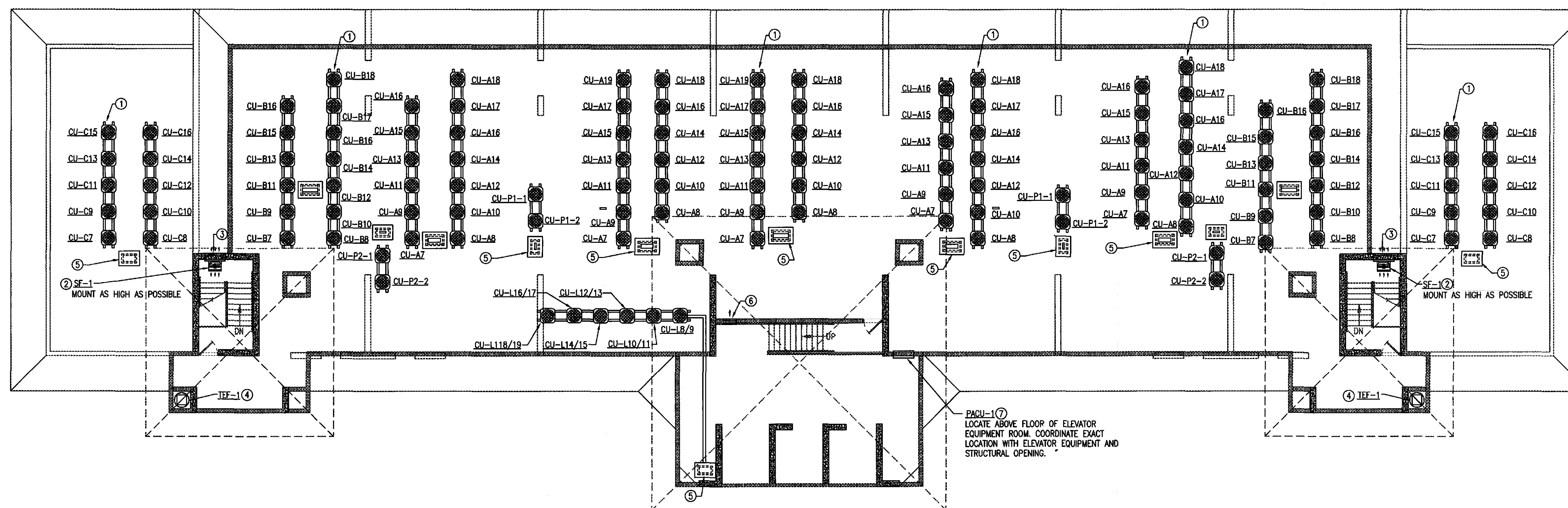
SHEET

M-2.2

OF

KEYNOTES

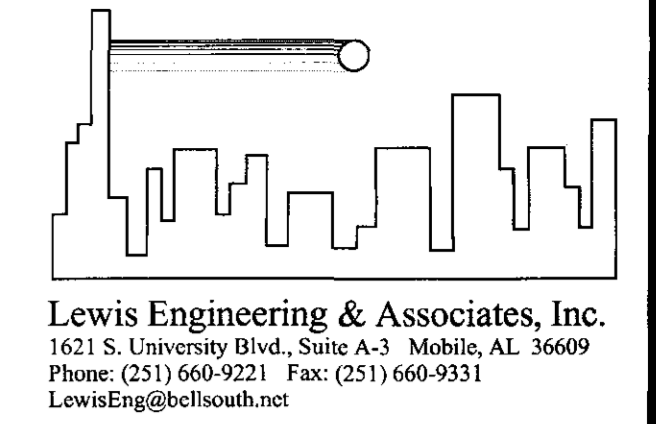
- ① COORDINATE EXACT LOCATIONS, DIMENSIONS, AND WEIGHTS OF ALL CU'S WITH STRUCTURAL CONTRACTOR. SECURE CONDENSING UNITS TO STRUCTURAL SUPPORT RAILS WITH NEOPRENE PADS AND CORROSION RESISTANT HARDWARE. ROUTE REFRIGERANT PIPING SIZED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS FROM CU NEATLY AND SECURELY TO CORRESPONDING AHU. INSTALL REFRIGERANT SPECIALTIES AS RECOMMENDED BY MANUFACTURER. INSULATE SUCTION PIPING PER SPECIFICATIONS. REFER TO STRUCTURAL PLANS AND ARCHITECTURAL ROOF DETAILS FOR ADDITIONAL INFORMATION. COORDINATE ALL INSTALLATIONS WITH OTHER TRADES. (TYPICAL)
- ② WALL MOUNTED EMERGENCY STAIRWELL PRESSURIZATION FAN. MOUNT FAN WITH BACK OF PLENUM FLUSH WITH INSIDE WALL AS HIGH AS POSSIBLE PER DETAIL ON SHEET M-1.1. INTERLOCK FAN WITH FIRE ALARM SYSTEM.
- ③ 42"x42" DRAINABLE LOUVER WITH 6" DEEP GALVANIZED STEEL PLENUM AT FULL SIZE OF LOUVER. EXTEND PLENUM THROUGH WALL AND MOUNT FAN TO PLENUM.
- ④ INSTALL TRASH CHUTE EXHAUST FAN (TEF) AT TOP OF TRASH CHUTE ON 12" HIGH ROOF CURB. SECURE CURB TO ROOF AND FAN TO CURB. REFER TO DETAIL ON SHEET M-1.1 FOR ADDITIONAL INFORMATION. (TYPICAL)
- ⑤ INSTALL REFRIGERANT CHASE HOOD ON ROOF WITH 12" HIGH ALUMINUM ROOF CURB. HOOD AND CURB SHALL BE ALUMINUM. HOOD SHALL HAVE HINGED COVER OR REMOVABLE BOLTED COVER. HOOD SHALL BE EQUAL ACME SERIES EV HOOD WITH HINGED TOP AND MINIMUM 24"x12" THROAT. ROUTE PIPING AND CONTROL WIRING THROUGH THROAT TO CONDENSING UNITS. EXACT SIZE AND LOCATION MAY VARY AS REQUIRED AND COORDINATED WITH STRUCTURAL OPENINGS AND OTHER TRADES. SECURE CURB TO ROOF AND FAN TO CURB. REFER TO DETAIL ON SHEET M-1.1 FOR ADDITIONAL INFORMATION. (TYPICAL)
- ⑥ 42"Wx18"H LOUVER WITH PLENUM THROUGH WALL FOR PRESSURE RELIEF AND VENTILATION OF STAIRWELL. INSTALL IN WALL MINIMUM 12" ABOVE ROOF AND BELOW EQUIPMENT ROOM FLOOR. COORDINATE EXACT LOCATION WITH OTHER TRADES. SEAL INSTALLATION WEATHERPROOF.
- ⑦ INSTALL PTAC WITH WALL SLEEVE AND LOUVER AND ABOVE FLOOR OF ELEVATOR EQUIPMENT ROOM. COORDINATE EXACT LOCATION WITH ELEVATOR EQUIPMENT AND STRUCTURAL OPENING. INSTALL AUXILIARY DRAIN KIT FOR PTAC. SEAL INSTALLATION WEATHERPROOF.



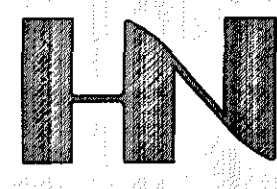
ROOF HVAC PLAN
 SCALE: 3/32" = 1'-0"

SHEET NOTES

- ① MOUNT AIR HANDLING UNIT MOUNTED ON 30" HIGH RA PLENUM. CONSTRUCT RA PLENUM OF FIRE PROOF MATERIALS AND REINFORCE PLENUM AS REQUIRED. LEAVE FRONT OF RA PLENUM OPEN FOR RA ENTRY. ROUTE CONDENSATE DRAIN AT FULL SIZE OF UNIT CONNECTION TO DRAIN. REFER TO WASTE PLUMBING PLANS FOR EXACT LOCATIONS OF DRAIN. INSULATE DRAIN PIPING WITH 1/2" WALL ARMAFLEX. INSTALL P-TRAP PER DETAIL ON SHEET M-1.1. SLOPE CONDENSATE PIPING A MINIMUM OF 1/4" PER FOOT. TRANSITION SA DUCT FROM FULL SIZE OF UNIT CONNECTION TO SIZE SHOWN PER PLANS. SEAL CONNECTIONS AIRTIGHT.
- ② THERMISTAT MOUNTED AT 54" AFF. WIRE TO AHU/CU PER MANUFACTURER'S INSTRUCTIONS.
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- ④ INSTALL CEILING EXHAUST FAN WITH SOLID STATE SPEED CONTROLLER PER MANUFACTURER'S INSTRUCTIONS. BALANCE PER SCHEDULE ON SHEET M-1.1. ROUTE EXHAUST DUCT SIZE PER PLANS TO BLOCK VENT PER PLANS.
- ⑤ ROUTE REFRIGERANT LINES FROM AHU TO CHASE. AVOID INTERFERENCE WITH MAINTENANCE ACCESS TO AHU. ROUTE 6TH LEVEL AND LOWER REFRIGERANT PIPING DOWN IN CHASE AND ROUTE 7TH LEVEL AND ABOVE PIPING UP IN CHASE. SIZE REFRIGERANT PIPING AND INSTALL ALL REFRIGERANT SPECIALTIES PER MANUFACTURER'S INSTRUCTIONS. SLEEVE AND FIREPROOF SEAL ALL PENETRATIONS AT SLAB. PRESSURE TEST ALL PIPING PRIOR TO INSULATION OF SUCTION PIPING, FIREPROOFING AND CLOSING CHASE. INSULATE SUCTION PIPING PER SPECIFICATIONS. SECURE PIPING AT MAXIMUM 8'-0" ON CENTERS.
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- ⑧ UNDERCUT DOOR FOR RA TRANSFER. TYPICAL ALL BEDROOMS.



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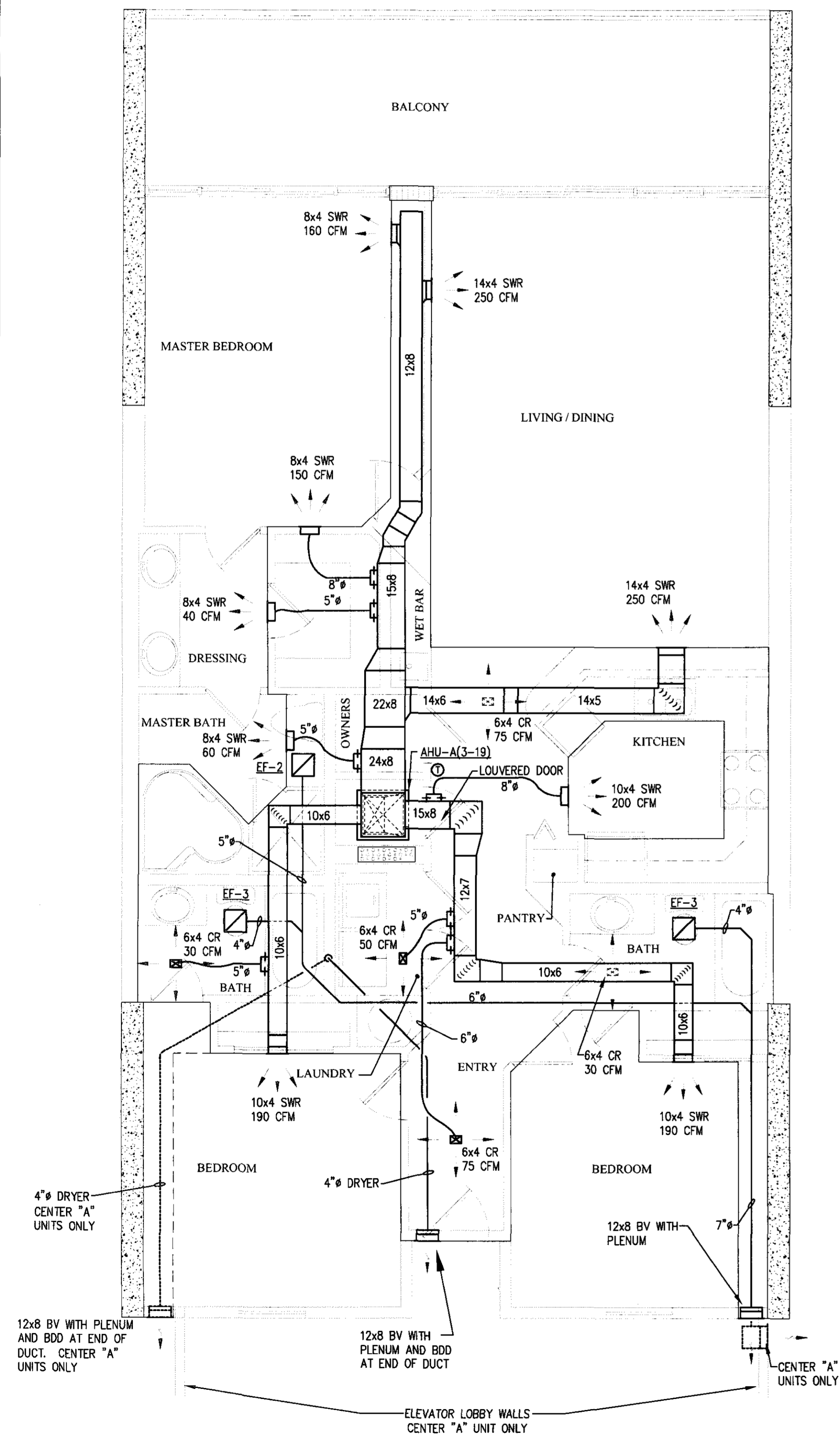
ARCHITECTURE & ENVIRONMENTAL DESIGN

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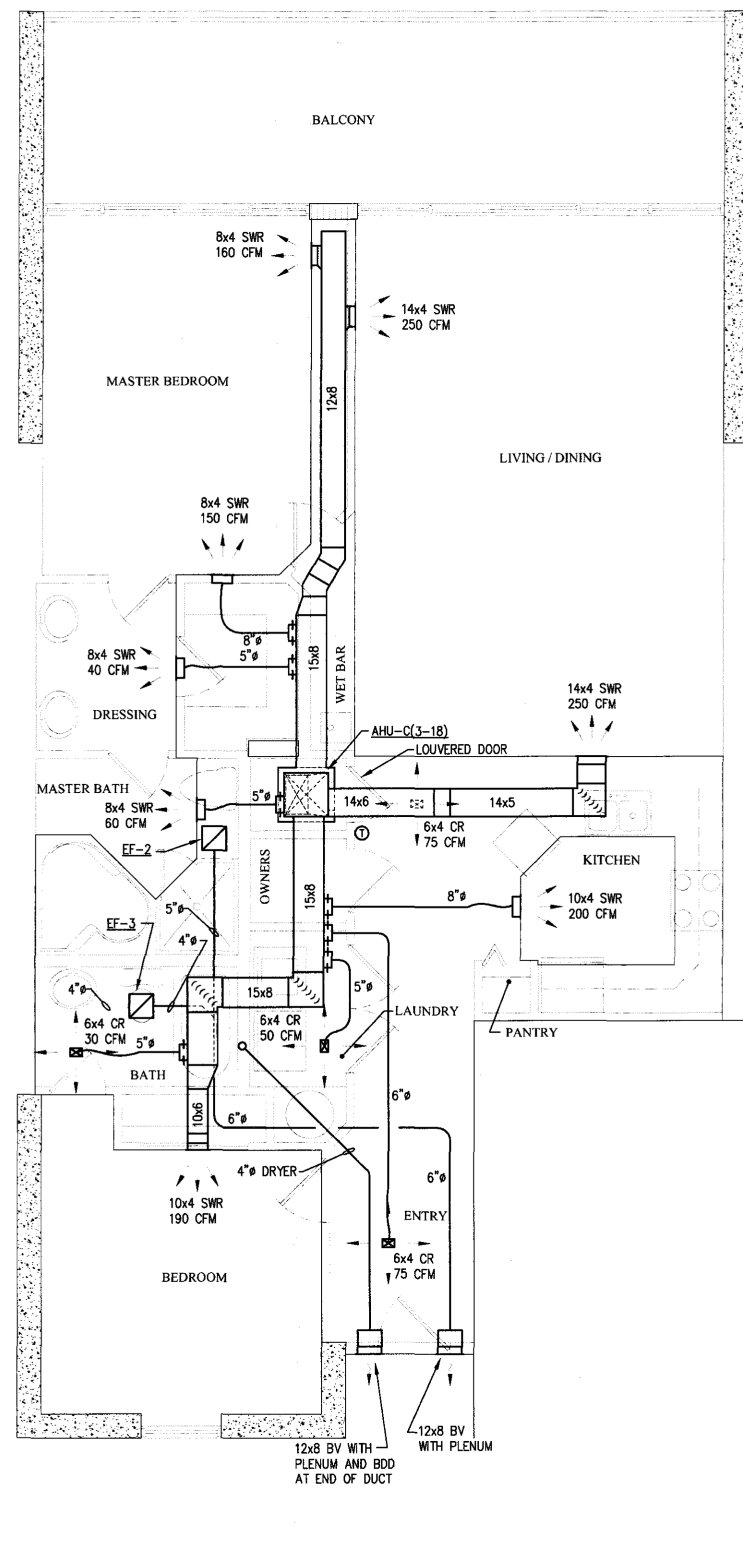
(850) 432-6011
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Units A, B & C HVAC Plans

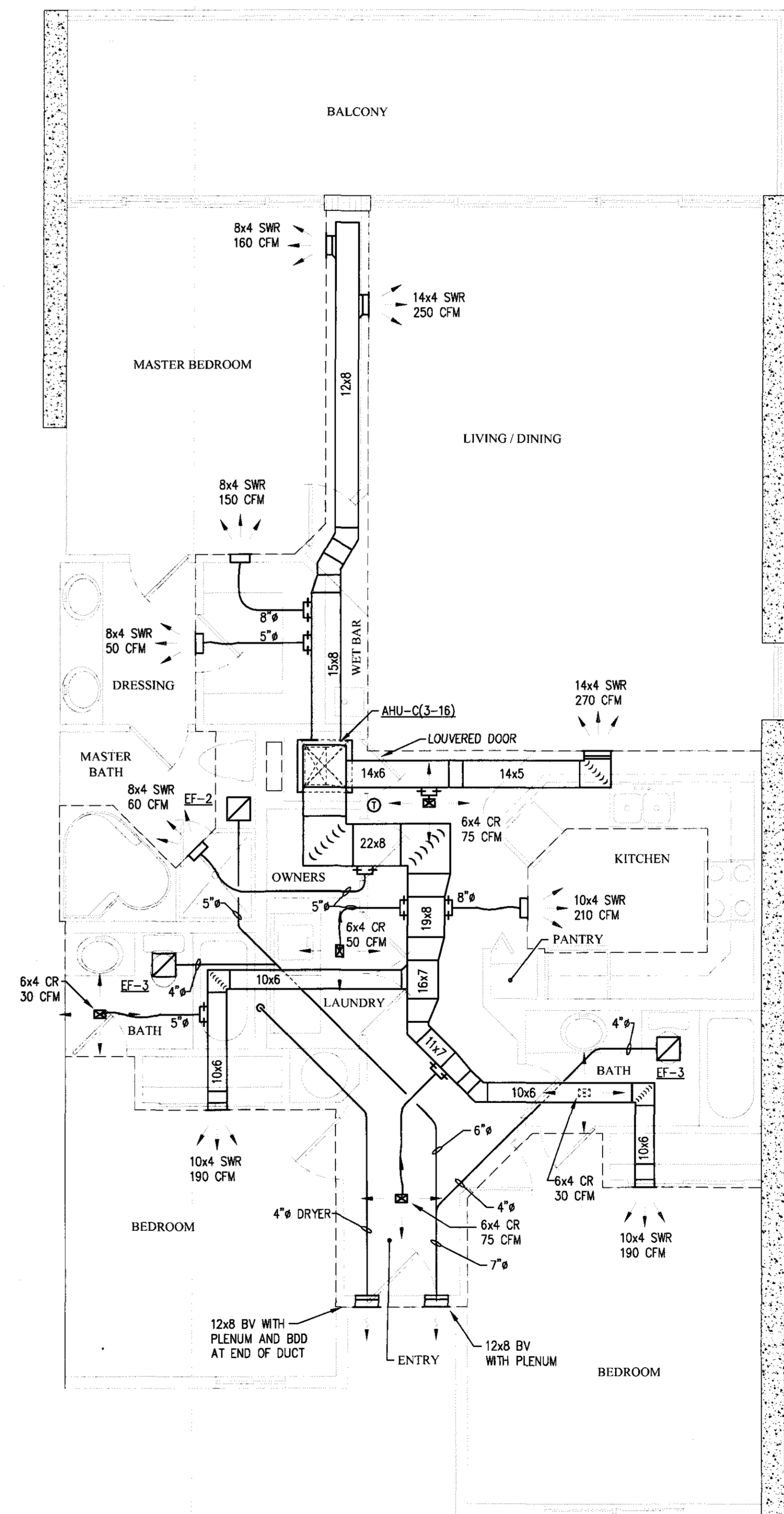
San Carlos Condominium
Gulf Shores, Alabama



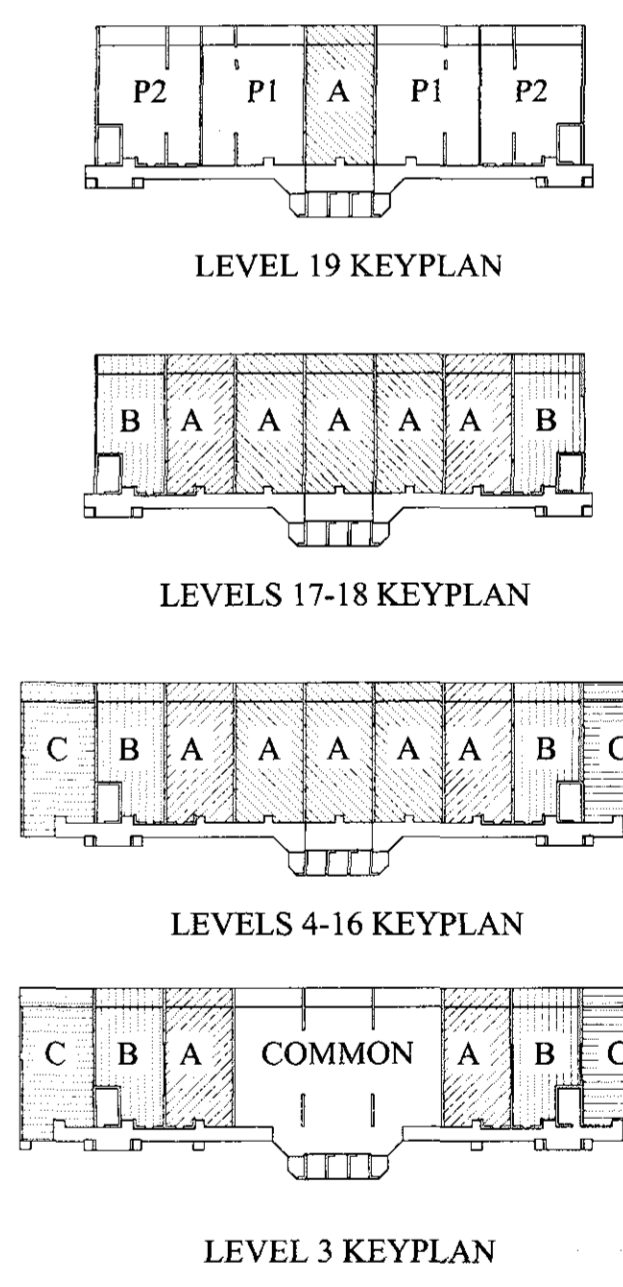
UNIT "A" HVAC PLAN
SCALE: 1/4" = 1'-0" TYPICAL OF 78 UNITS
(16 ARE CENTER "A")



UNIT "B" HVAC PLAN
SCALE: 1/4" = 1'-0" TYPICAL OF 32 UNITS



UNIT "C" HVAC PLAN
SCALE: 1/4" = 1'-0" TYPICAL OF 28 UNITS



JOB NO.: 099807
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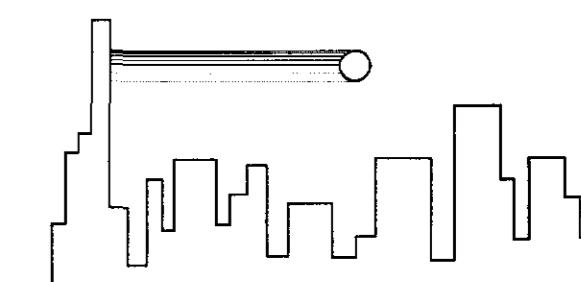
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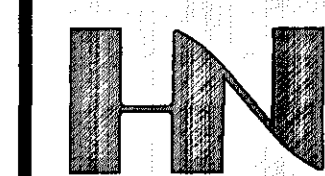
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OF

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Units
P1 & P2
HVAC Plans

San Carlos Condominium

Gulf Shores, Alabama

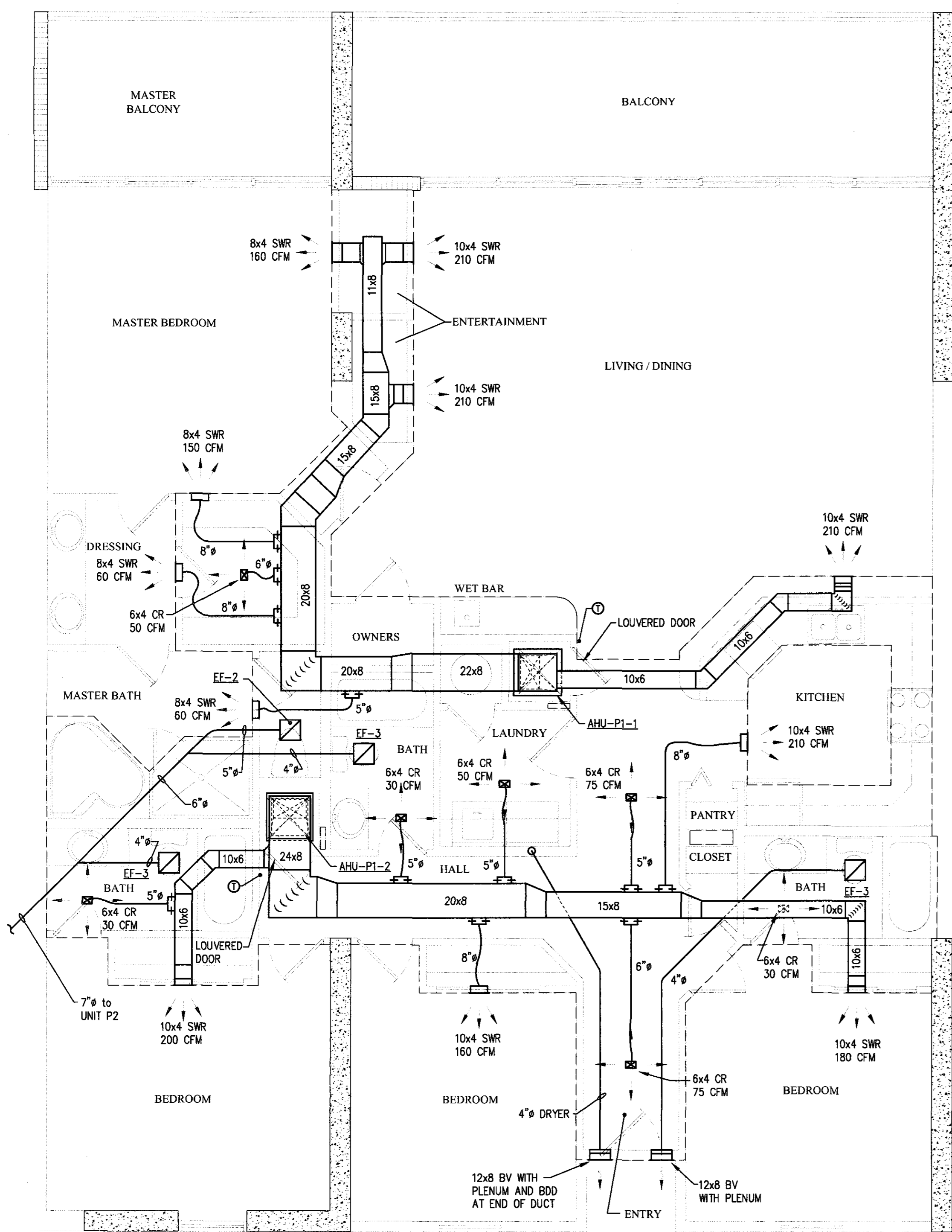
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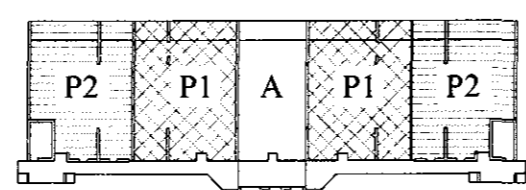
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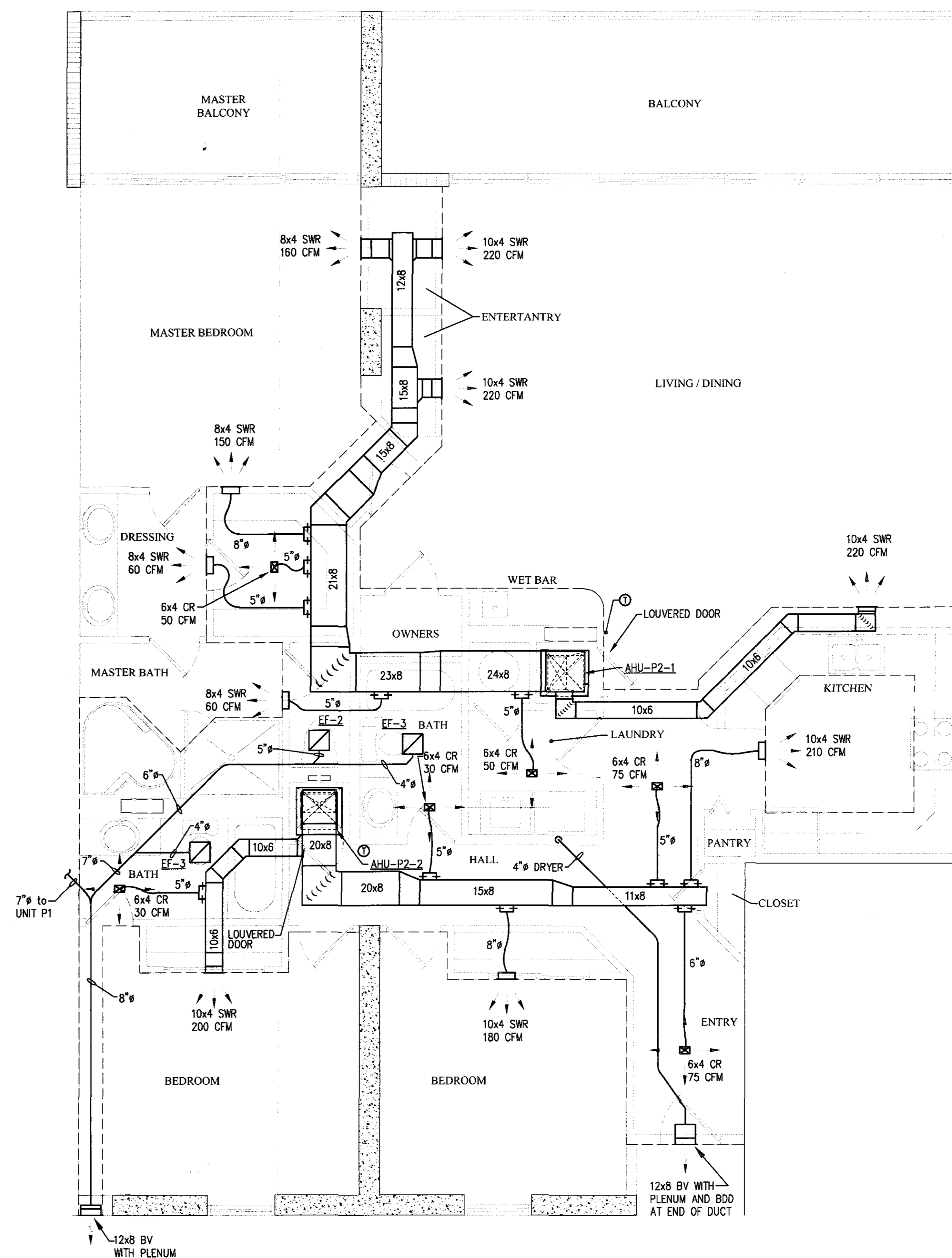


UNIT "P1" HVAC PLAN

SCALE: 1/4" = 1'-0" TYPICAL OF 2 UNITS

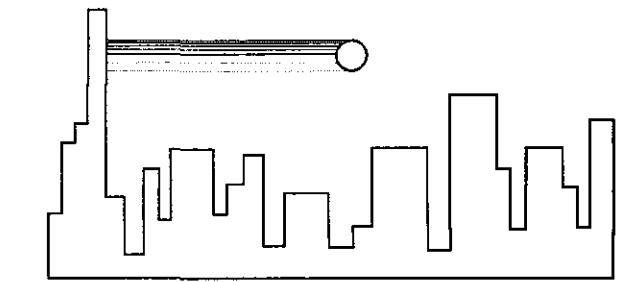


LEVEL 19 KEYPLAN

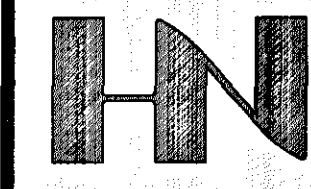


UNIT "P2" HVAC PLAN

SCALE: 1/4" = 1'-0" TYPICAL OF 2 UNITS



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 DESIGN

30 N. PALAFOX
 PENSACOLA,
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(850) 432-6011
 FAX 435-9011
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**Common
 Area
 HVAC Plan**

San Carlos Condominium
 Gulf Shores, Alabama

JOB NO.: 099807
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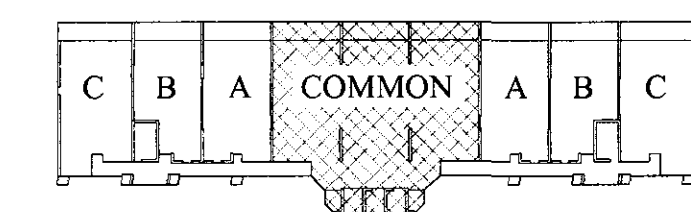
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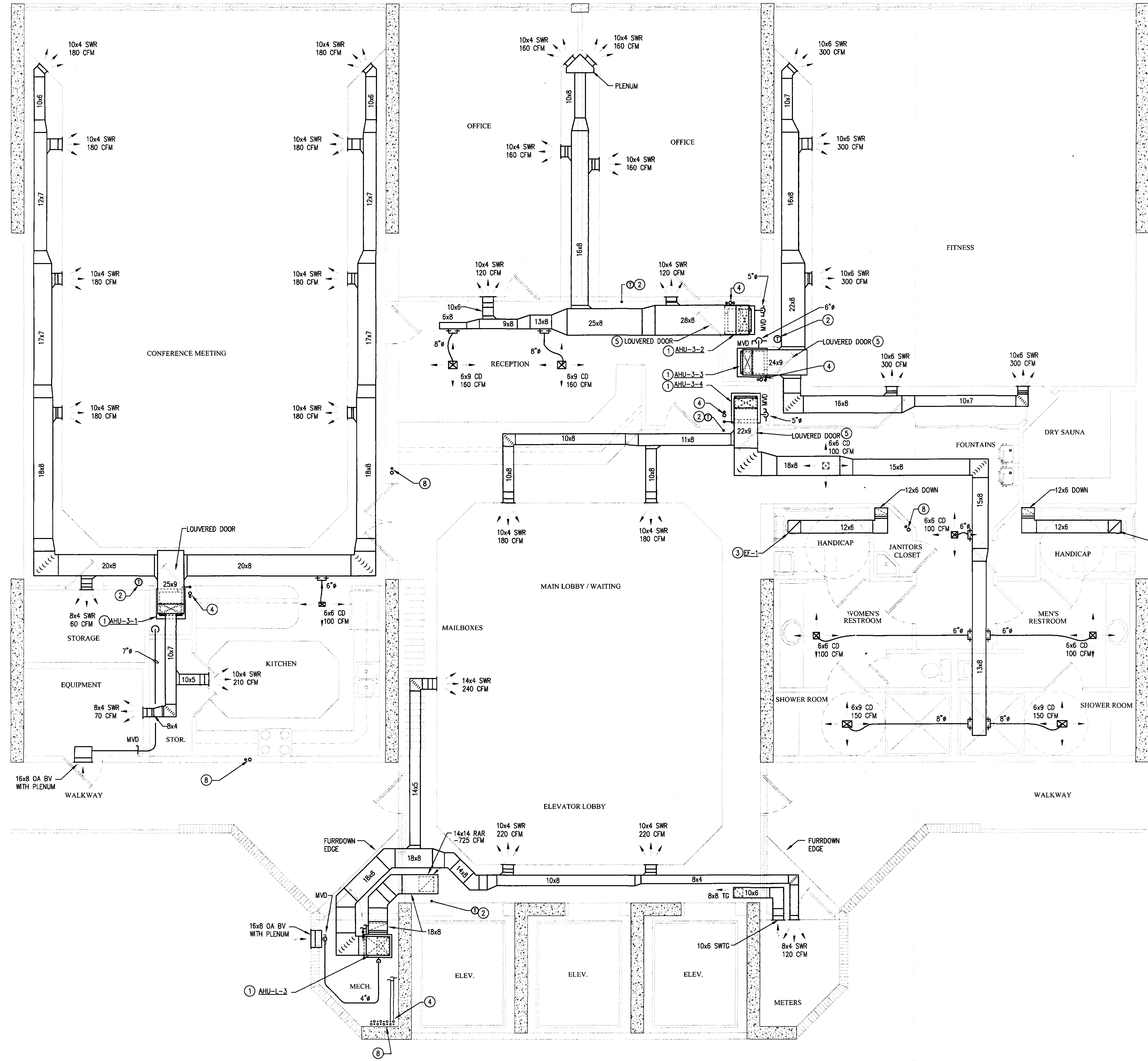
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KEYNOTES

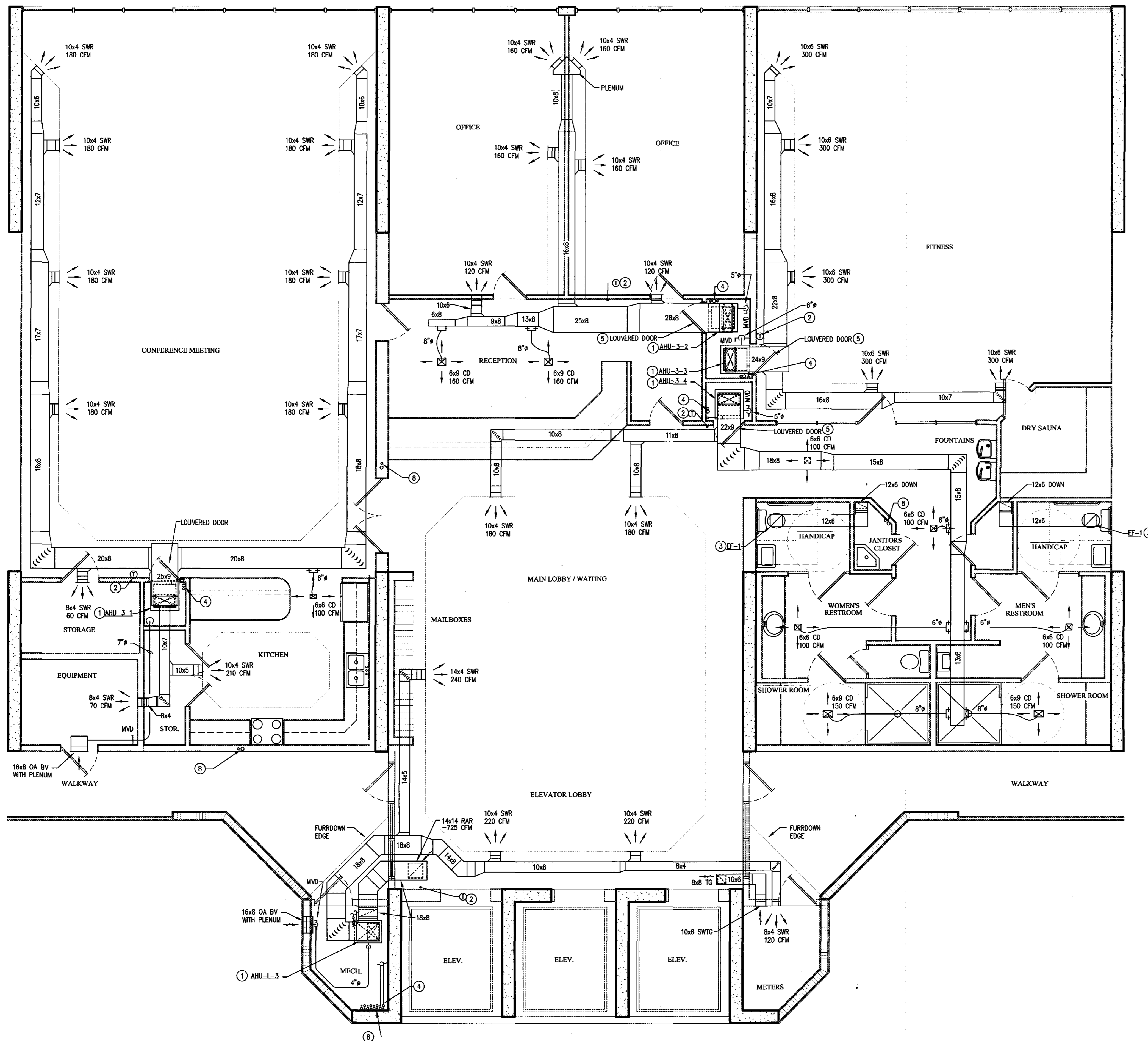
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- ⑧ REFRIGERANT PIPING DOWN FOR LEVELS 4,5,6,6 "A" UNITS. REFER TO LEVEL 2 HVAC PLAN ON SHEET M-2.1 FOR CONTINUATION.



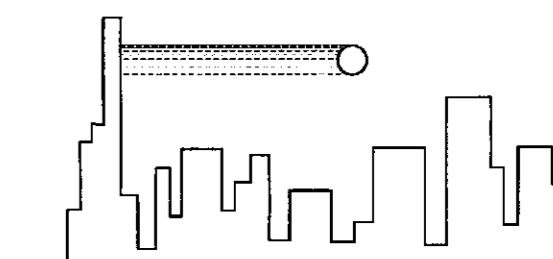
LEVEL 3 KEYPLAN



3RD LEVEL COMMON AREA HVAC PLAN
 SCALE: 1/4" = 1'-0"



3RD LEVEL COMMON AREA HVAC PLAN
SCALE: 1/4" = 1'-0"



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LEVEL 3 KEYPLAN



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ARCHITECTURE & ENVIRONMENTAL DESIGN

30 N. PALAFOX
PENSACOLA,
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(850) 432-6011
FAX 435-9011
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Common Area HVAC Plan

San Carlos Condominium
Gulf Shores, Alabama

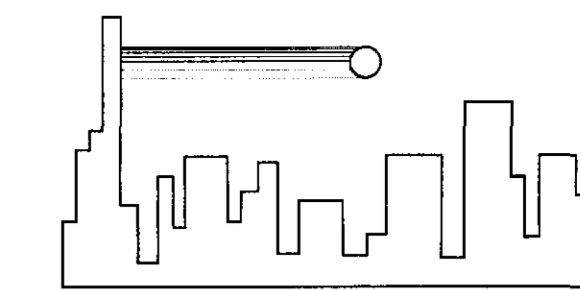
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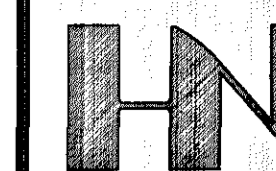
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OF



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Phone: (251) 660-9221 Fax: (251) 660-9331
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DESIGN

30 N. PALAFOX
PENSACOLA,
FLORIDA 32501

(850) 432-6011
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PLUMBING
& SCHEDULES

San Carlos Condominium

Cliff Shore, Alabama

JOB NO.: 099807
CAD: JRS
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REVISIONS:

SEAL

SHEET

P-1.0

OF

FIRE PROTECTION GENERAL NOTES:

- ALL UNITS SHALL BE FULLY SPRINKLERED FOR FIRE PROTECTION PER NFPA 13, LATEST EDITION, & LOCAL FIRE AUTHORITY REQUIREMENTS.
- PROVIDE COMPLETE DRY PIPE FIRE PROTECTION SPRINKLER SYSTEM FOR PARKING GARAGE AND TRASH CHUTES COMPLETE AND READY FOR OPERATION.
- PROVIDE COMPLETE FREEZE PROTECTION FOR ALL SPRINKLER PIPING EXPOSED TO FREEZING CONDITIONS, INCLUDING RISERS.
- PROVIDE STANDPIPE SYSTEM AT EACH STAIRWELL AS INDICATED.
- INSTALLATION OF FIRE & JOCKEY PUMP SHALL CONFORM TO NFPA 20.
- SUBMIT COMPLETE SHOP DRAWINGS FOR APPROVAL SIGNED & SEALED BY A REGISTERED FIRE PROTECTION ENGINEER LICENSED IN THE STATE OF ALABAMA. SUBMIT TO LOCAL AUTHORITIES.
- HEAT TRACING TAPE SHALL BE RAYCHEM SELF REGULATING TYPE, 5 WATTS PER LINEAR FOOT FOR PIPING SUBJECT TO FREEZING.
- PROVIDE & INSTALL AT THE TRASH CHUTE AN AUTOMATIC FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA 13. PROVIDE SPRINKLER HEADS AT THE TOP, BOTTOM & ALTERNATE FLOORS.
- SPRINKLER HEADS FOR RESIDENCE AREAS SHALL BE RECESSED TYPE WITH ESCUTCHEONS. HEADS AND ESCUTCHEONS SHALL BE PAINTED WHITE. HEADS SHALL BE QUICK RESPONSE TYPE. OTHER HEADS SHALL BE IN ACCORDANCE WITH NFPA 13. COORDINATE HEAD FINISH AND LOCATIONS WITH ARCHITECT.
- PIPE SIZES SHOWN ARE PRELIMINARY. FINAL PIPE SIZING REQUIREMENTS ARE THE RESPONSIBILITY OF THE FIRE PROTECTION CONTRACTOR BASED ON HYDRAULIC CALCULATIONS.
- COORDINATE LOCATION OF FIRE DEPARTMENT CONNECTION WITH LOCAL FIRE AUTHORITIES.

PLUMBING GENERAL NOTES

- VERIFY CONNECTION SIZES ON ALL EQUIPMENT AND FIXTURES. TRANSITION PIPING AS NECESSARY.
- CONTRACTOR SHALL VERIFY CLEARANCE SPACE AVAILABLE, OFFSETS REQUIRED AND WORK BY OTHER TRADES FOR EXACT ROUTING OF PIPING.
- CONTRACTOR SHALL INSTALL ALL EQUIPMENT, FIXTURES AND PIPING WORK SUCH THAT MANUFACTURER'S RECOMMENDED CLEARANCES ARE MET FOR MAINTENANCE.
- INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS AND MANUFACTURER'S INSTRUCTIONS.
- DRAIN, WASTE AND VENT PIPING SHALL BE SCH 40 PVC EXCEPT AT FIRE RATED PENETRATIONS. INSTALL CAST IRON NO-HUB WITH BANDS AT FIRE RATED PENETRATIONS. CAULK OPENINGS WITH FIREPROOF SEALANT.
- CLEARLY LABEL SERVICE OF ALL PIPING AND VALVES WITH MARKERS OR TAGS.
- CONTRACTOR SHALL COORDINATE EXACT PIPE ROUTING REQUIREMENTS WITH HVAC EQUIPMENT AND DUCTWORK. OFFSET PLUMBING AROUND HVAC WHERE REQUIRED. LOCATE VTR'S MINIMUM 10 FEET FROM OA INTAKES. OFFSET PIPING FOR VTR'S TO PREVENT CONFLICTS WITH ROOF MOUNTED EQUIPMENT, WALKWAYS, ETC.
- CONTRACTOR SHALL CAREFULLY COORDINATE EXACT PIPE ROUTING WITH OTHER TRADES.
- ALL FLOOR DRAINS SHALL EITHER BE SERVED BY A TRAP PRIMER OR HAVE DEEP SEAL TRAPS.
- COORDINATE CONDENSATE DRAIN INSTALLATIONS FOR ALL AHU'S WITH HVAC CONTRACTOR.
- CONTRACTOR SHALL VERIFY COUNTS OF ALL FIXTURES PRIOR TO BIDDING AND ORDERING.

PLUMBING ACCESSORIES

- | | | |
|-----|-----------------------|--|
| FD | FLOOR DRAIN | ZURN 415-NL-P; 5" ROUND STRAINER, CAST IRON BODY, OUTLET SIZE AS SHOWN ON FLOOR PLANS. 1/2" TRAP PRIMER CONNECTION. |
| WH | NON-FREEZE HOSE BIBB | WOODFORD B65; AUTOMATIC DRAINING, FREEZELESS WALL HYDRANT w/ ANTI-SIPHON VACUUM BREAKER, POLISHED BRASS WALL BOX, 3/4" INLET, LOOSE TEE KEY. |
| WHA | WATER HAMMER ARRESTOR | ZURN SHOKTRON MODEL # Z-1700 SIZE 3/4" w/ 1" MALE I.P.S. INLET |
| RD | ROOF DRAINS | MODEL # Z-100 ERC, DURA-COATED, CAST IRON BODY w/ EXTENSION, ROOF SUMP RECEIVER, AND UNDER DECK CLAMP. DRAIN SHALL HAVE COMBINATION MEMBRANE FLASHING CLAMP/GRAVEL GUARD AND POLYDOME. ROOF DRAIN AND ITS PIPING SHALL BE INSULATED ABOVE ANY CEILING. |

PLUMBING FIXTURE SCHEDULE					
MK	DESCRIPTION	PIPE SIZE			REMARKS
		WASTE	CW	HW	
P-1	WATER CLOSET SECOND BATH	3"	1/2"	---	JACUZZI "DMA" SERIES TANK TYPE FLOOR MOUNTED ELONGATED TOILET WITH CLOSED FRONT SEAT AND COVER EQUAL TO
P-1A	WATER CLOSET HANDICAPPED	3"	1/2"	---	CRANE TANK TYPE ADA APPROVED ELONGATED TOILET WITH OPEN FRONT SEAT LESS COVER (MOUNT SEAT 17 1/2" AFF)
P-1B	WATER CLOSET MASTER BATH	3"	1/2"	---	JACUZZI "GANN" SERIES TANK TYPE ELONGATED TOILET WITH CLOSED FRONT SEAT AND COVER.
P-1C	WATER CLOSET COMMERCIAL	3"	1/2"	---	CRANE TANK TYPE ELONGATED TOILET WITH OPEN FRONT SEAT LESS COVER.
P-2	LAVATORY SECOND BATH	1 1/4"	1/2"	1/2"	CRANE 11"x17" OVAL VITREOUS CHINA LAVATORY, WHITE WITH RIM MOUNT AND DELTA CHROME CENTERSET FAUCET WITH POP-UP DRAIN.
P-2A	LAVATORY HANDICAPPED	1 1/4"	1/2"	1/2"	CRANE ADA APPROVED WALL HUNG VITREOUS CHINA LAVATORY, WHITE WITH CONCEALED CARRIER AND DELTA WIDESPREAD CHROME FAUCET WITH WRISTBLADE HANDLES, GRID DRAIN, & TRAP WRAP EQUAL TO TRUE-BRO.
P-2B	LAVATORY MASTER BATH	1 1/4"	1/2"	1/2"	CRANE 11"x17" OVAL VITREOUS CHINA LAVATORY, WHITE WITH RIM MOUNT AND DELTA CHROME WIDESPREAD FAUCET WITH LEVER HANDLES w/ WHITE INSERTS & POP-UP DRAIN.
P-2C	LAVATORY COMMERCIAL	1 1/4"	1/2"	1/2"	CRANE 11"x17" OVAL VITREOUS CHINA LAVATORY, WHITE WITH RIM MOUNT AND DELTA CHROME WIDESPREAD FAUCET WITH WRISTBLADE HANDLES AND GRID DRAIN.
P-3	URINAL COMMERCIAL	2"	1"	-	CRANE WALL HUNG VITREOUS CHINA URINAL, WHITE WITH EXPOSED CHROME SLOAN "ROYAL" TOP SPUD FLUSH VALVE WITH LEVER HANDLE.
P-4	KITCHEN SINK w/ DISPOSAL	1 1/2"	1/2"	1/2"	DAYTON STAINLESS STEEL 20 GAUGE DOUBLE BOWL SINK WITH WHITE DELTA SINGLE LEVER FAUCET WITH INTEGRAL SPRAY HANDLE AND SOAP DISPENSER. PROVIDE INSINKERATOR DISPOSAL WITH REMOTE SINK TOP SWITCH.
P-4A	BAR SINK	1 1/2"	1/2"	1/2"	DAYTON STAINLESS STEEL 22 GAUGE ROUND BAR SINK, UNDER COUNTER MOUNT WITH CHROME DELTA GOOSENECK BAR SINK FAUCET WITH PORCELAIN CROSS HANDLES AND GRID STRAINER.
P-5	CAST IRON TUB & TILED SHOWER	1 1/2"	1/2"	1/2"	CRANE WHITE ENAMELED CAST IRON 5" TUB WITH TILE SURROUND AND CHROME DELTA SHOWER MIXING VALVE/TUB FILLER.
P-5A	WHIRLPOOL TUB	1 1/2"	1/2"	1/2"	JACUZZI "ARA" SERIES WHIRLPOOL TUB WITH CHROME DELTA TUB FILLER WITH LEVER HANDLES WITH WHITE INSERTS. PLATFORM AND SKIRT TO BE TILED BY G.C.
P-6	SHOWER, TILED WALLS & ACRYLIC BASE MASTER BATH	1 1/2"	1/2"	1/2"	TILED SHOWER WITH 42" NEO ANGLE ACRYLIC BASE AND CHROME DELTA SHOWER MIXING VALVE WITH LEVER HANDLE AND WHITE INSERT.
P-6A	SHOWER, TILED WALLS & ACRYLIC BASE COMMERCIAL	1 1/2"	1/2"	1/2"	TILED SHOWER WITH 48" NEO ANGLE ACRYLIC BASE AND CHROME DELTA SHOWER MIXING VALVE WITH LEVER HANDLE AND WHITE INSERT.
P-7	WASHING MACHINE BOX	2"	1/2"	1/2"	WASHER BOX EQUAL TO OATEY 38816
P-8	ICEMAKER CONNECTION BOX	-	1/2"	-	ICEMAKER BOX EQUAL TO OATEY 38811
P-9	ELECTRIC WATER COOLER	1 1/4"	1/2"	-	ELKAY LIEATL-8 DUAL HEIGHT BARRIER FREE WALL-HUNG WATER COOLER WITH 50" CHILLED WATER FLOW RATE OF 8 GPH. PROVIDE 120V/1Ø POWER SUPPLY FOR 1/5 HP COMPRESSOR RATED AT 4.8 FLA.
P-10	DISHWASHER CONNECTION	1"	-	1/2"	DISHWASHER PROVIDED BY G.C. AND FINAL CONNECTIONS BY PLUMBING CONTRACTOR. VERIFY CONNECTION SIZES WITH EQUIPMENT PROVIDED.
P-11	MOP SINK	2"	1/2"	1/2"	FIAT MODEL TSB-3010 TERRAZZO FLOOR MOUNTED MOP SINK WITH BLADE HANDLES, BODY MOUNTED DOUBLE-CHECK VACUUM BREAKER, TOP BRACED THREADED PALE HOOK SPOUT, MOP HANGER, 24" FLEXIBLE HOSE, AND STAINLESS STEEL THRESHOLD GUARD & DRAIN.

NOTES: 1. PROVIDE FIXTURES WITH ALL VALVES, STOPS, NUTS, TRAPS, FITTINGS AND ACCESSORIES FOR A SAFE AND COMPLETE INSTALLATION.
2. FIXTURES FOR COMMON AREAS AND 2ND BATHROOMS IN RESIDENTIAL AREAS SHALL HAVE CHROME FINISHES. FIXTURES IN MASTER BATHROOMS SHALL BE POLISHED BRASS WITH WHITE INSERTS.
3. COORDINATE APPROVAL OF ALL FIXTURES WITH OWNER AND ARCHITECT DURING PRICING AND PRIOR TO RELEASING FOR CONSTRUCTION.

ELECTRIC WATER HEATER SCHEDULE								
MARK	STORAGE GALLONS	ELEMENTS		ELECTRICAL		RECOVERY @ 60°F RISE	OPERATING WEIGHT	BASIS OF DESIGN
		KW	V	HZ	Ø			
EW-1	80	9 KW (2 @ 4.5)	208	60	1	62 GPH	850 LBS	RHEEM 82V80-2
EW-2	6	1.5 KW	208	60	1	10 GPH	165 LBS	RHEEM EGSP-6

NOTES: 1. REFER TO WATER HEATER DETAILS AND SPECIFICATIONS FOR REQUIRED FITTINGS, UNIONS, AND ACCESSORIES.
2. WIRING FOR EW-1 HEATING ELEMENTS SHALL BE FOR SIMULTANEOUS OPERATION.

PUMP SCHEDULE										
PUMP SERVICE	FLOW CAP (GPM)	TDH (FEET)	CONN. SIZE	MAXIMUM RPM	TYPE PUMP	MOTOR	ELECTRICAL			BASIS OF DESIGN
							V	HZ	Ø	
SP-1	20	13	2"	1725	SUBMERSIBLE	5.2 AMP	120	60	1	LIBERTY MODEL 237

NOTE: 1. PROVIDE SP-1 WITH STAINLESS STEEL SHAFT AND NEMA 5-15P 3 PRONG PLUG WITH 10' LONG CORD.

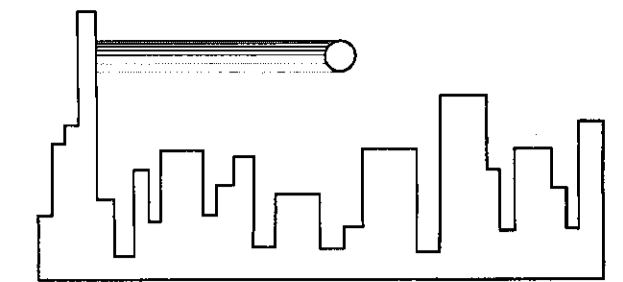
FIRE & JOCKEY PUMP SCHEDULE												
PUMP SERVICE	GPM CAP	TOTAL BOOST PSI	MAXIMUM RPM	TYPE PUMP	MOTOR	TYPE STARTING	CONTROLLER	ELECTRICAL			REMARKS	BASIS OF DESIGN
								V	HZ	Ø		
FIRE PUMP	1000	165	3580	HORIZ.	125	SOFT START/ SOFT STOP	NEMA TYPE 2 UL/FM "HAND-OFF-AUTO" w/ TRANSFER SWITCH	208	60	3	PER NFPA 20	PATTERSON PAC SERIES MODEL 6x54MAA-H WITH HUBBELL MODEL LXI-2100 CONTROLLER
JOCKEY PUMP	7.5	165	3450	CLOSE COUPLED	2	ACROSS THE LINE	NEMA TYPE 2 w/ "HAND-OFF-AUTO" AND PRESS. SWITCH	208	60	3	PER NFPA 20	GRUNDFOS "CR" SERIES WITH "GL" CONTROLLER

NOTE: VERIFY SUCTION PRESSURE AT SITE - ASSUMED SUCTION PRESSURE IS 30 PSI. FINAL BOOST PRESSURE REQUIREMENTS IS THE RESPONSIBILITY OF THE SPRINKLER CONTRACTOR BASED ON HYDRAULIC CALCULATIONS.

DOMESTIC WATER PRESSURE BOOSTER SYSTEM												
PUMP PERFORMANCE				PSI SYSTEM PRESSURE MAINTAINED	FLOW RATE		PUMP MOTOR	ELECTRICAL			PUMP MOUNTING	BASIS OF DESIGN
PUMP NO.	GPM	BOOST PSI	MAX RPM		MIN	MAX		V	HZ	Ø		
1	130	100	3600	130	0 GPM	390 GPM	20 HP	208	60	3	HORIZONTAL	FLO-PAK "AQUA-PAC" MODEL TAP320 VARIABLE SPEED SYSTEM
2	130	100	3600				20 HP	208	60	3	HORIZONTAL	
3	130	100	3600				20 HP	208	60	3	HORIZONTAL	

NOTE: VERIFY SUCTION PRESSURE AT SITE - ASSUMED SUCTION PRESSURE IS 30 PSI. PROVIDE BOOSTER SYSTEM WITH 6" STAINLESS STEEL HEADERS, 200 PSIG RATING, INERTIA BASE, RUBBER FLEXIBLE CONNECTORS AND INTEGRAL VFD'S AND CONTROL PANEL.

PLUMBING LEGEND			
	COLD WATER PIPING ABOVE GRADE	EW	ELECTRIC WATER HEATER
	DOMESTIC COLD WATER PIPING BELOW GRADE	FCO	FLOOR CLEAN OUT
	SANITARY SEWER DRAIN PIPING	FD	FLOOR DRAIN
	DRY PIPE FIRE PROTECTION PIPING	HB	HOSE BIBB
	FIRE PROTECTION PIPING	HD	HUB DRAIN
	HOT WATER PIPING ABOVE GRADE	HW	HOT WATER
	ISOLATION VALVE/ SHUT-OFF VALVE	MFD	MECHANICAL FLOOR DRAIN
	PRESSURE REDUCING VALVE	PRV	PRESSURE REGULATING VALVE w/ GAUGE
	P-TRAP	RCP	RECIRCULATING PUMP
	STORM DRAIN PIPING	SD	STORM DRAIN
	VENT THRU ROOF	SP	SUMP PUMP
	VENT PIPING ABOVE CEILING	T & P	TEMPERATURE AND PRESSURE
	VENT/WASTE STACK PENETRATES FLOOR	V	VENT PIPING
	ABOVE FINISHED FLOOR	VTR	VENT THRU ROOF
	BACKFLOW PREVENTER	WCO	WALL CLEAN OUT
	CLEAN OUT AT BASE OR END OF EXPOSED PIPE	WH	FREEZE PROOF WALL HYDRANT
	CONDENSATE DRAIN (ROUTED TO STORM)		
	COLD WATER		
	EXTERIOR CLEAN OUT		
	RISER MARKER (FOR RISER 1 AS SHOWN)		
	WASTE & VENT: 1 THROUGH 7, WATER SUPPLY: A & B; CONDENSATE DRAIN: CD		



Lewis Engineering & Associates, Inc.
1421 S. University Blvd., Suite A-3 Mobile, AL 36609
Phone: (251) 660-9221 Fax: (251) 660-9331
LewisEng@bellsouth.net



**HENRY
NORRIS &
ASSOC., INC.**

ARCHITECTURE &
ENVIRONMENTAL
DESIGN

30 N. PALAFOX
PENSACOLA,
FLORIDA 32501

(850) 432-6011
FAX 435-9011
henry@hnorris.com

**PLUMBING
DETAILS**

San Carlos Condominium
Gulf Shores, Alabama

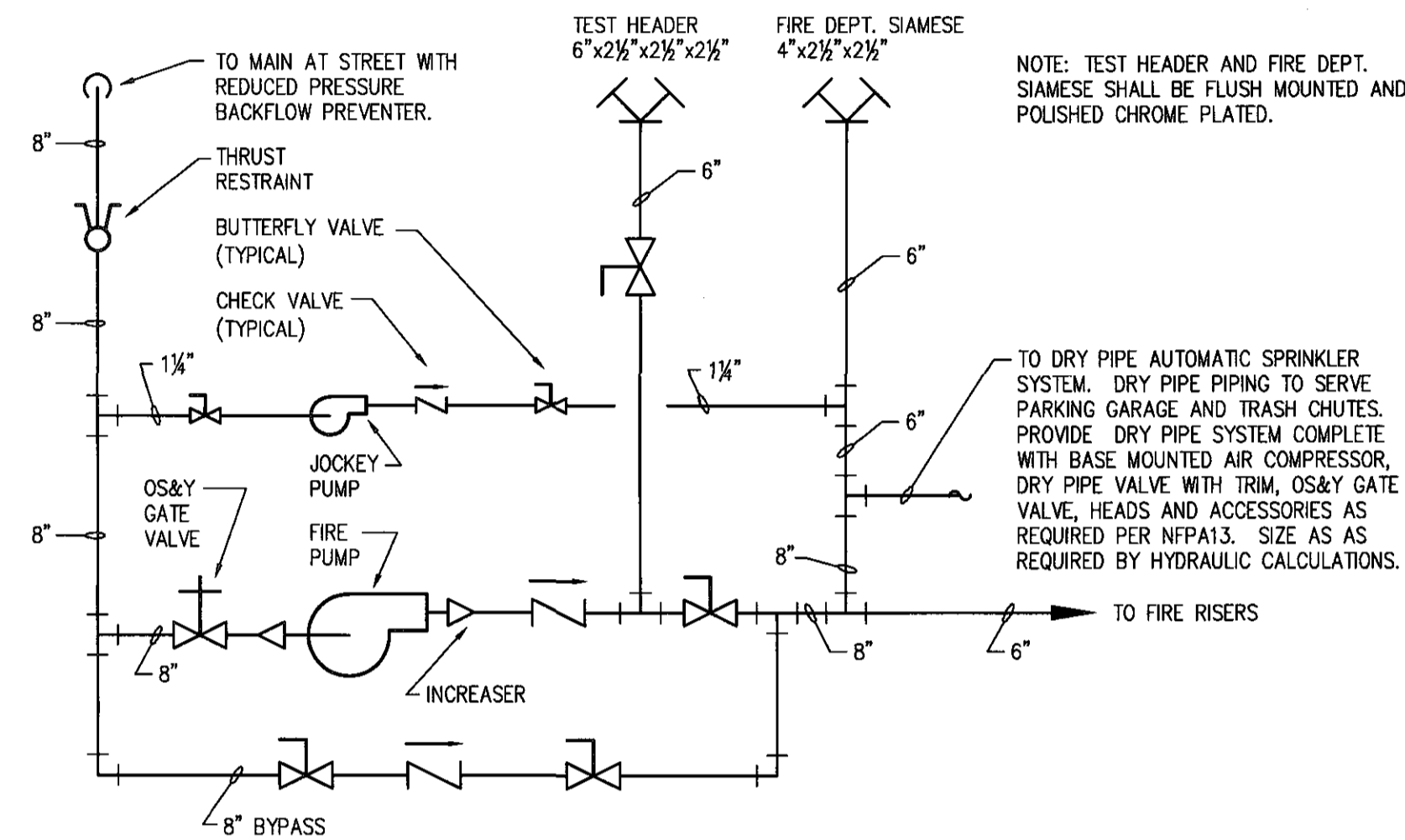
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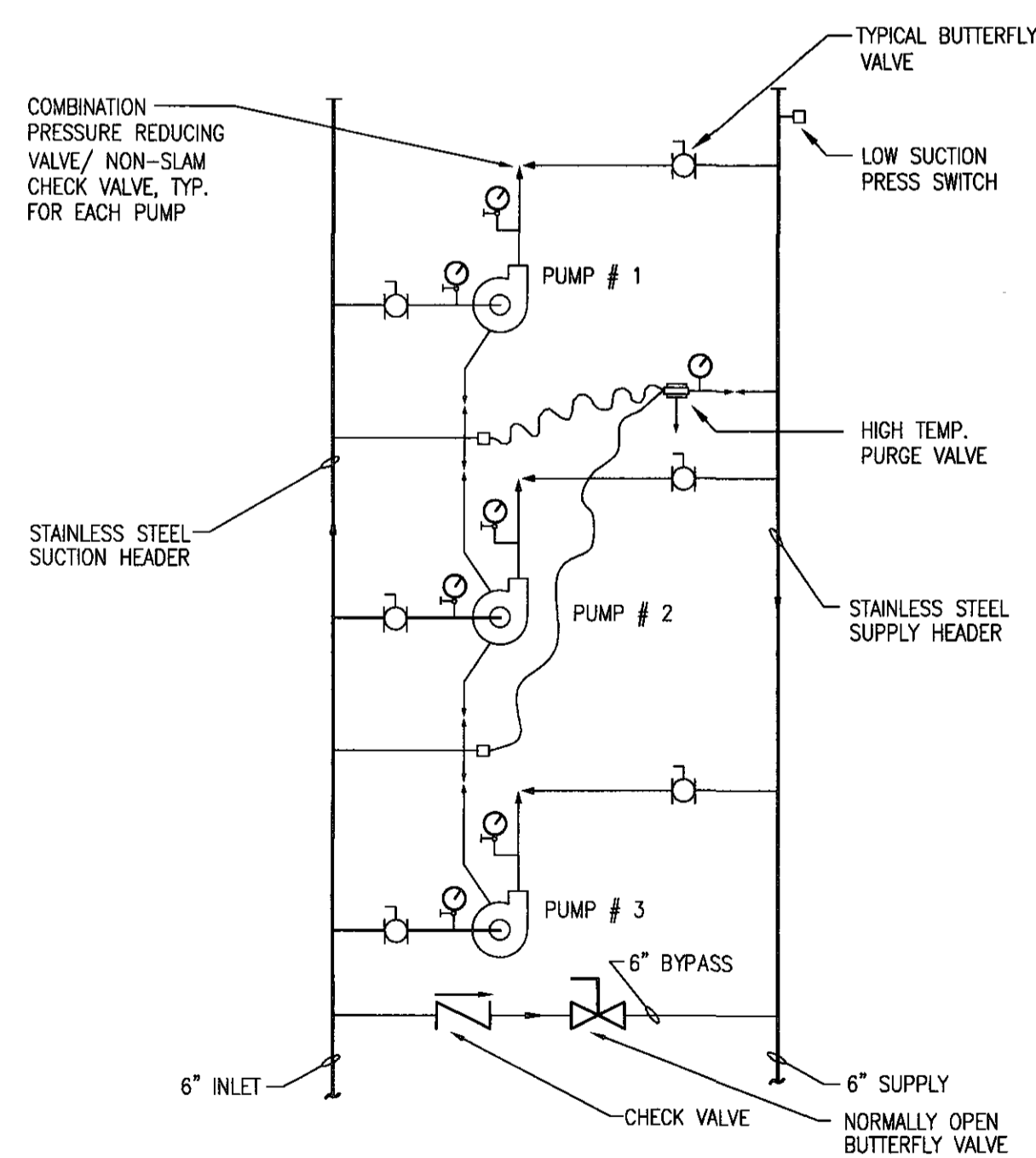
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P-1.1

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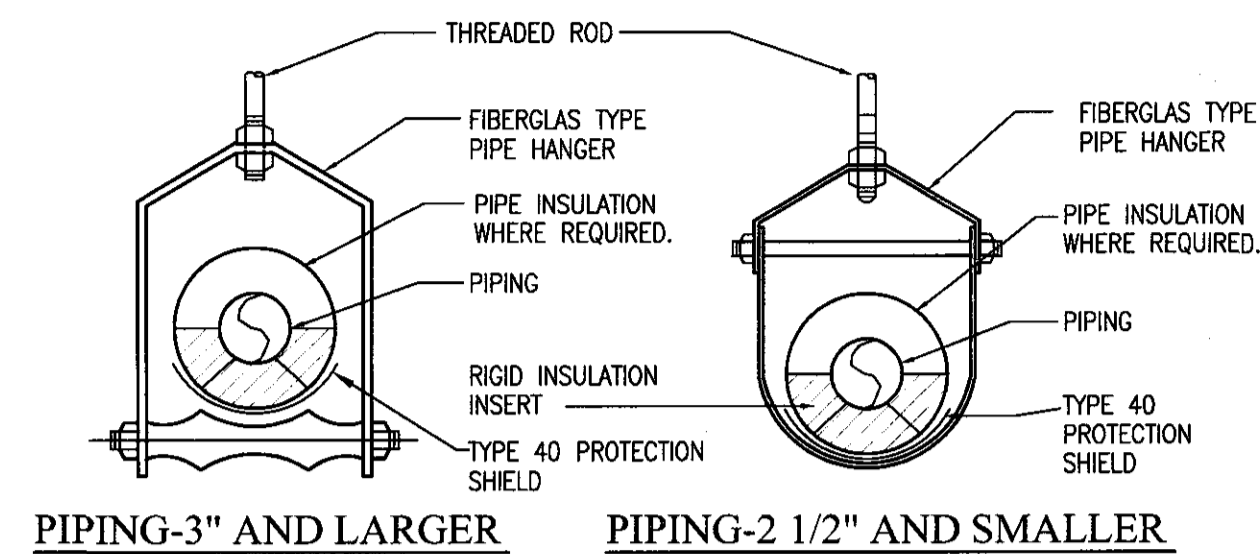


**FIRE & JOCKEY
PUMP FLOW DIAGRAM**
NOT TO SCALE



**DOMESTIC WATER
BOOSTER PIPING**
NOT TO SCALE

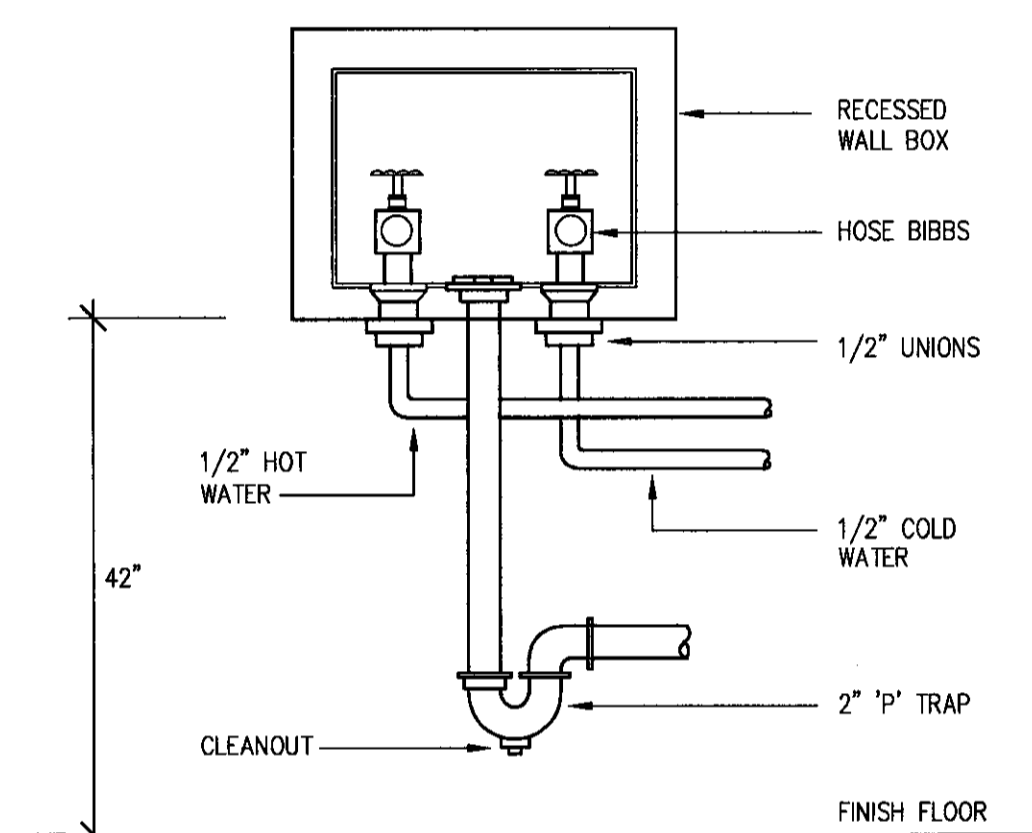
NOTE: PIPING SCHEMATIC IS
DIAGRAMMATIC ONLY. REFER TO
MANUFACTURER'S LITERATURE AND
PLANS FOR ADDITIONAL INFORMATION.



PIPING-3" AND LARGER PIPING-2 1/2" AND SMALLER

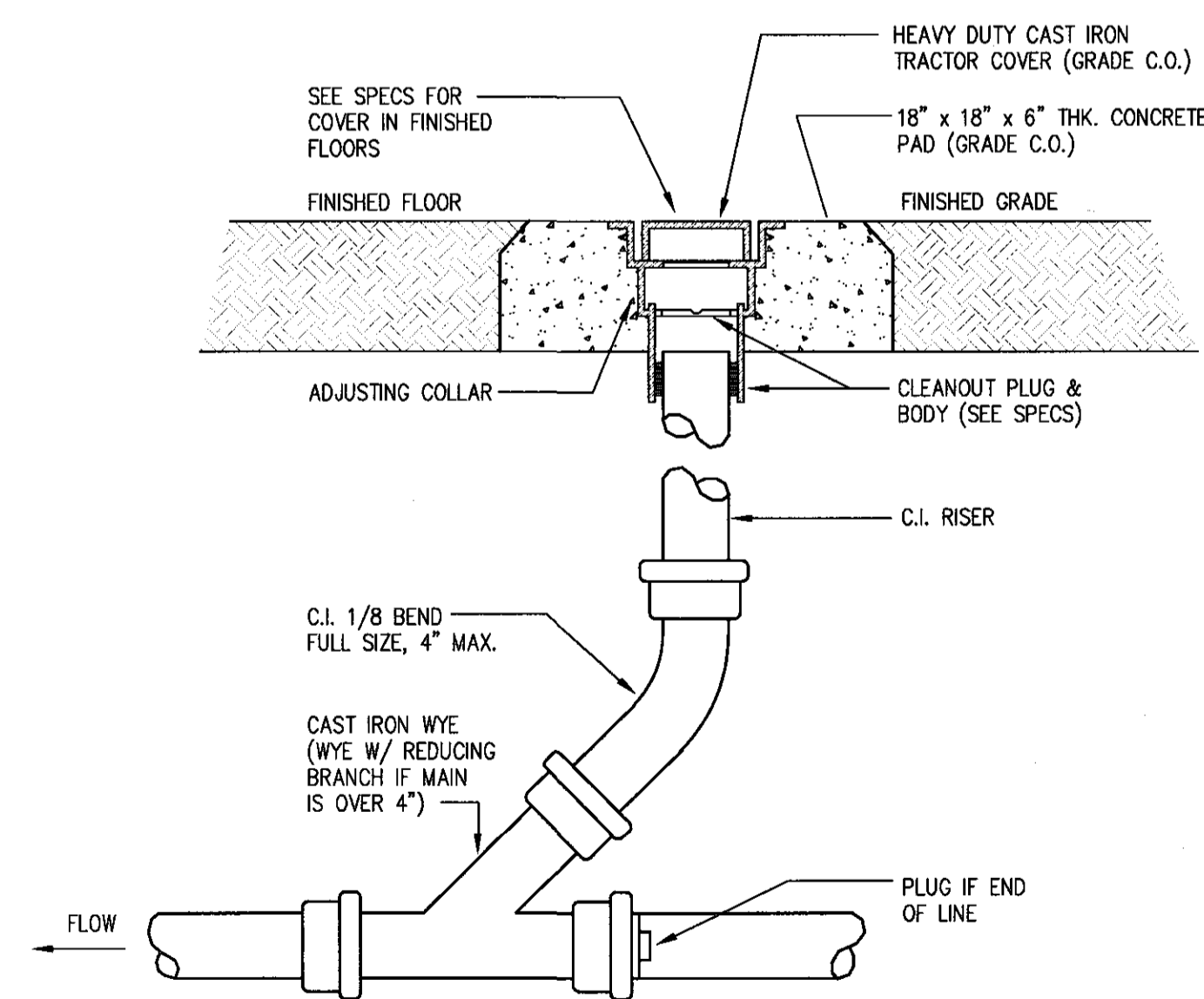
PIPING HANGER DETAIL

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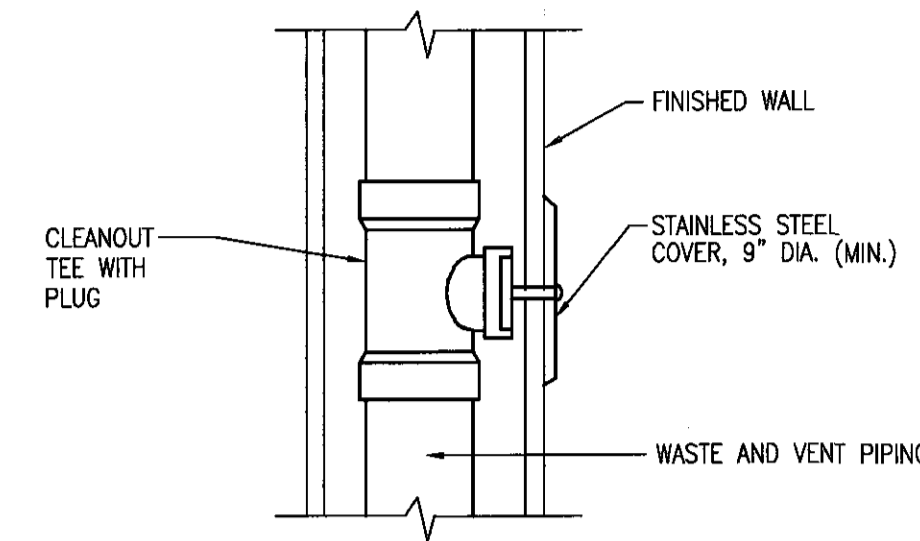
WASHER BOX (P-10) DETAIL

NOT TO SCALE



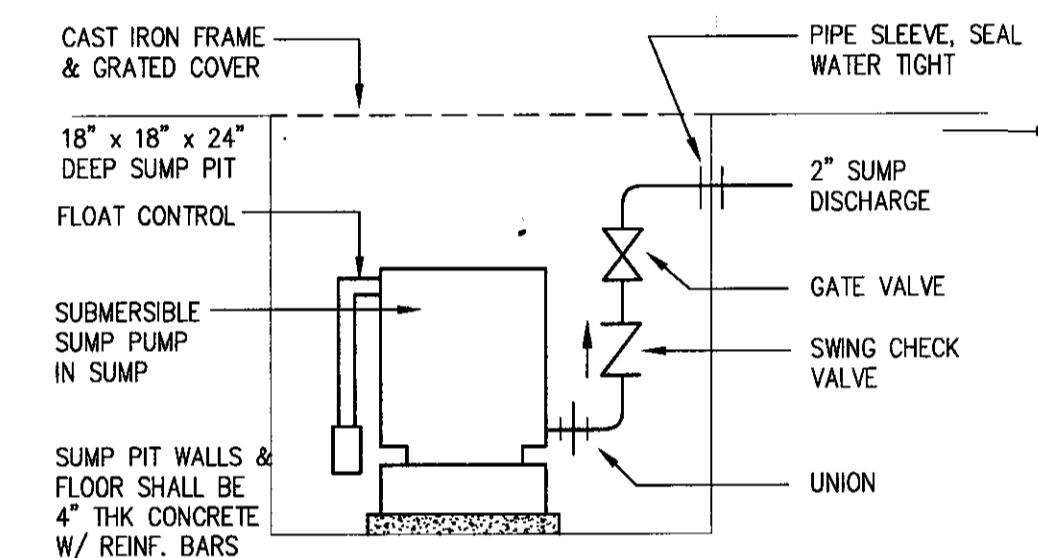
EXTERIOR CLEANOUT DETAIL

NOT TO SCALE



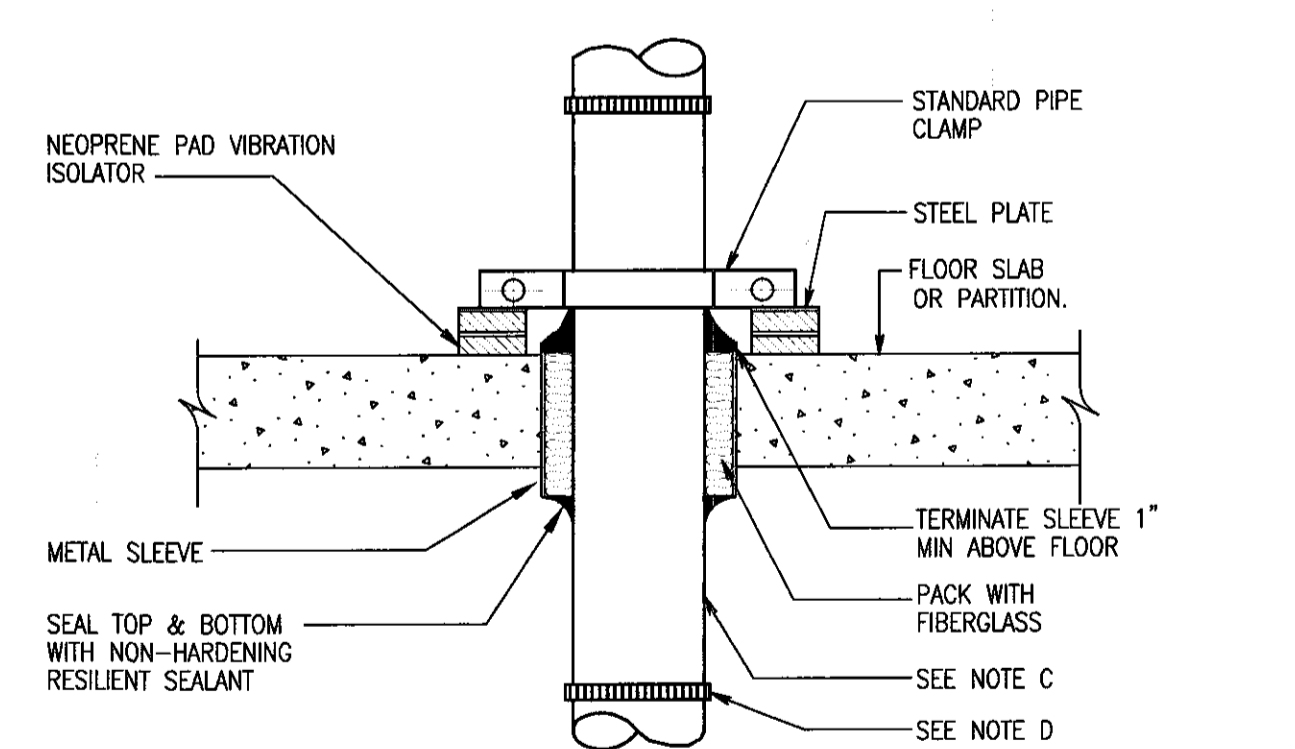
WALL CLEANOUT DETAIL

NOT TO SCALE



ELEVATOR SUMP PUMP DETAIL

NOT TO SCALE

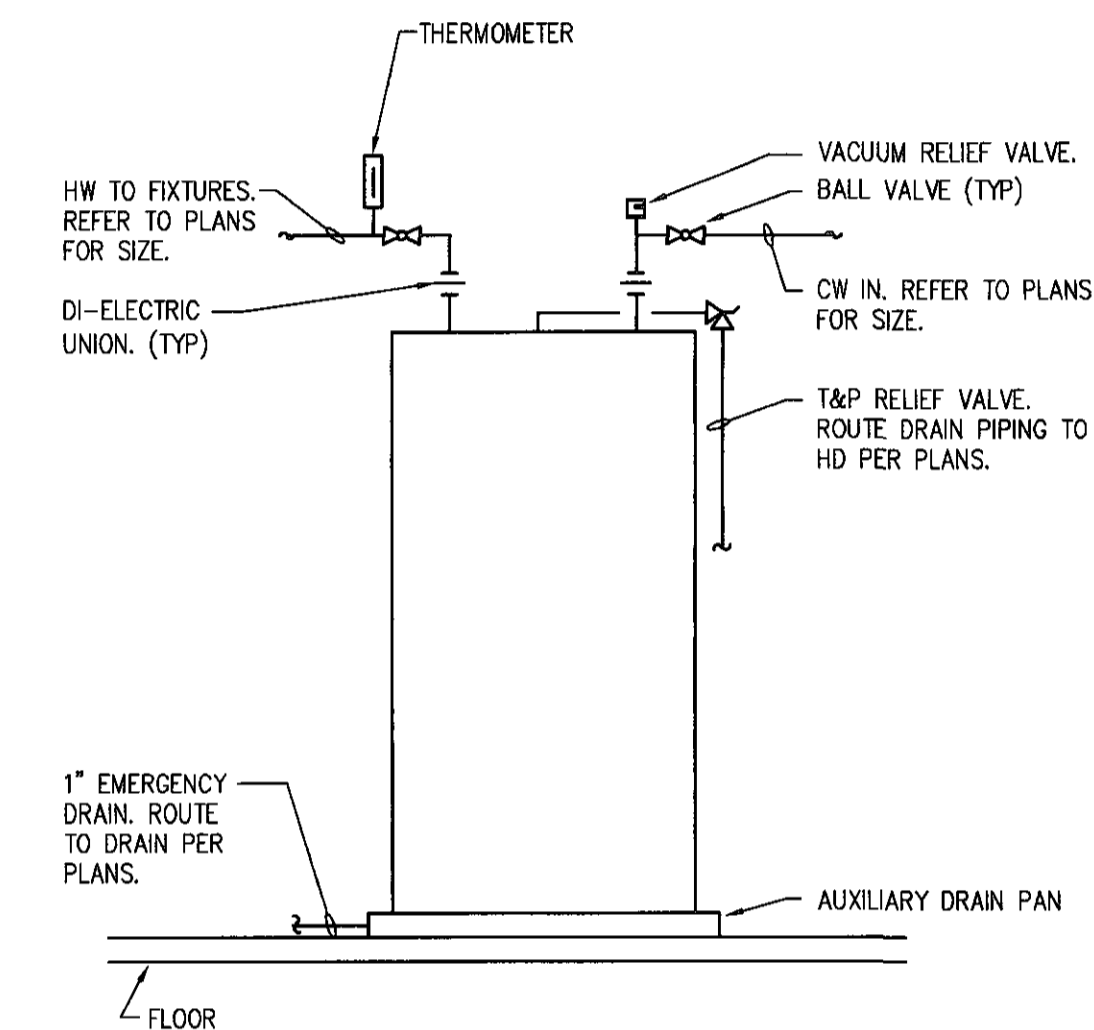


NOTES:

- SEE GENERAL NOTES FOR MATERIAL REQUIREMENTS.
- FOR PIPES 1" OR GREATER IN DIAMETER.
- THIS DETAIL IS FOR NON-FIRE RATED CONSTRUCTION. PIPE PENETRATIONS OF FIRE-RATED CONSTRUCTION SHALL BE FIRE STOPPED WITH APPROVED PROSET PROSEAL U.L. CLASSIFIED SYSTEM.
- DWV PIPING PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL USE NO HUB CAST IRON PIPING WITH BANDS CONNECTED TO PVC PIPING.

TYPICAL VERTICAL PIPE SLEEVE DETAIL

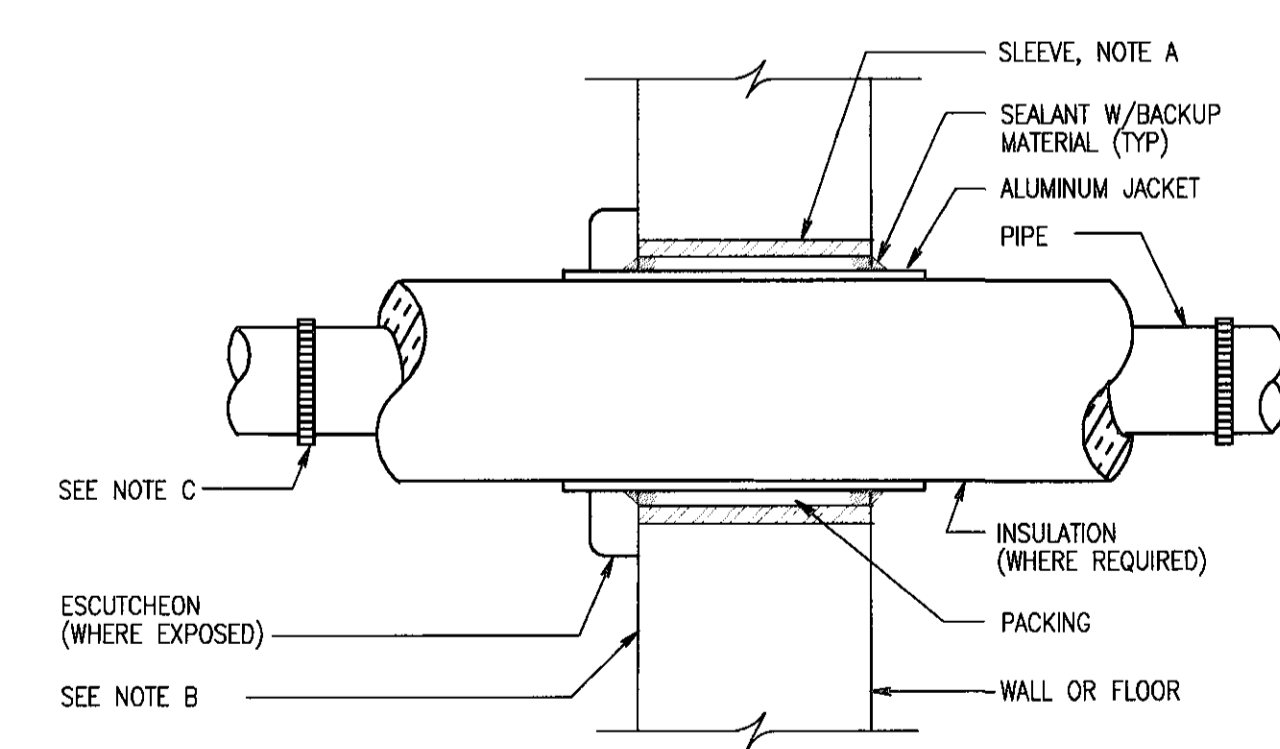
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NOTE: EXACT ORIENTATION AND PIPING CONNECTIONS TO WATER HEATER MAY VARY.

ELECTRIC WATER HEATER DETAIL

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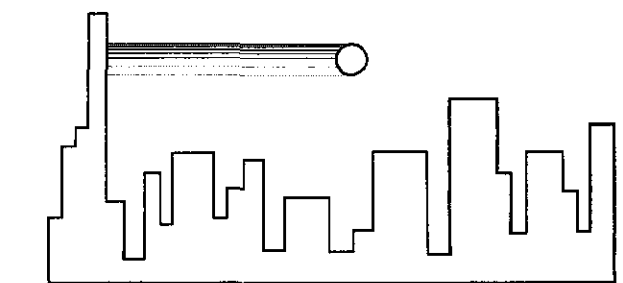


NOTES:

- IN BEARING WALLS, SLEEVE TO BE SCHEDULE 40 PIPE MATERIAL. SLEEVE AND PACKING MAY BE OMITTED FOR PIPE PASSING THRU GYPSUM WALL BOARD EXCEPT WHERE WALL IS FIRE RATED.
- THIS DETAIL IS FOR NON-FIRE RATED CONSTRUCTION. PIPE PENETRATIONS OF FIRE-RATED CONSTRUCTION SHALL BE FIRE STOPPED WITH APPROVED PROSET PROSEAL U.L. CLASSIFIED SYSTEM.
- DWV PIPING PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL USE NO HUB CAST IRON PIPING WITH BANDS CONNECTED TO PVC PIPING.

TYPICAL WALL PIPE SLEEVE DETAIL

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Lewis Engineering & Associates, Inc.
 1621 S. University Blvd., Suite A-3 Mobile, AL 36609
 Phone: (251) 660-9221 Fax: (251) 660-9331
 LewisEng@bellsouth.net



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30 N. PALAFOX
 PENSACOLA,
 FLORIDA 32501

(850) 432-6011
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**Typical Floor
 Riser Loc. &
 Roof Plumb.**

Gulf Shores, Alabama

San Carlos Condominium

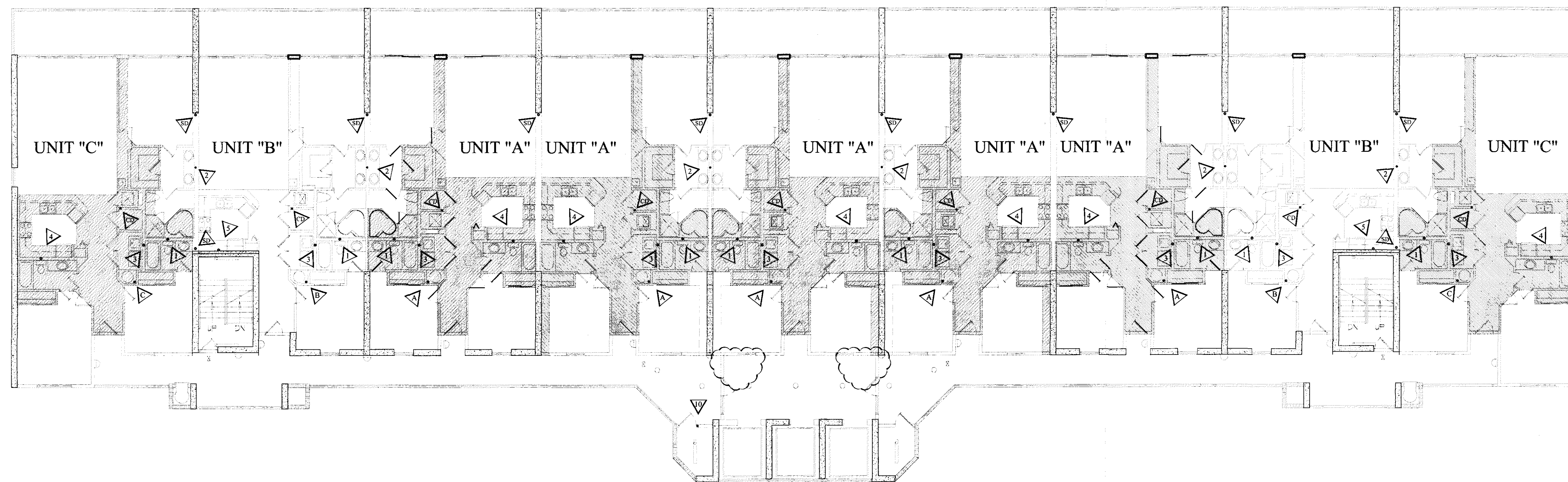
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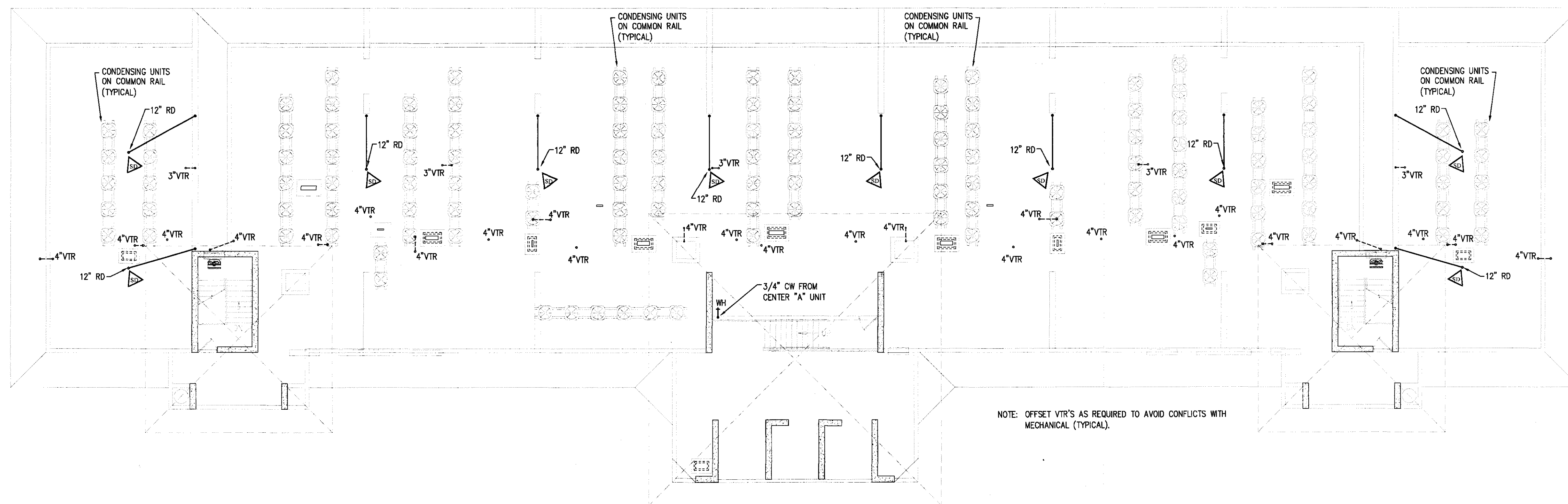
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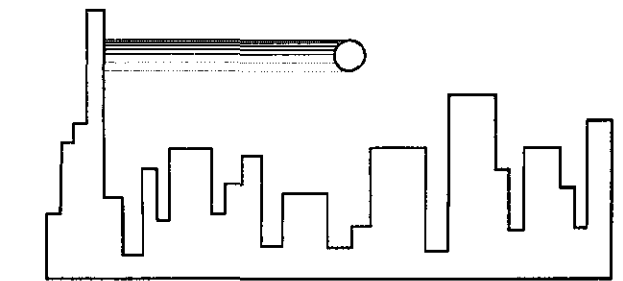
TYPICAL LEVEL (4-16) RISER LOCATION PLUMBING PLAN

SCALE: 3/32" = 1'-0"

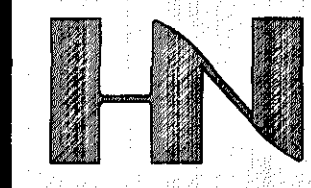


ROOF PLUMBING PLAN

SCALE: 3/32" = 1'-0"



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 1621 S. University Blvd., Suite A-3 Mobile, AL 36609
 Phone: (251) 660-9221 Fax: (251) 660-9331
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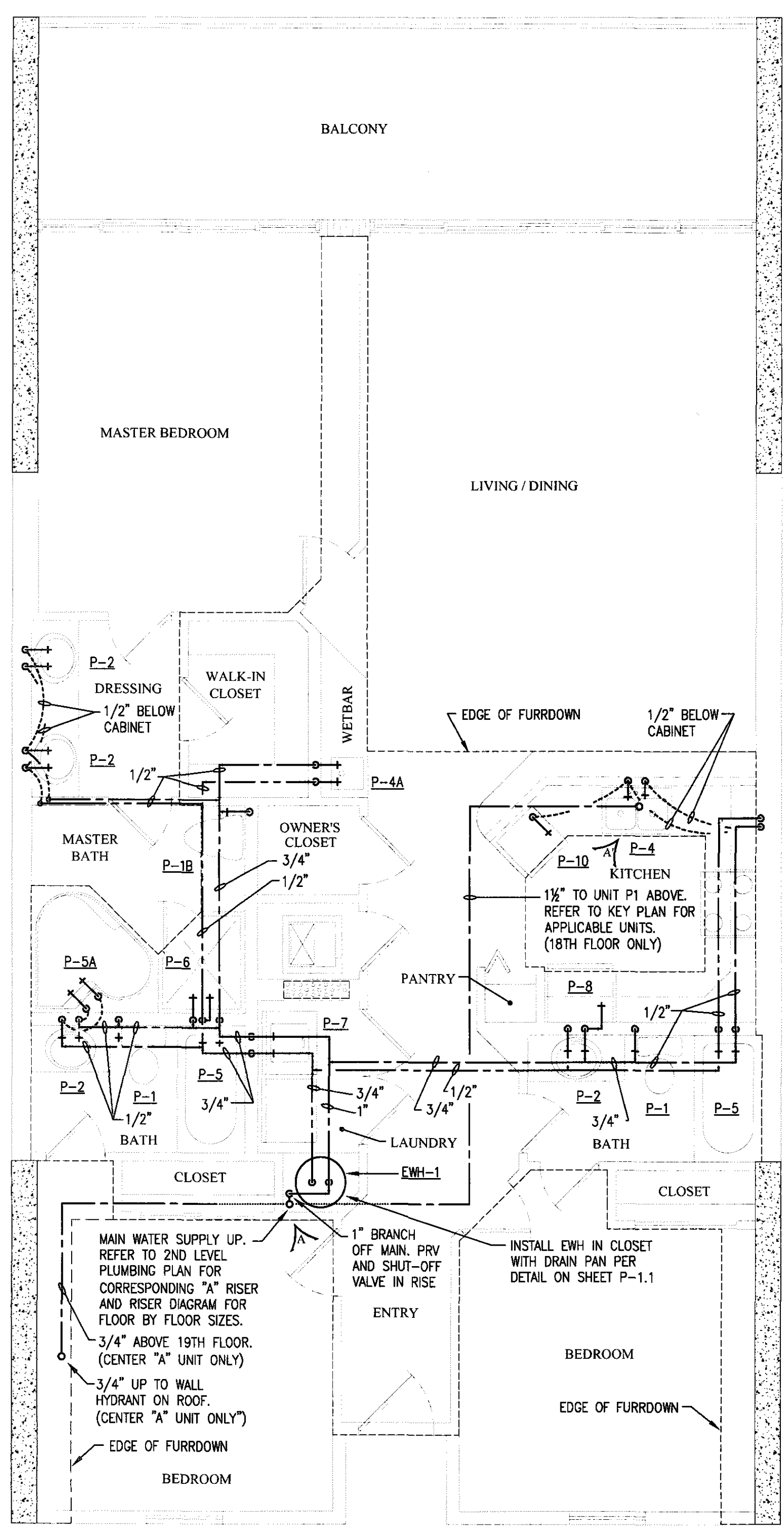
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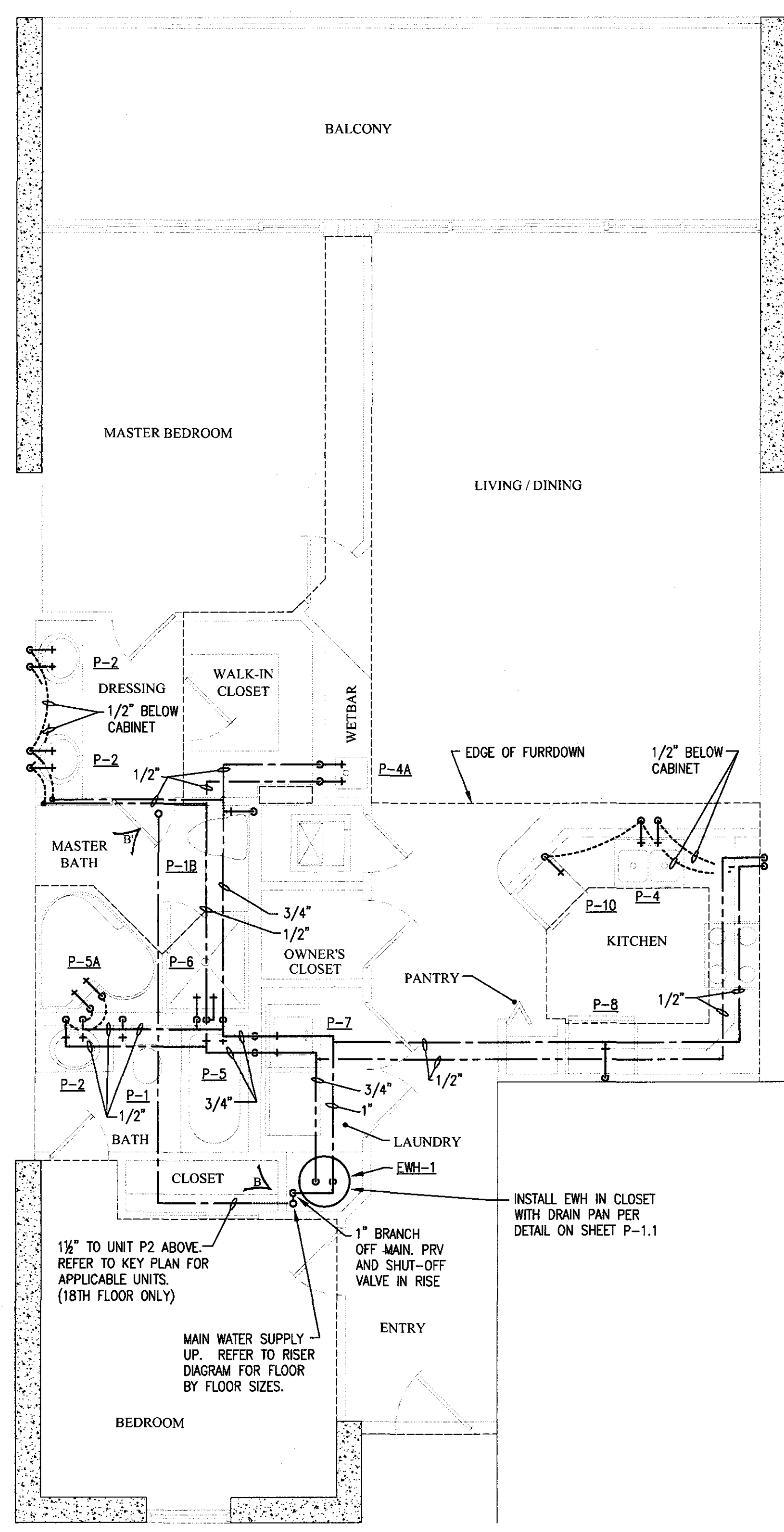
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Units A, B & C Water Plans

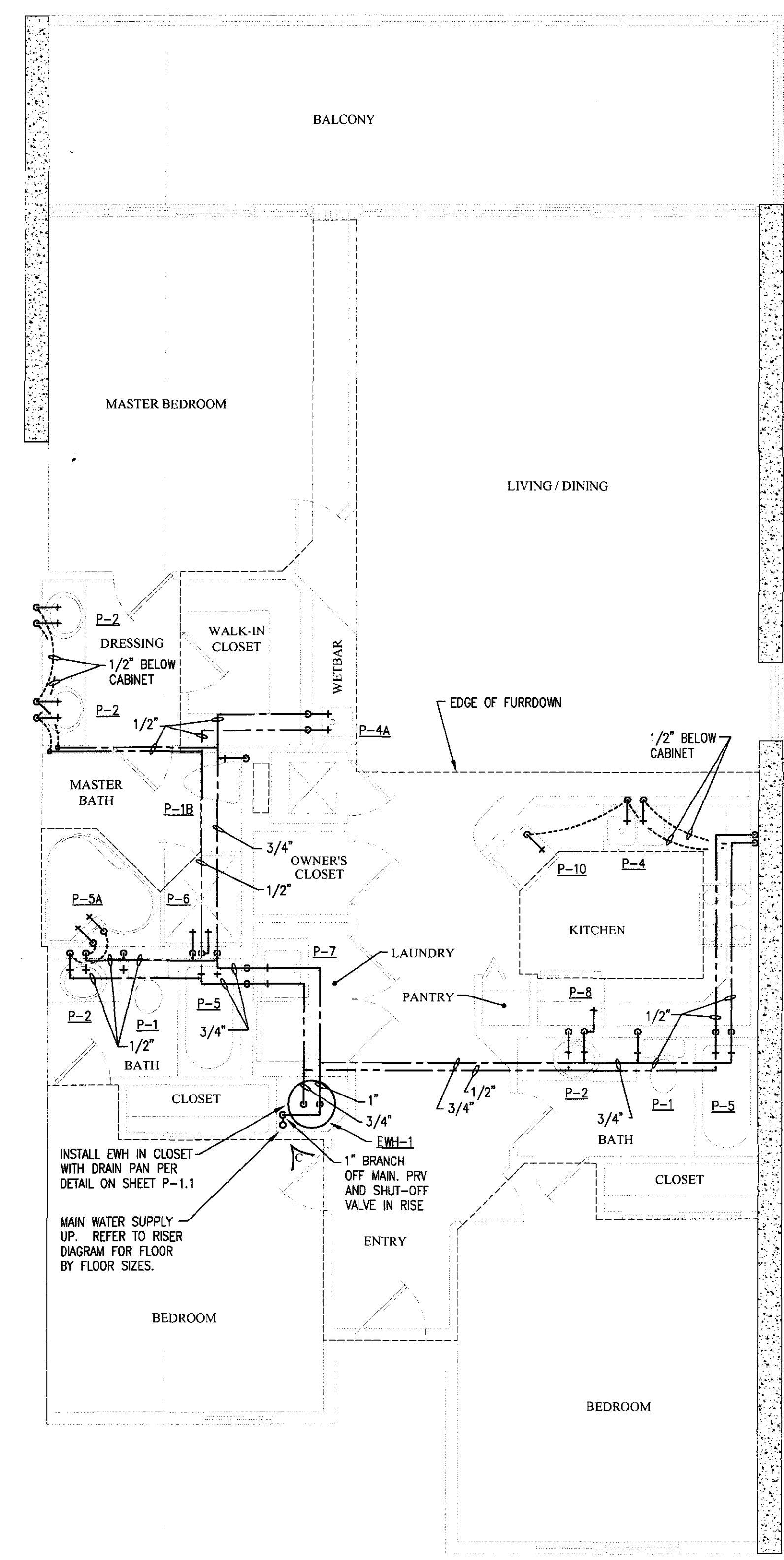
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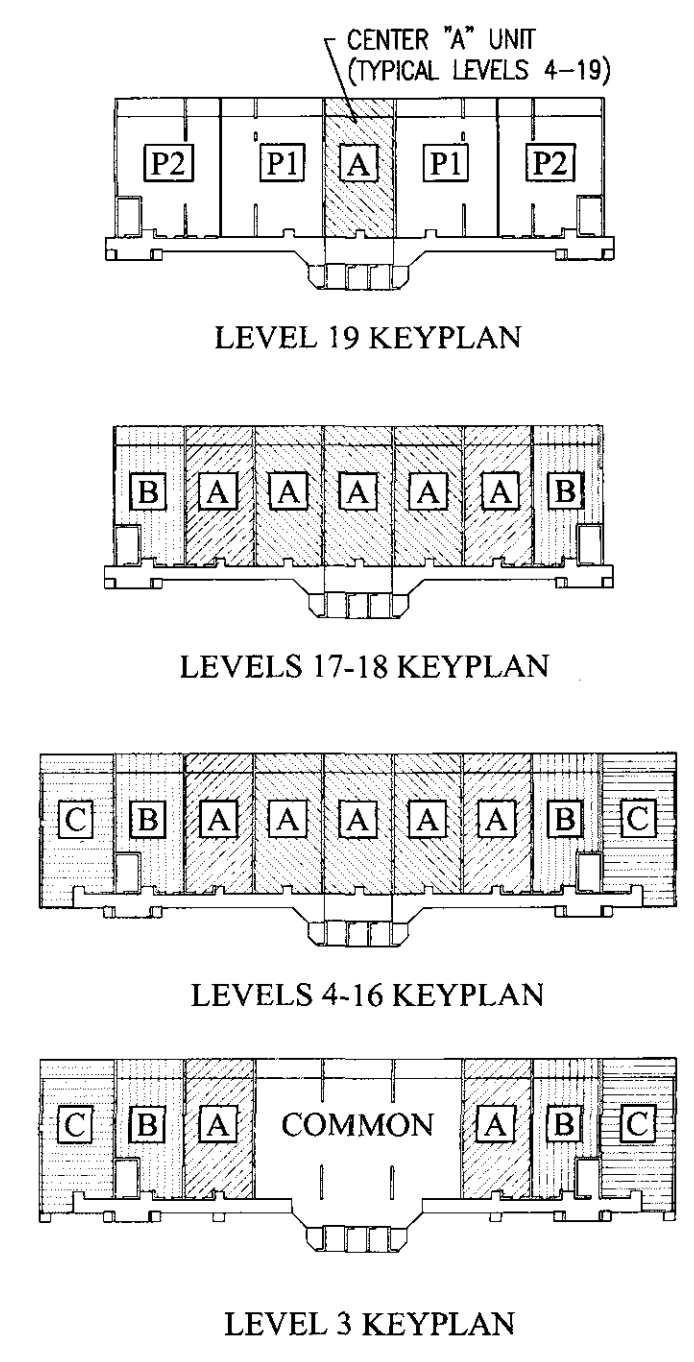
UNIT "A" WATER SUPPLY PLUMBING PLAN
 SCALE: 1/4" = 1'-0" TYPICAL OF 78 UNITS



UNIT "B" WATER SUPPLY PLUMBING PLAN
 SCALE: 1/4" = 1'-0" TYPICAL OF 32 UNITS



UNIT "C" WATER SUPPLY PLUMBING PLAN
 SCALE: 1/4" = 1'-0" TYPICAL OF 28 UNITS

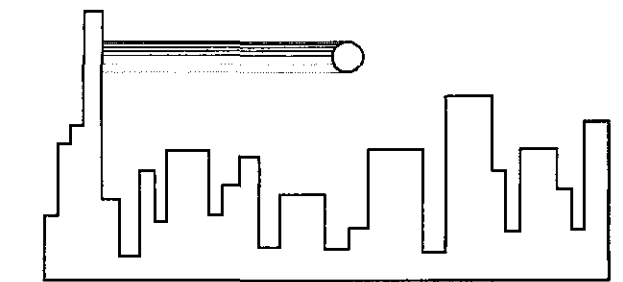


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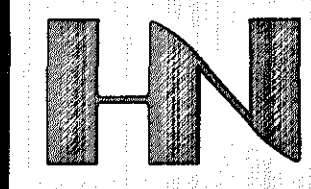
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Lewis Engineering & Associates, Inc.
 1621 S. University Blvd., Suite A-3 Mobile, AL 36609
 Phone: (251) 669-9221 Fax: (251) 669-9331
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30 N. PALAFOX
 PENSACOLA,
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**3rd Units
 A, B & C
 Waste Plans**

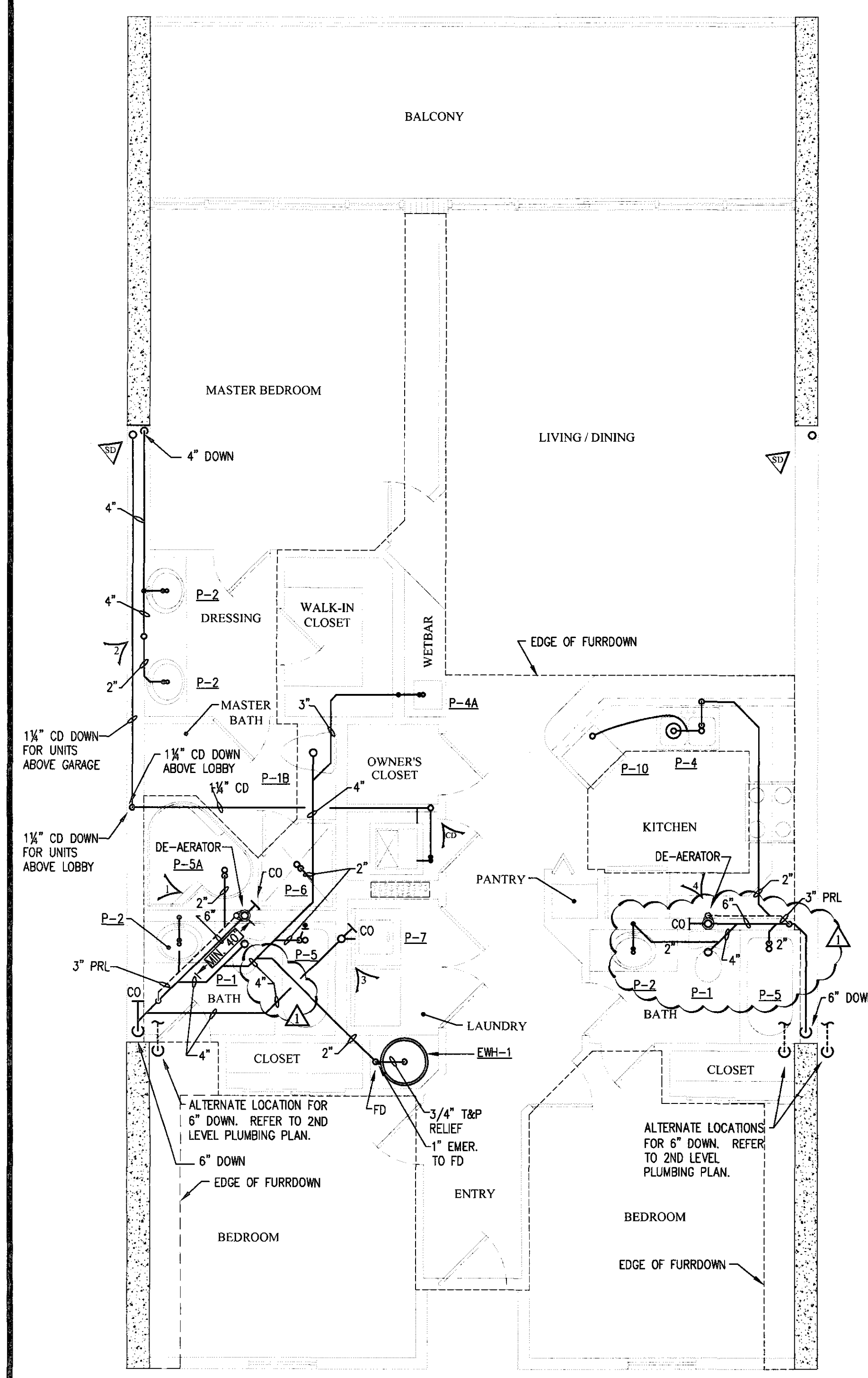
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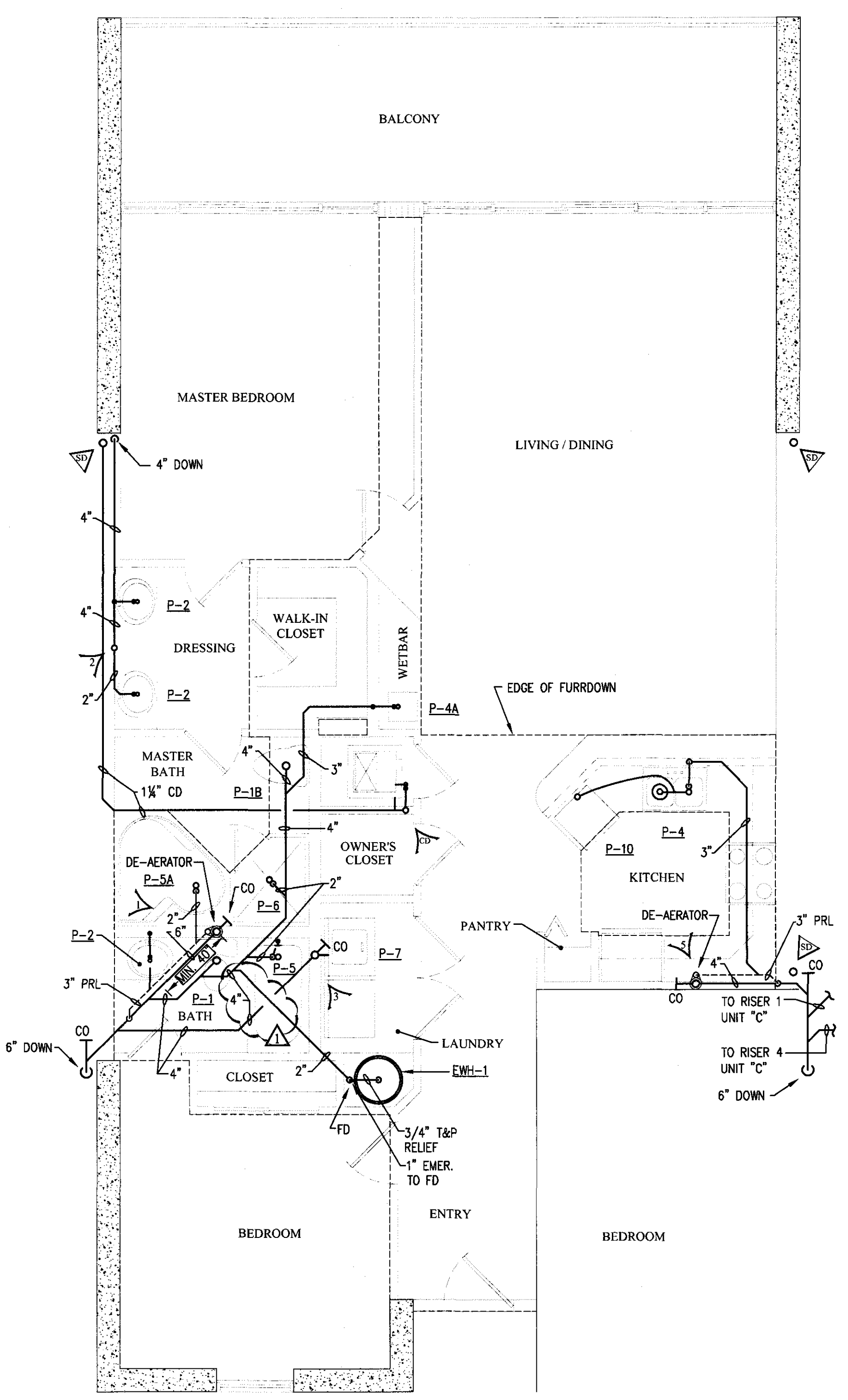
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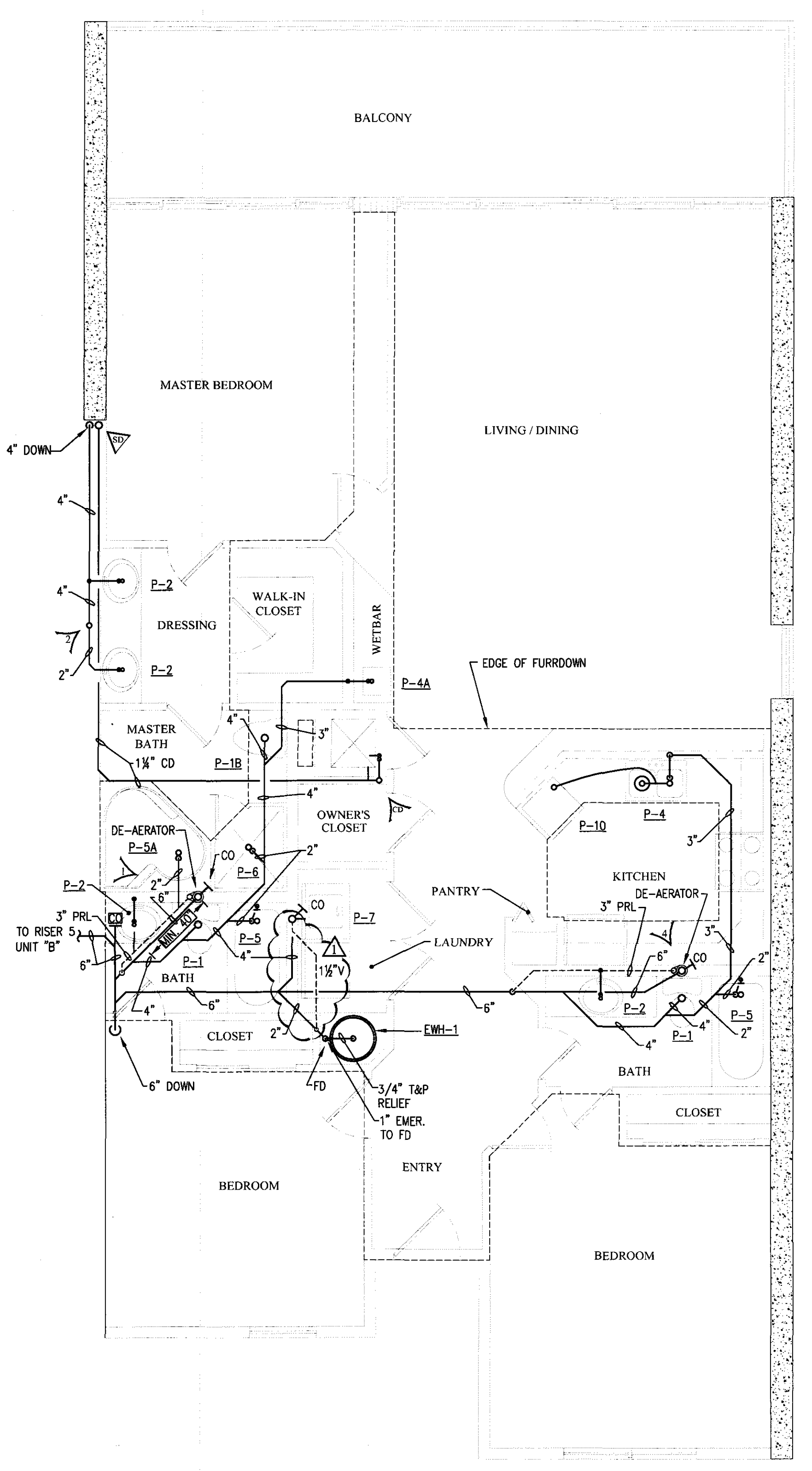
UNIT "A" 3RD LEVEL * WASTE & VENT PLUMBING PLAN

SCALE: 1/4" = 1'-0"
 *NOTE:
 WASTE PLAN ALSO REPRESENTATIVE OF 4TH LEVEL UNITS
 ABOVE LOBBY/FITNESS AREAS AS SHOWN ON SHEET P-3.7
 TYPICAL OF 5 UNITS



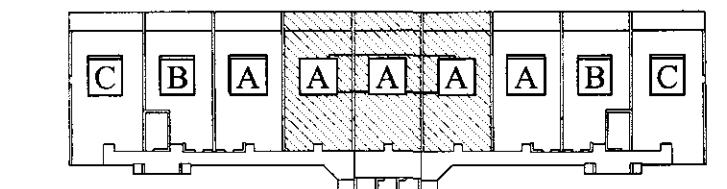
UNIT "B" 3RD LEVEL WASTE & VENT PLUMBING PLAN

SCALE: 1/4" = 1'-0"
 TYPICAL OF 2 UNITS

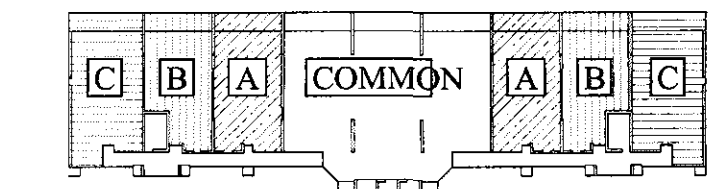


UNIT "C" 3RD LEVEL WASTE & VENT PLUMBING PLAN

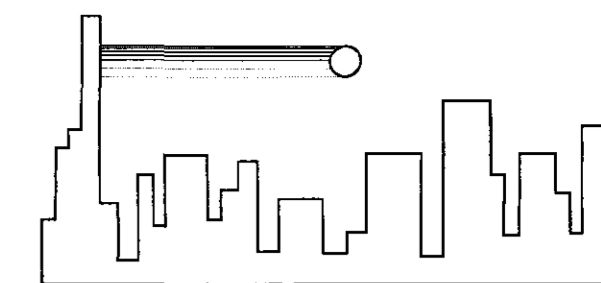
SCALE: 1/4" = 1'-0"
 TYPICAL OF 2 UNITS



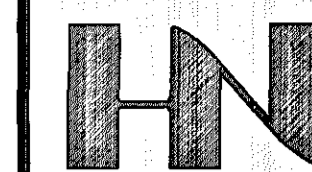
LEVEL 4 KEYPLAN



LEVEL 3 KEYPLAN



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 Phone: (251) 660-9221 Fax: (251) 660-9331
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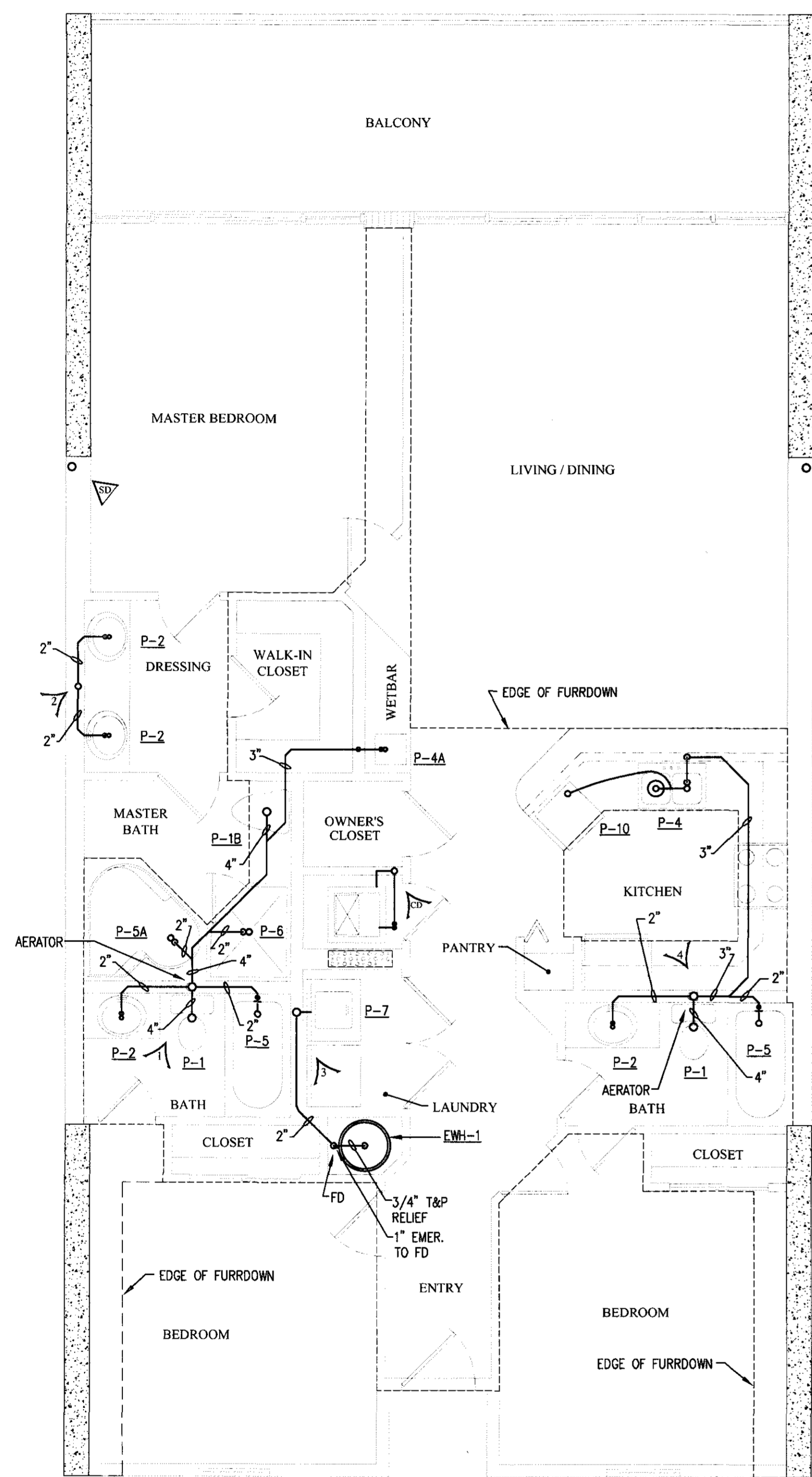
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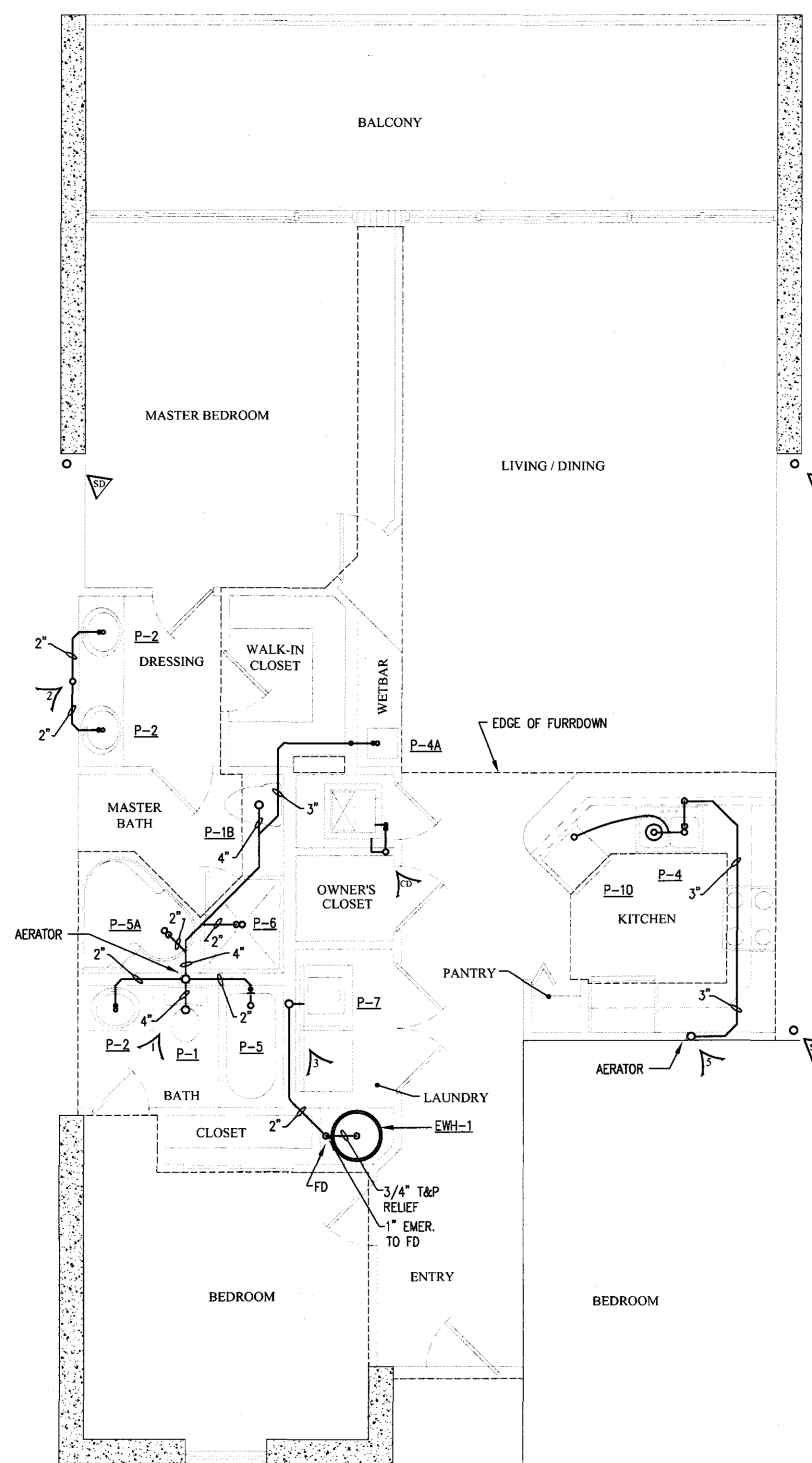
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 PENSACOLA,
 FLORIDA 32501

(850) 432-6011
 FAX 435-9011
 henry@hnorris.com

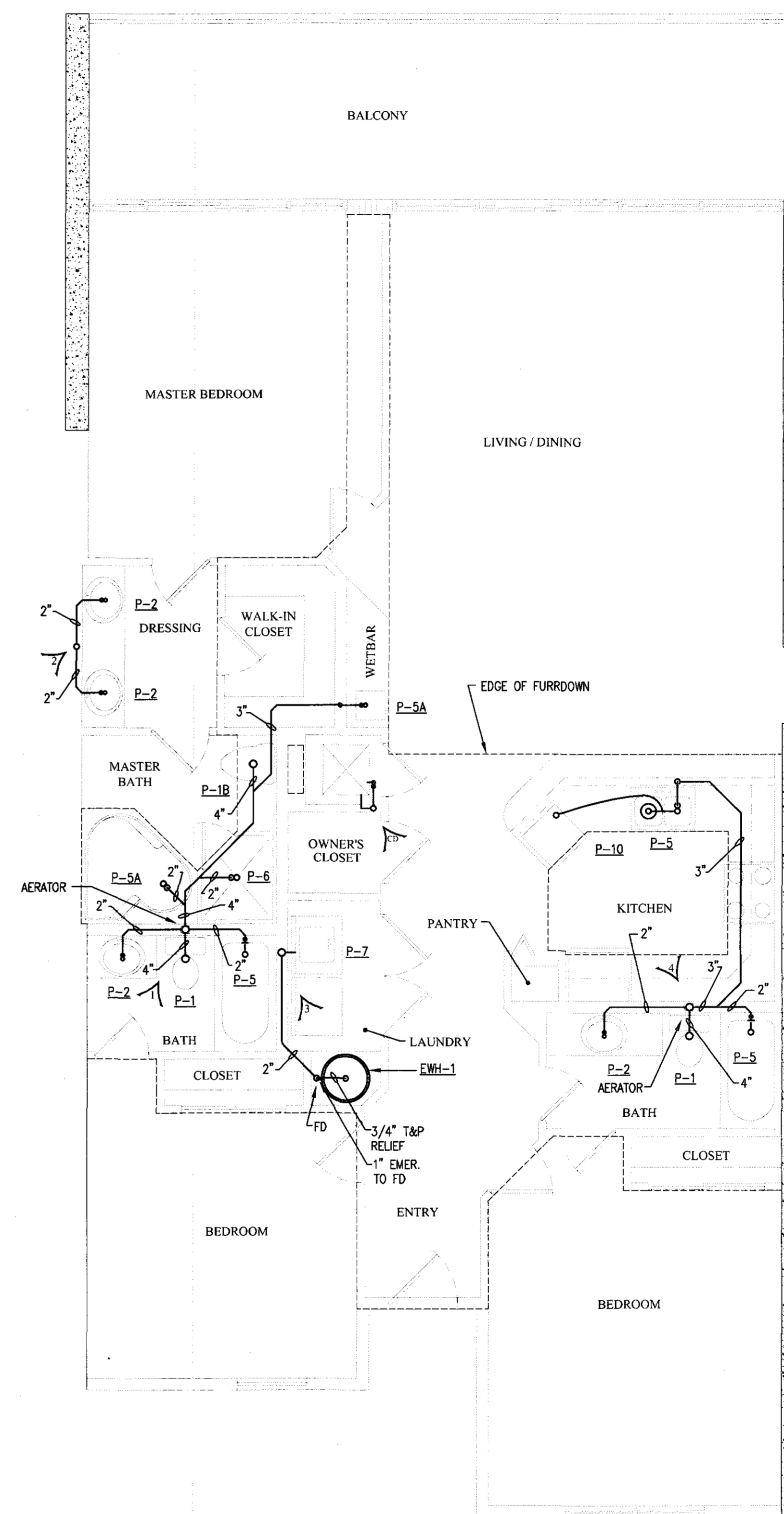
**Typ. Units
 A, B & C
 Waste Plans**



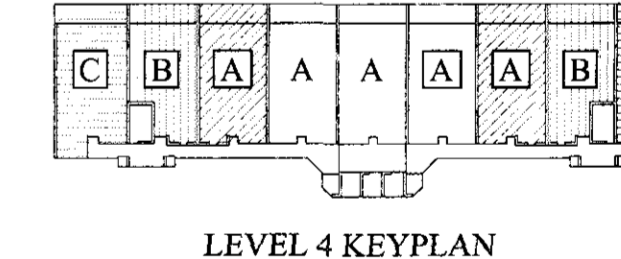
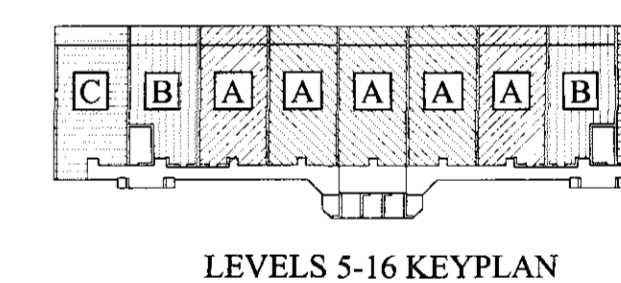
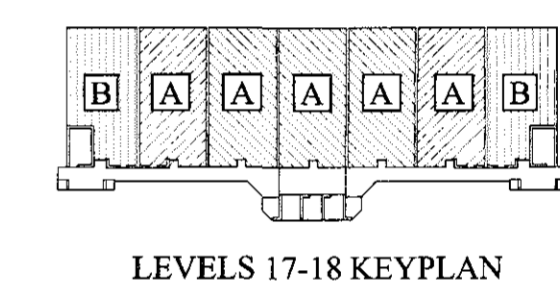
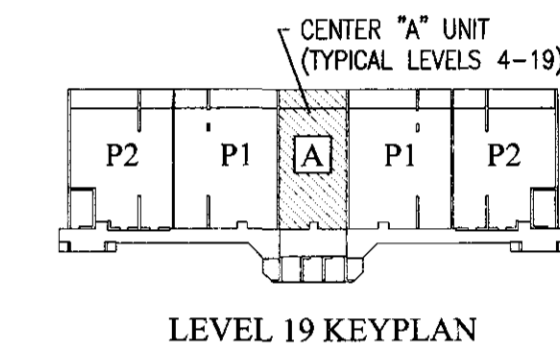
UNIT "A" TYPICAL WASTE & VENT PLUMBING PLAN
 SCALE: 1/4" = 1'-0"
 TYPICAL OF 73 UNITS



UNIT "B" TYPICAL WASTE & VENT PLUMBING PLAN
 SCALE: 1/4" = 1'-0"
 TYPICAL OF 30 UNITS



UNIT "C" TYPICAL WASTE & VENT PLUMBING PLAN
 SCALE: 1/4" = 1'-0"
 TYPICAL OF 26 UNITS



Gulf Shores, Alabama

San Carlos Condominium

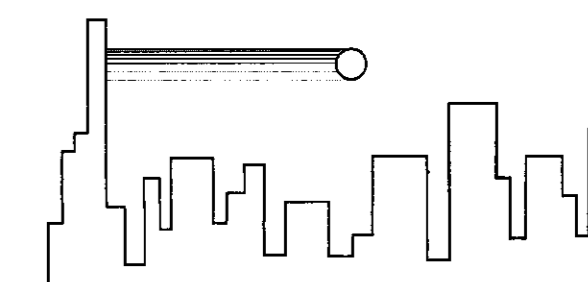
JOB NO.: 099807
 CAD: JRS
 CHECKED: SBP
 DATE: 6/10/04
 REVISIONS:

SEAL

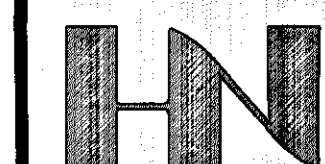
SHEET

P-3.2

OF



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 1621 S. University Blvd., Suite A-3, Mobile, AL 36609
 Phone: (251) 660-9221 Fax: (251) 660-9331
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ARCHITECTURE &
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30 N. PALAFOX
 PENSACOLA,
 FLORIDA 32501

(850) 432-6011
 FAX 435-9011
 henry@hnnorris.com

**Units
 P1 & P2
 Water Plans**

San Carlos Condominium
 Gulf Shores, Alabama

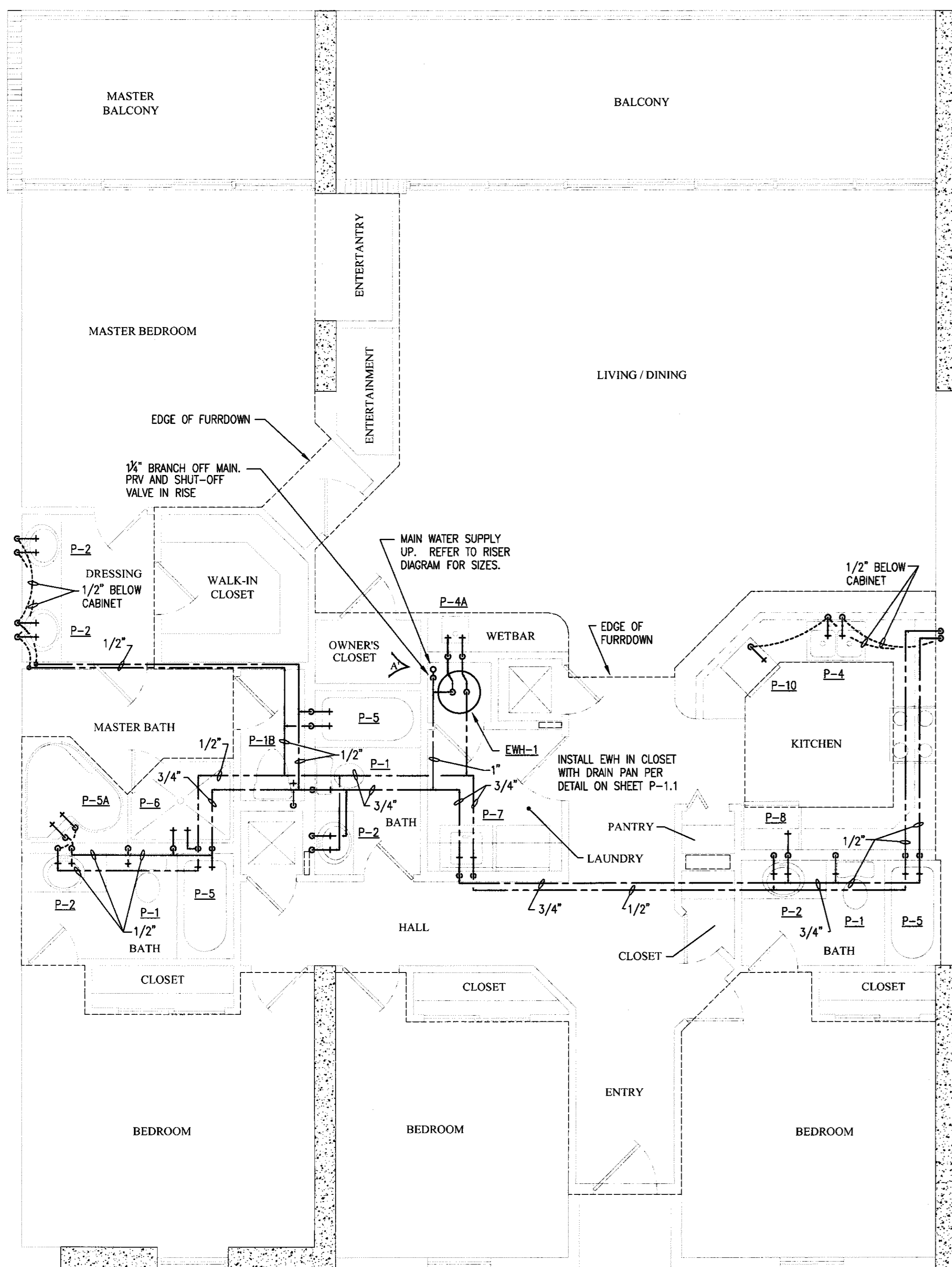
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 CAD: JRS
 CHECKED: SBP
 DATE: 6/10/04
 REVISIONS:

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SHEET

P-3.3

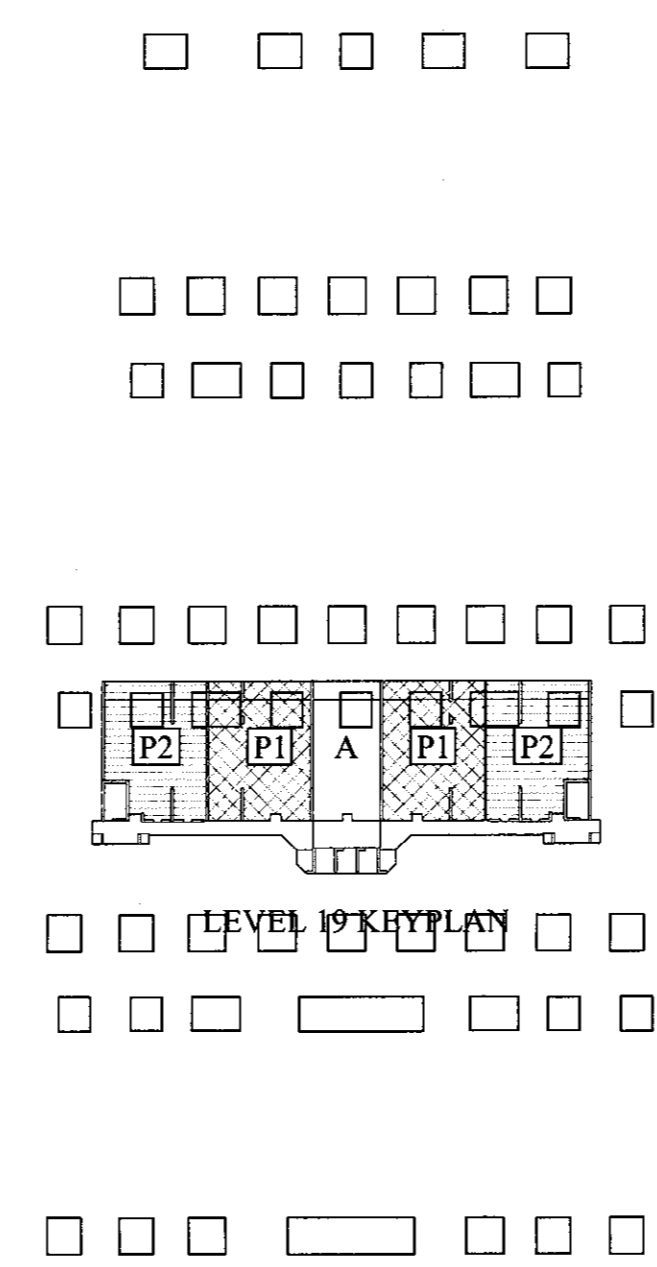
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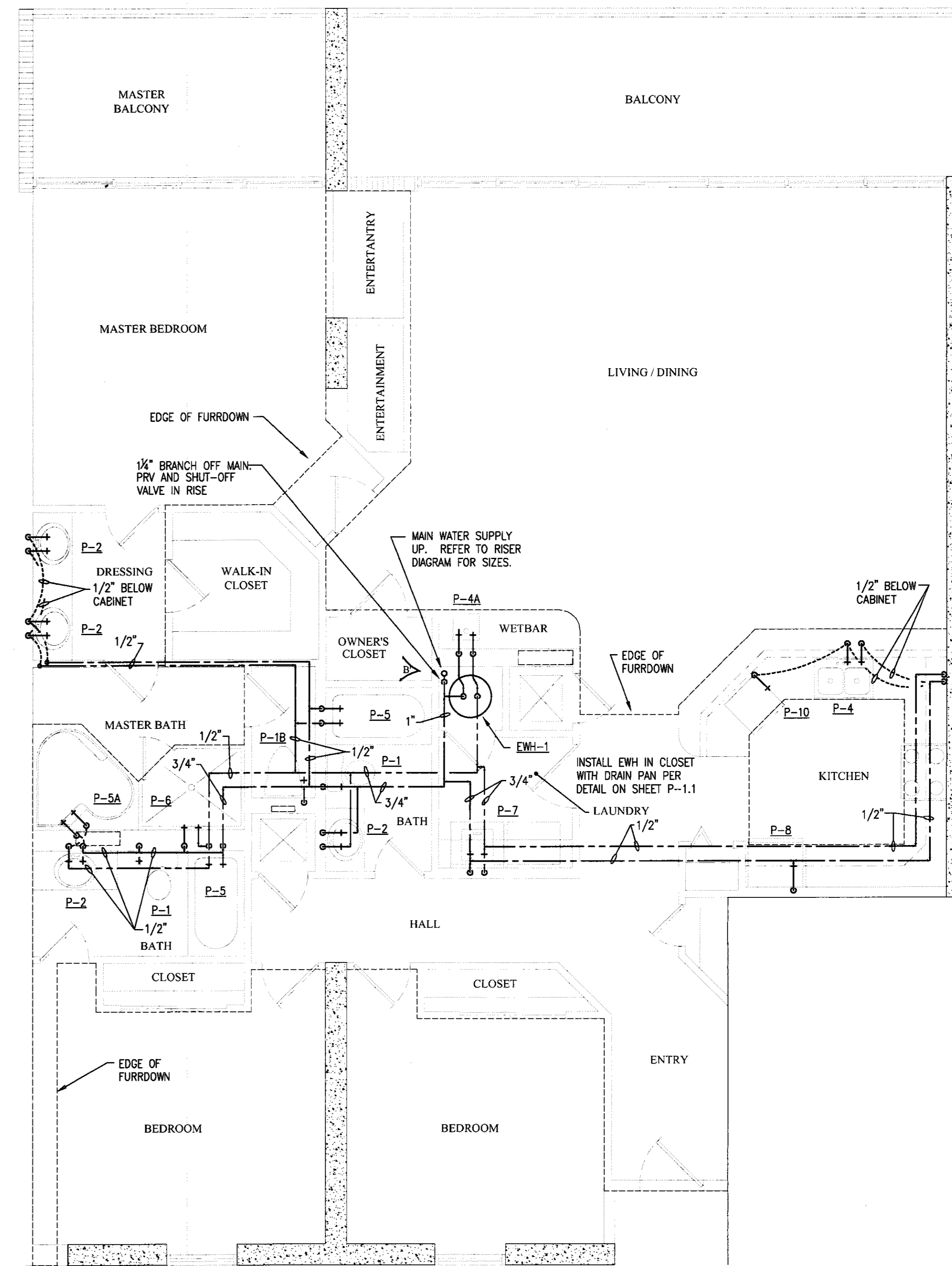
UNIT "P1" WATER SUPPLY PLUMBING PLAN

SCALE: 1/4" = 1'-0"

TYPICAL OF 2 UNITS



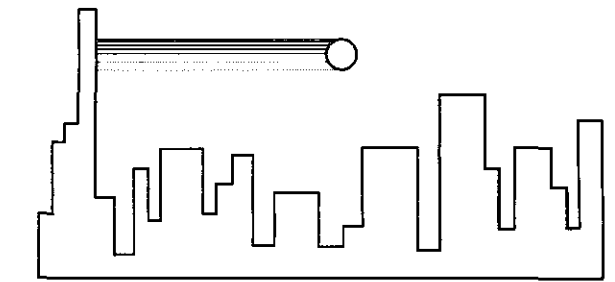
LEVEL 19 KEY PLAN



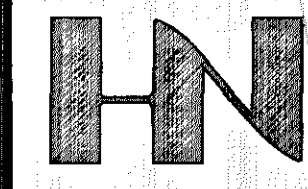
UNIT "P2" WATER SUPPLY PLUMBING PLAN

SCALE: 1/4" = 1'-0"

TYPICAL OF 2 UNITS



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 1621 S. University Blvd., Suite A-3, Mobile, AL 36609
 Phone: (251) 660-9221 Fax: (251) 660-9331
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30 N. PALAFOX
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 FLORIDA 32501

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 FAX 435-9011
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**18th Units
 P1 & P2
 Plumb. Plans**

San Carlos Condominium
 Gulf Breeze, Alabama

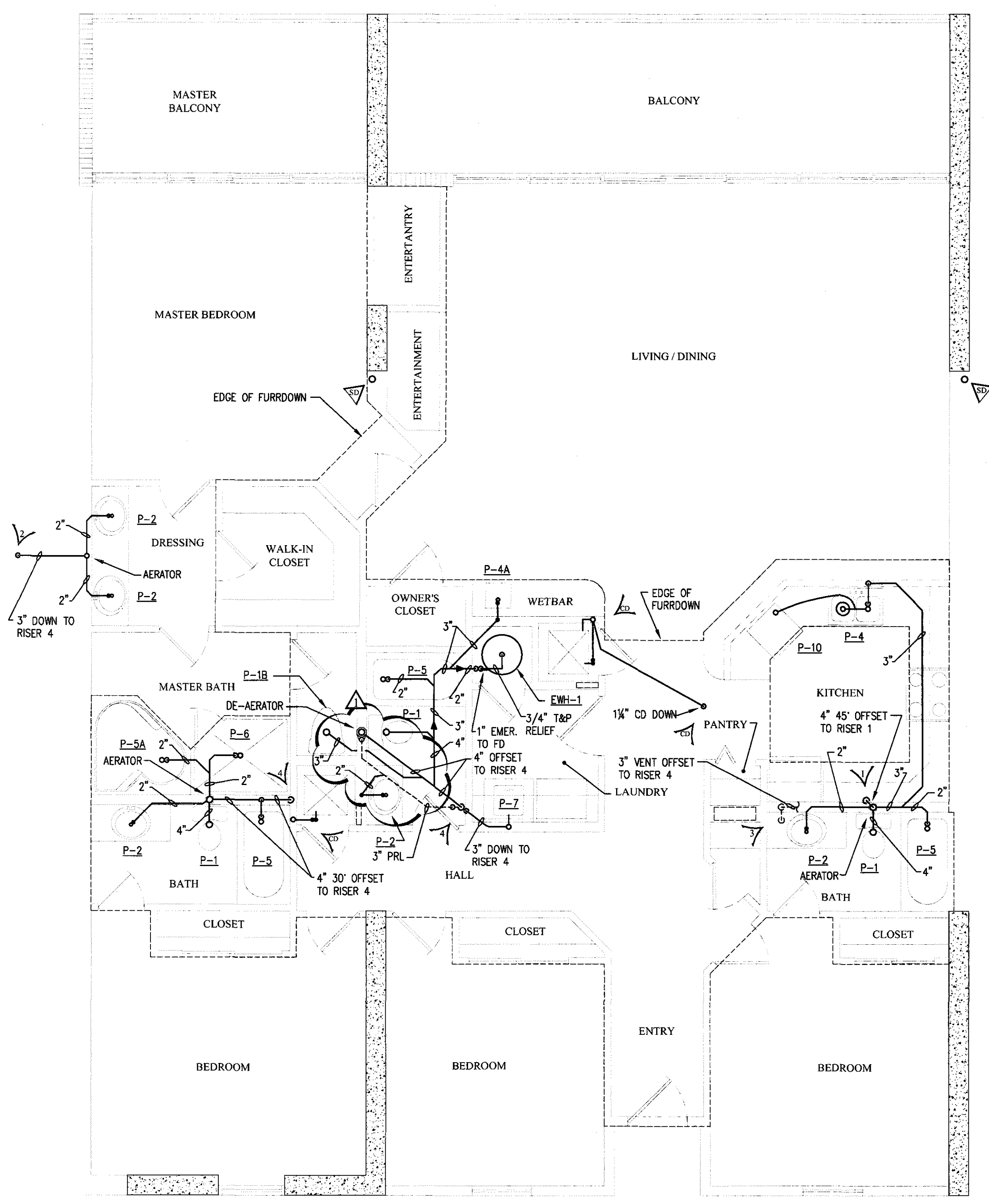
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 REVISIONS:

4-5-06

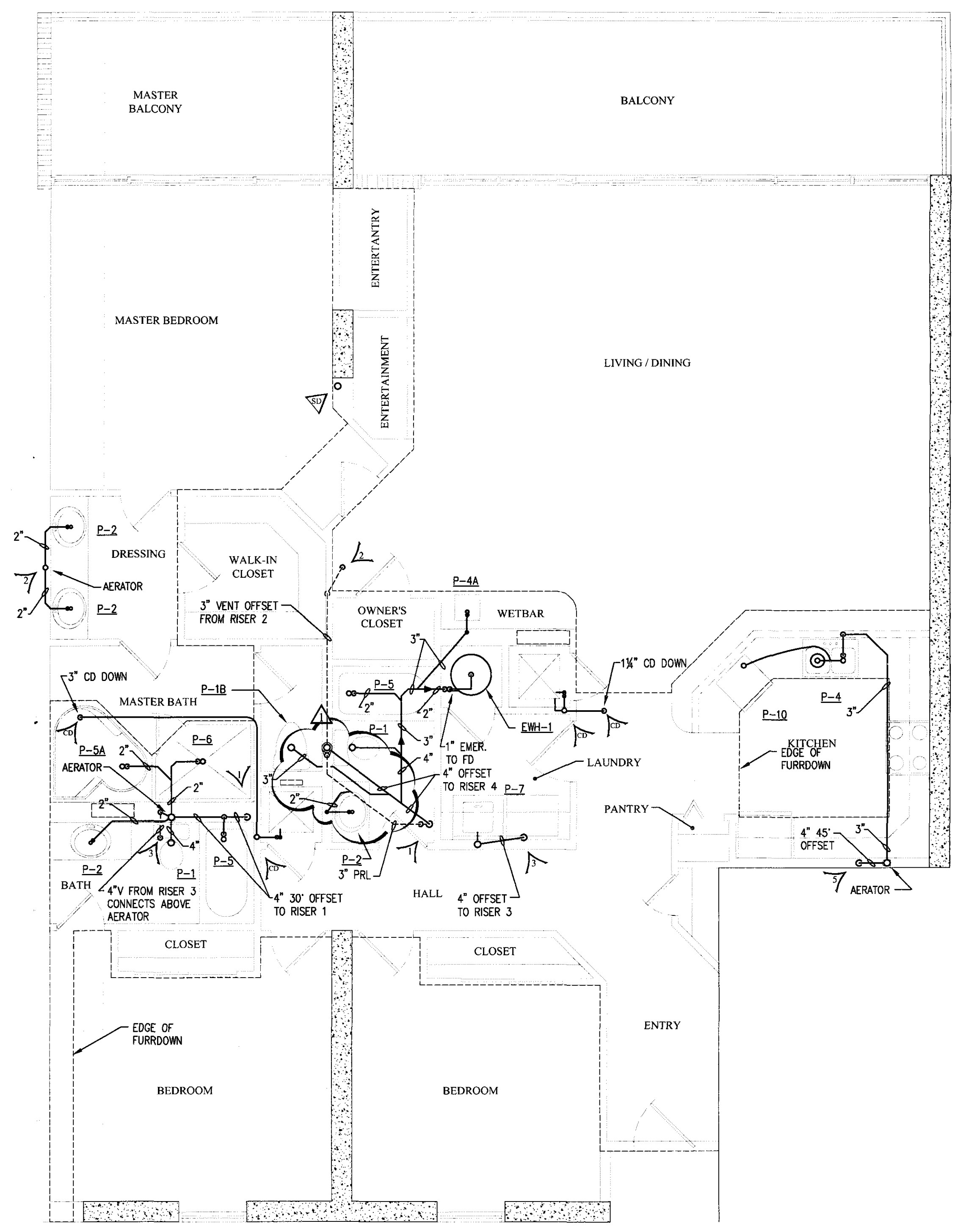
SEAL

SHEET

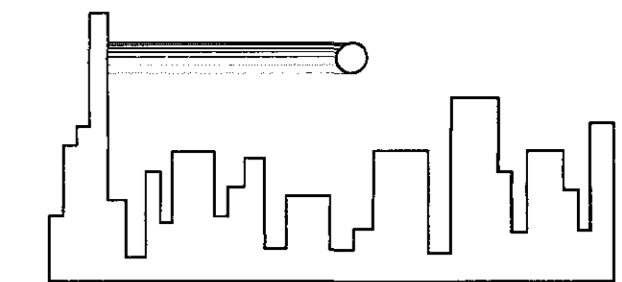
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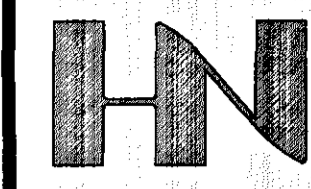
UNIT "P1" WASTE & VENT PLUMBING PLAN
 SCALE: 1/4" = 1'-0" TYPICAL OF 2 UNITS



UNIT "P2" WASTE & VENT PLUMBING PLAN
 SCALE: 1/4" = 1'-0" TYPICAL OF 2 UNITS



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 1621 S. University Blvd., Suite A-3 Mobile, AL 36609
 Phone: (251) 666-9221 Fax: (251) 666-9331
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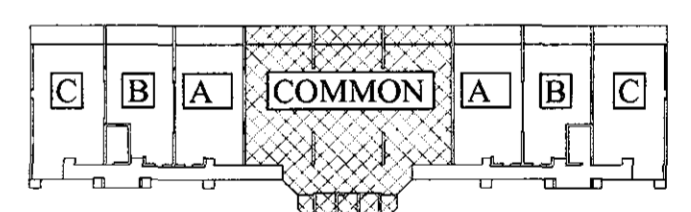
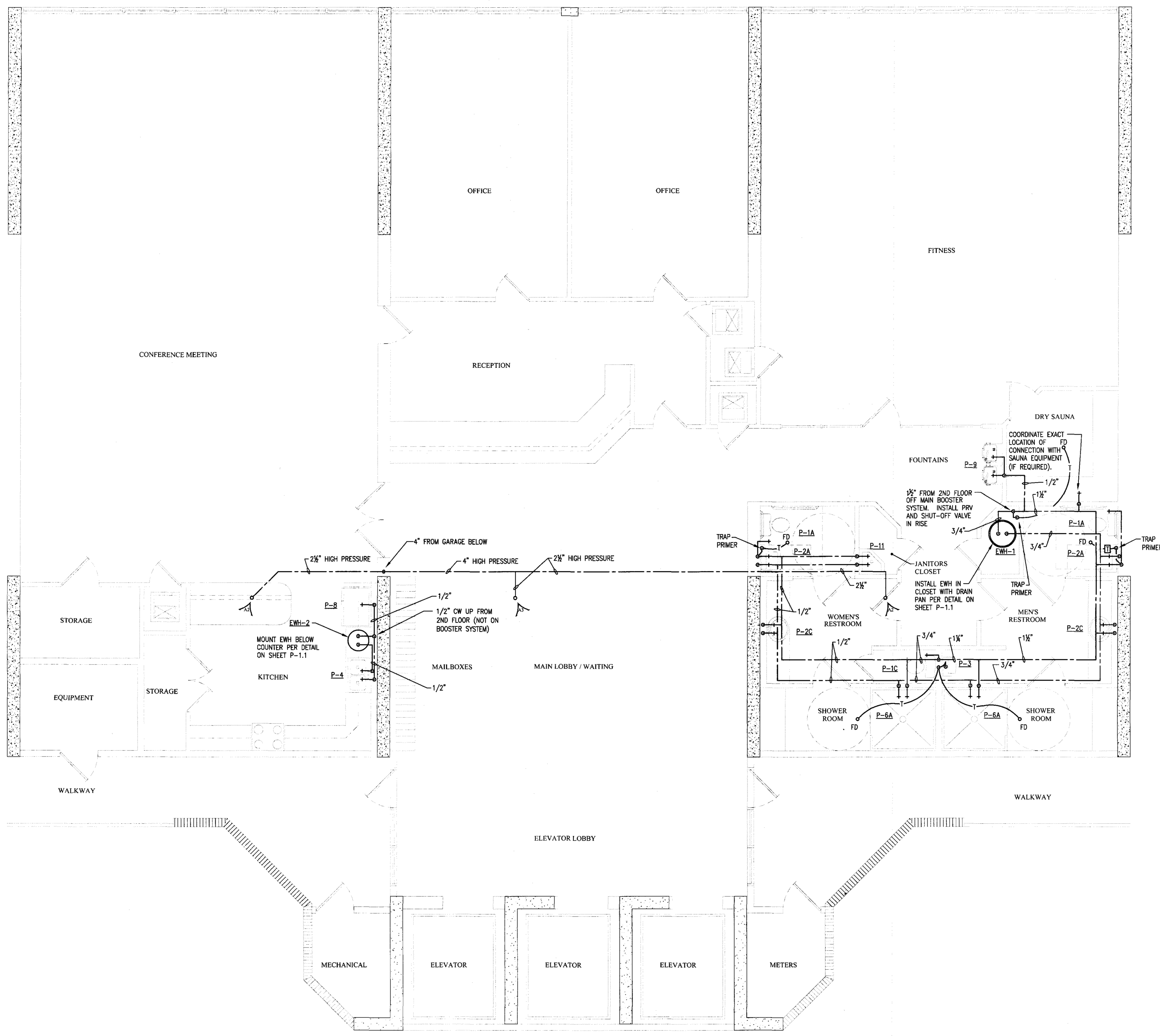
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 FAX 435-9011
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**3rd Level
 Commons
 Water Plan**

San Carlos Condominium
 Gulf Shores, Alabama



LEVEL 3 KEYPLAN

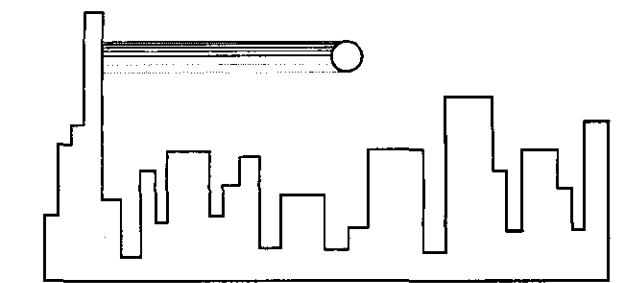
3rd LEVEL COMMON AREA WATER SUPPLY PLUMBING PLAN
 SCALE: 1/4" = 1'-0"

JOB NO.: 099807
 CAD: JRS
 CHECKED: SBP
 DATE: 6/10/04
 REVISIONS:

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SHEET

P-3.5
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Phone: (251) 660-9221 Fax: (251) 660-9331
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DESIGN

30 N. PALAFOX
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(850) 432-6011
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**3rd Level
Commons
Waste Plan**

San Carlos Condominium
C-11f Shore, Alabama

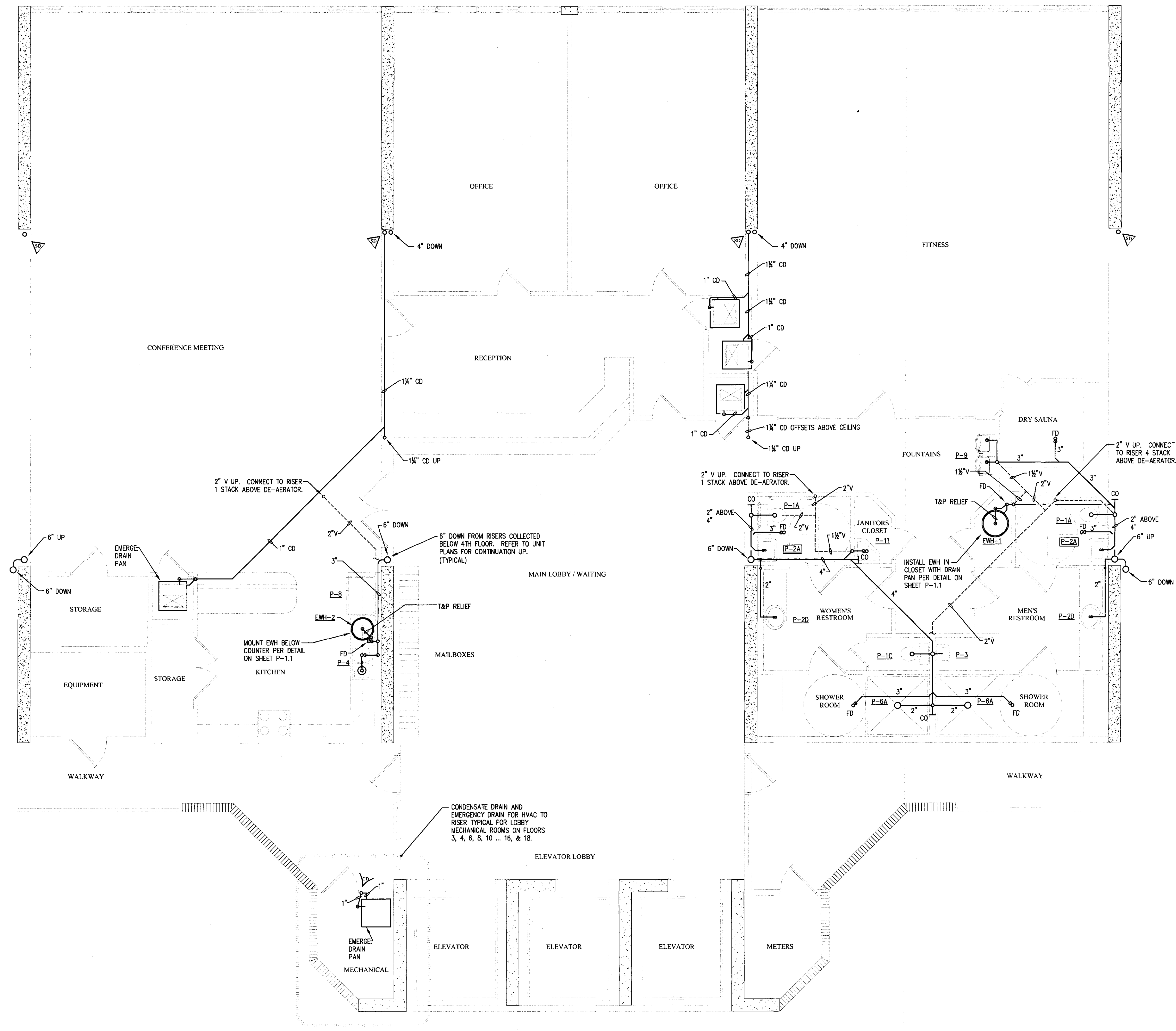
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CAD: JRS
CHECKED: SBP
DATE: 6/10/04
REVISIONS:

SEAL

SHEET

P-3.6

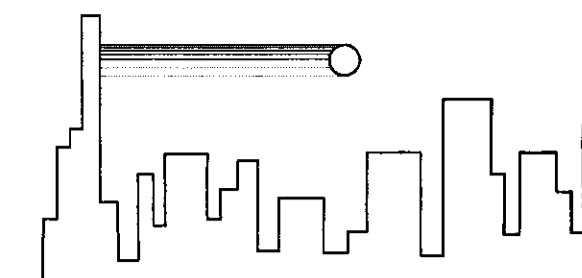
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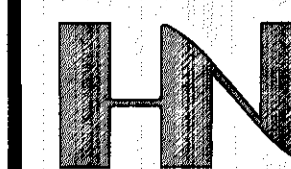
LEVEL 3 KEYPLAN

3rd LEVEL COMMON AREA WASTE & VENT PLUMBING PLAN

SCALE: 1/4" = 1'-0"



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Phone: (251) 660-9221 Fax: (251) 660-9331
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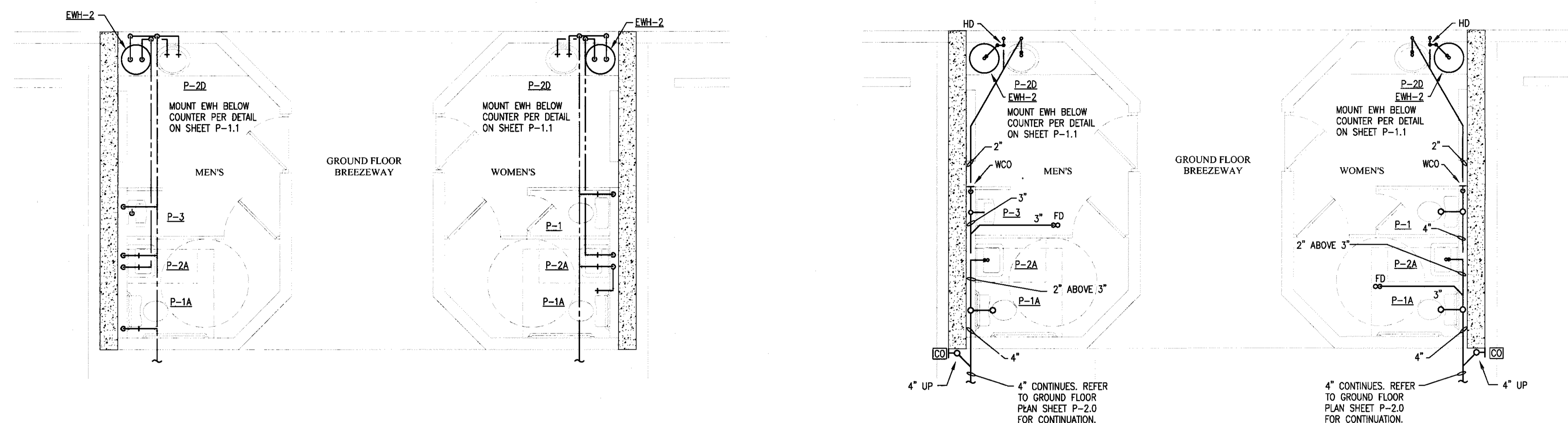
(850) 432-6011
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**Ground Bath
Mech. Room
Plumb. Plans**

Gulf Shores, Alabama

San Carlos Condominium

JOB NO.: 099807
CAD: JRS
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DATE: 6/10/04
REVISIONS:

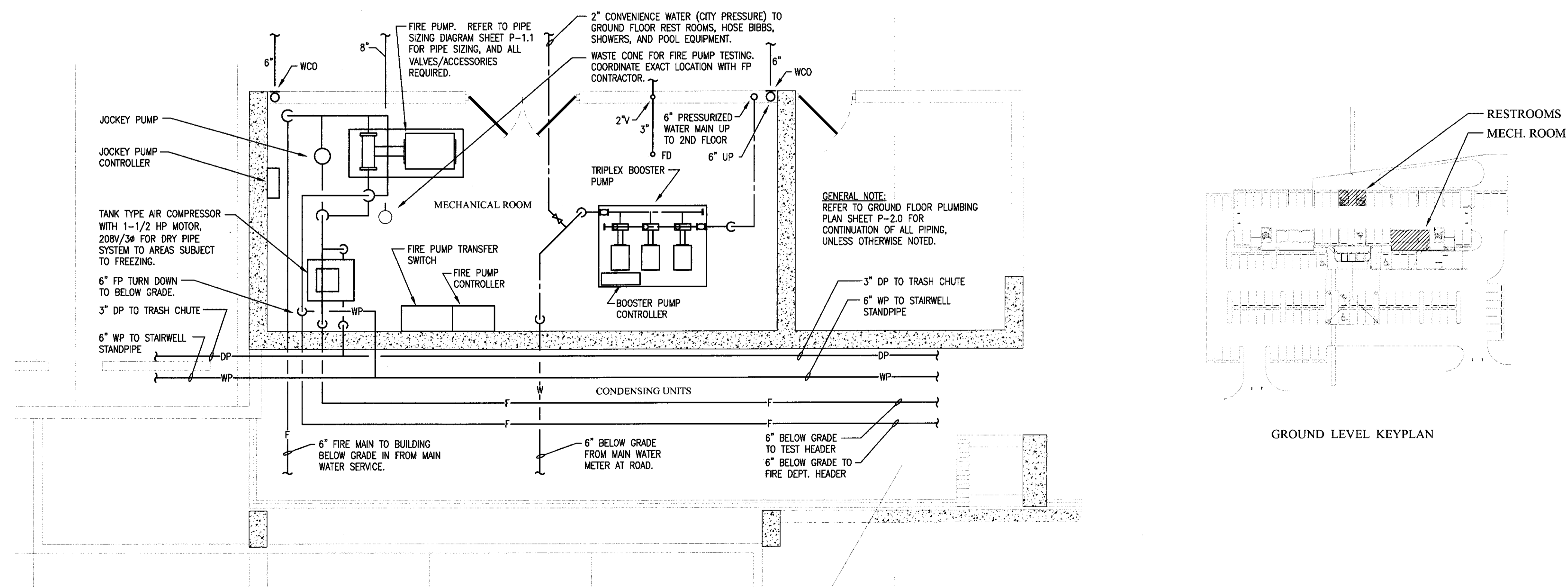


GROUND LEVEL BATHROOM WATER SUPPLY PLUMBING PLAN

SCALE: 1/4" = 1'-0"

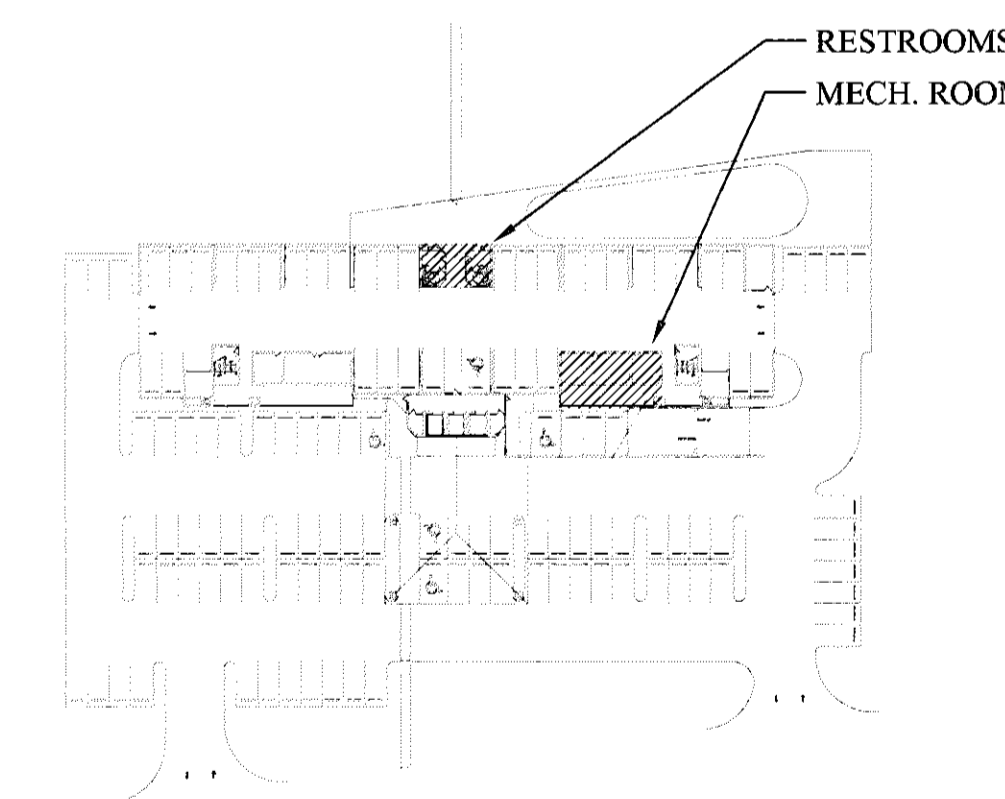
GROUND LEVEL BATHROOM WASTE & VENT PLUMBING PLAN

SCALE: 1/4" = 1'-0"



GROUND LEVEL MECHANICAL ROOM PLUMBING PLAN

SCALE: 1/4" = 1'-0"



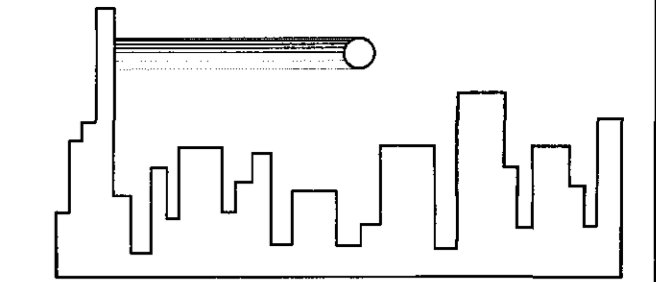
GROUND LEVEL KEYPLAN

SEAL

SHEET

P-3.7

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 Phone: (251) 660-9221 Fax: (251) 660-9331
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30 N. PALAFOX
 PENSACOLA, FLORIDA 32501

(850) 432-6011
 FAX 435-9011
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Water & Condensate Risers

San Carlos Condominium
 Gulf Shores, Alabama

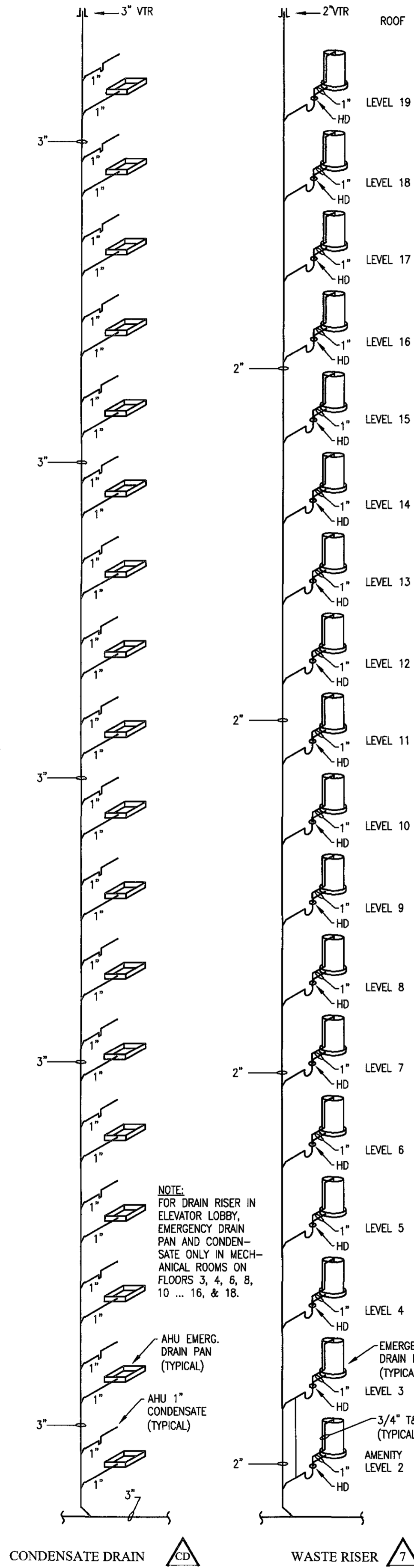
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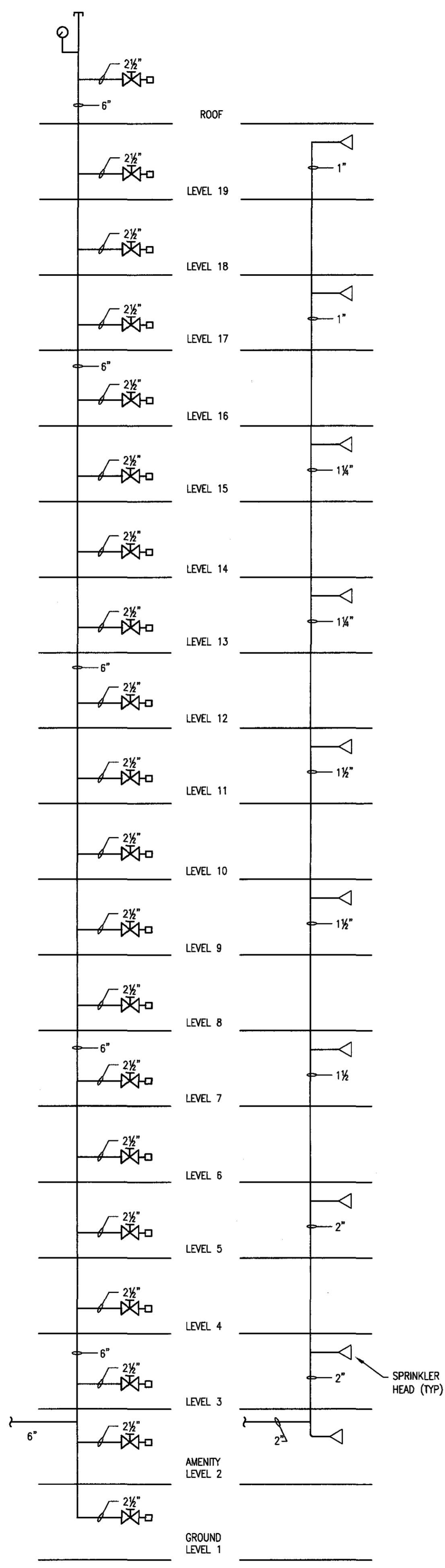
SHEET

P-4.0

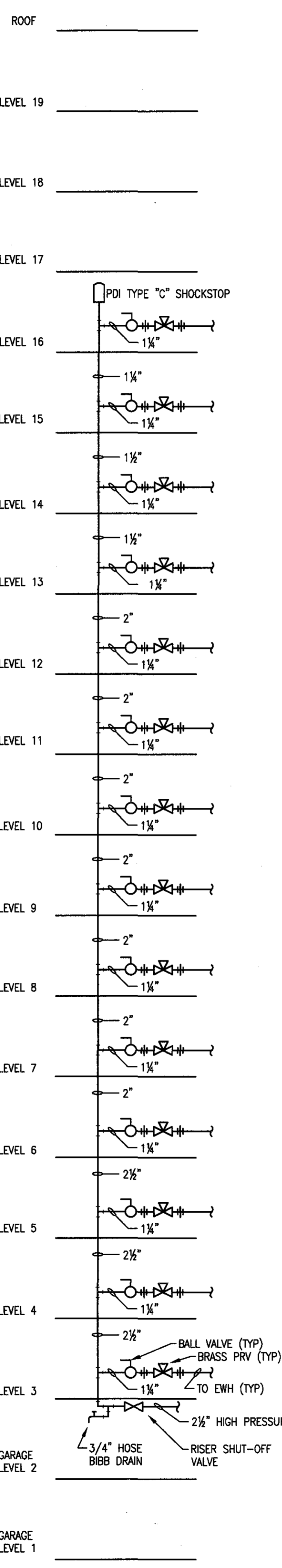
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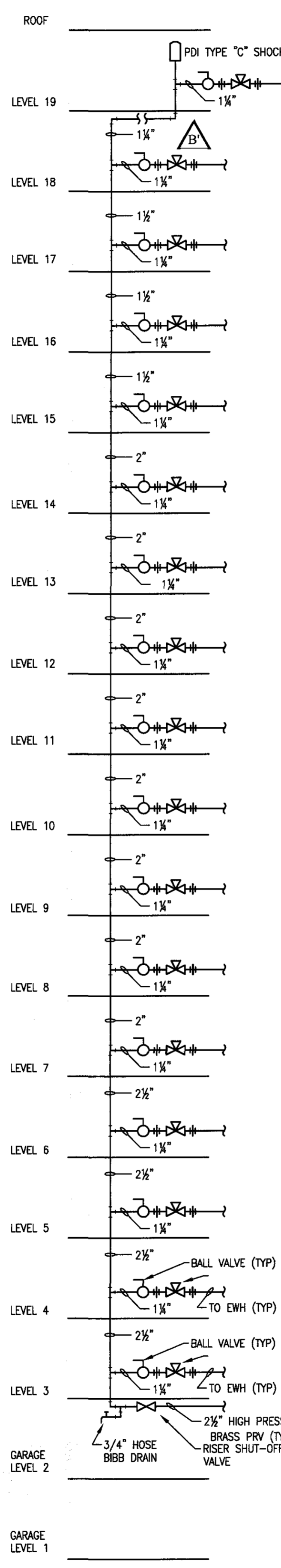
DRAIN RISERS
 NOT TO SCALE



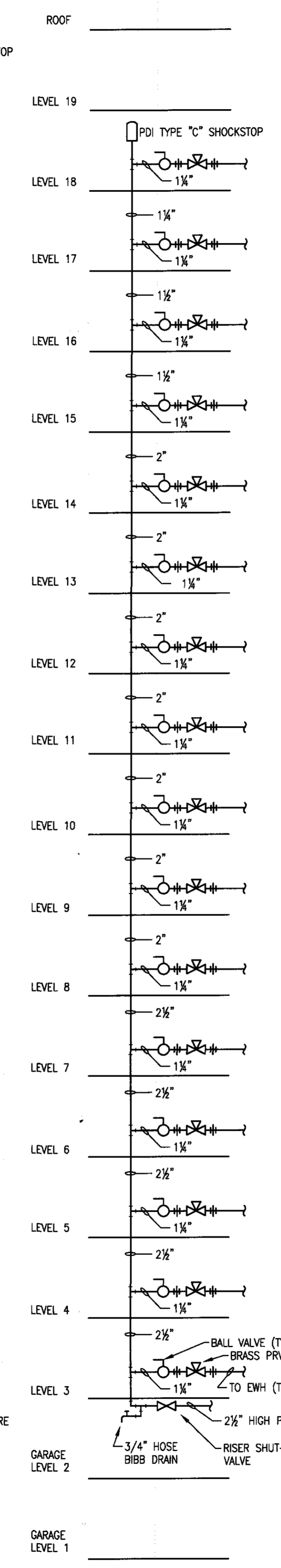
FIRE SPRINKLER SUPPLY RISERS
 NOT TO SCALE



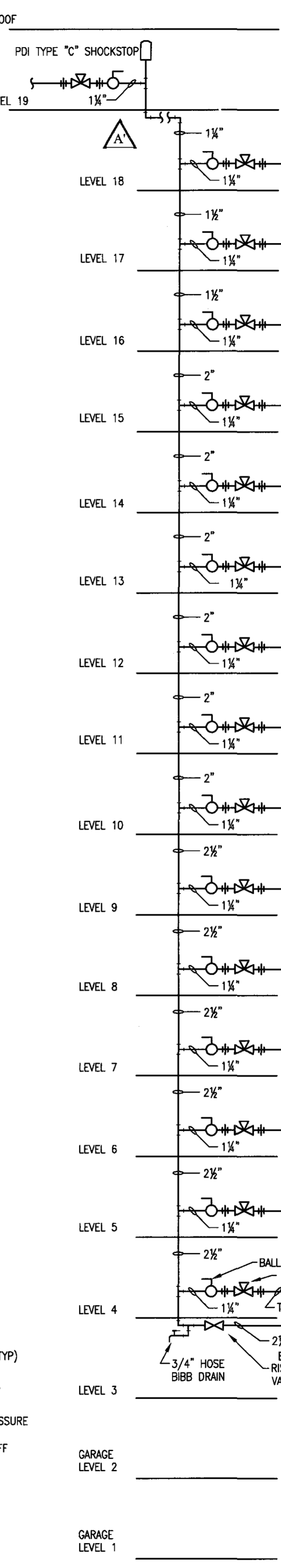
WATER RISER C



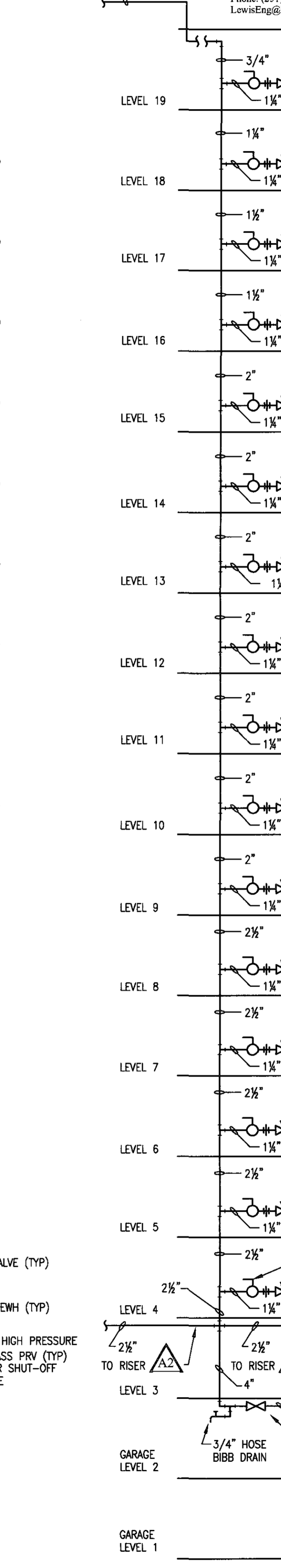
WATER RISER B



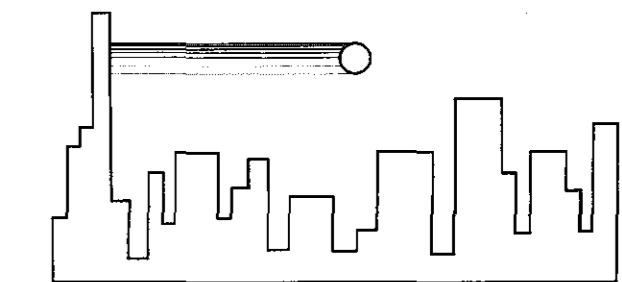
WATER RISER A



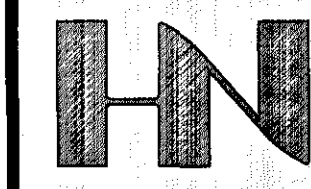
WATER RISER A2



WATER RISER A3



Lewis Engineering & Associates, Inc.
 1621 S. University Blvd., Suite A-3 Mobile, AL 36609
 Phone: (251) 660-9221 Fax: (251) 660-9331
 LewisEng@bellsouth.net



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 NORRIS &
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ARCHITECTURE &
 ENVIRONMENTAL
 DESIGN

30 N. PALAFOX
 PENSACOLA,
 FLORIDA 32501

(850) 432-6011
 FAX 435-9011
 henry@hnnorris.com

**Typical
 Waste
 Risers**

San Carlos Condominium
 Gulf Shores, Alabama

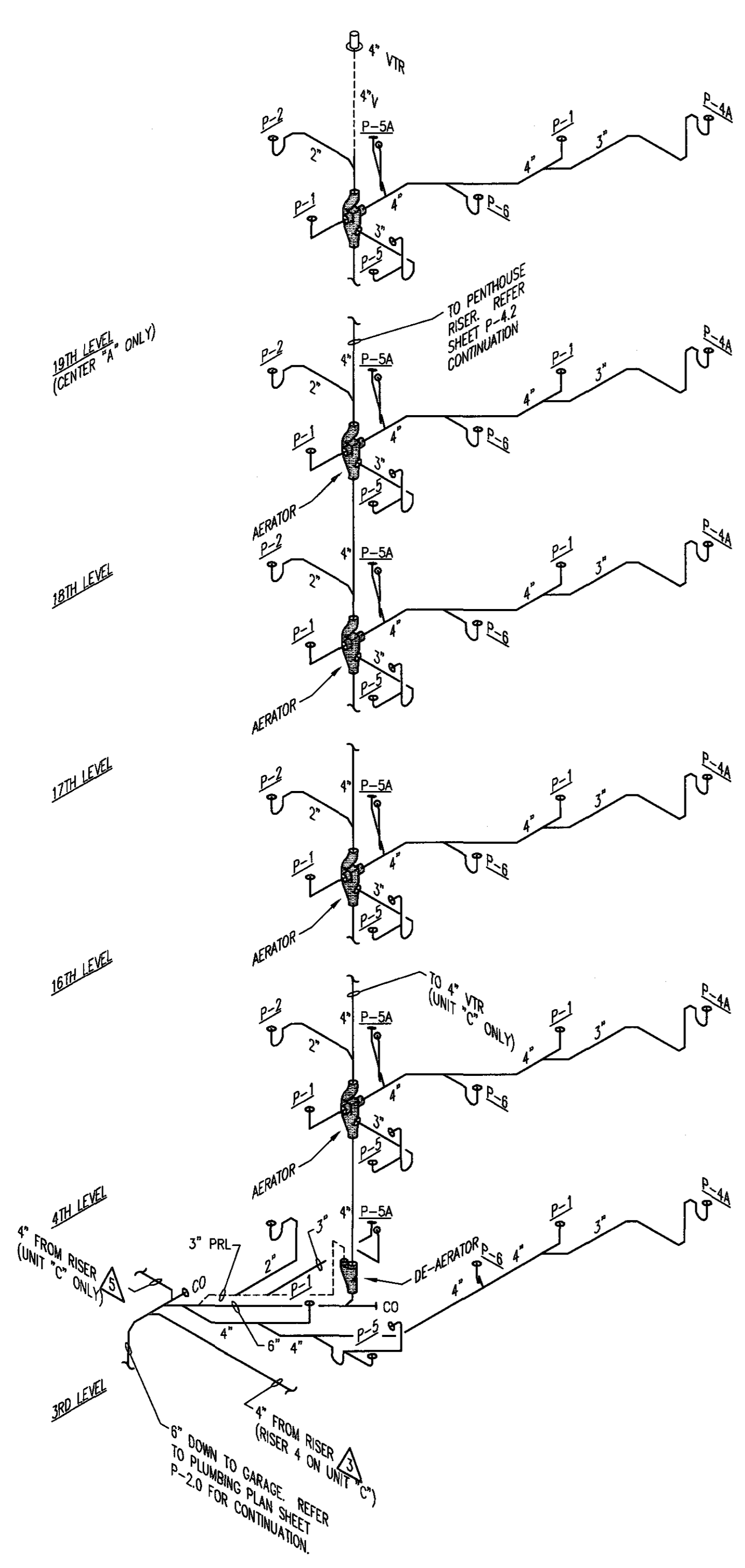
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 DATE: 6/10/04
 REVISIONS:

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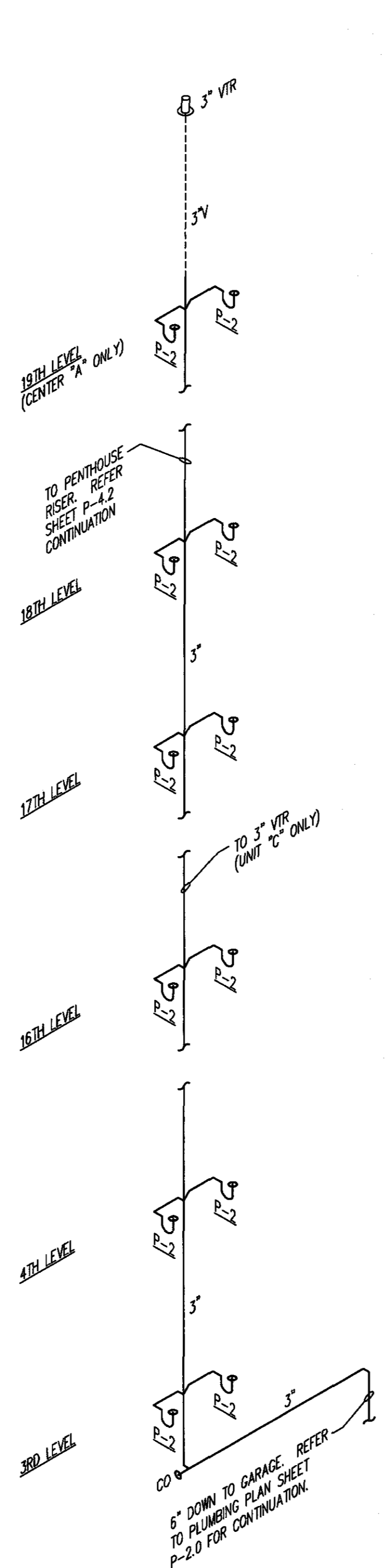
SHEET

P-4.1

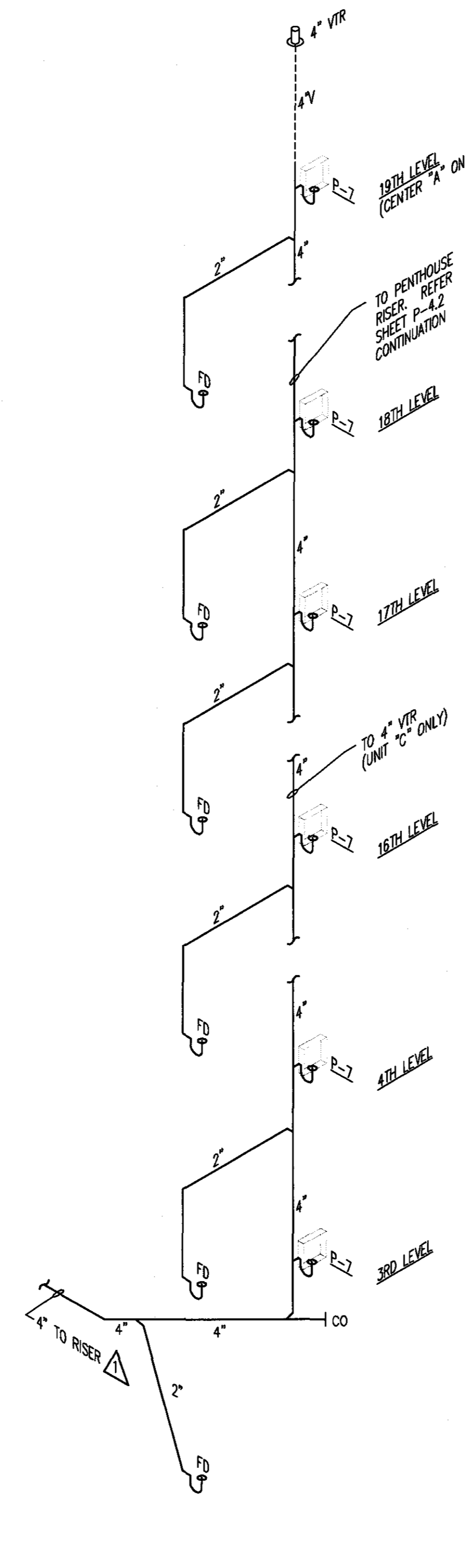
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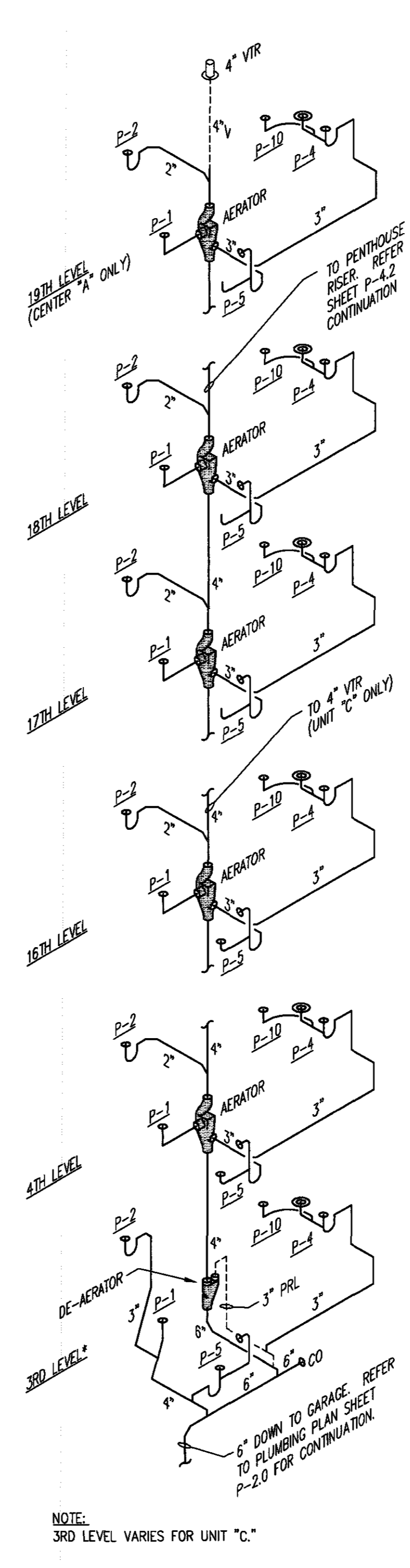
WASTE & DRAIN RISER 1
 NOT TO SCALE



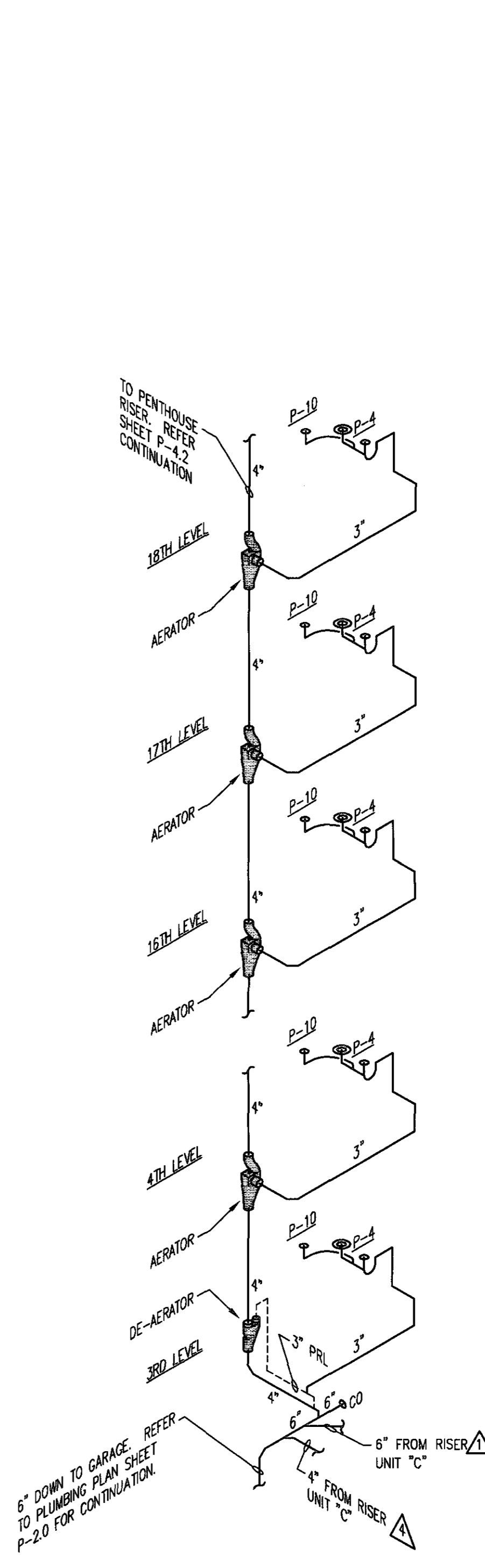
WASTE & DRAIN RISER 2
 NOT TO SCALE



WASTE & DRAIN RISER 3
 NOT TO SCALE

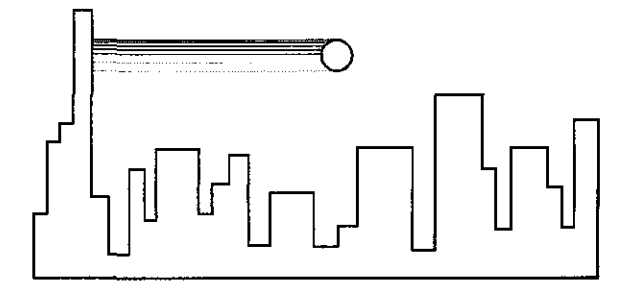


WASTE & DRAIN RISER 4
 NOT TO SCALE

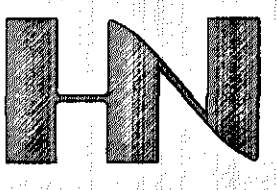


WASTE & DRAIN RISER 5
 NOT TO SCALE

NOTE:
 CHECK PLANS FOR HIGHEST FLOOR TO APPLICABLE RISER. THE HIGHEST LEVEL FOR ANY RISER IN UNIT "C" IS 16, AND ONLY PENTHOUSE RISERS AND CENTER "A" UNIT HAVE FIXTURES ON 19TH LEVEL. REFER TO PLANS AND PENTHOUSE RISERS FOR RISER OFFSETS ABOVE UNITS "B" AND "A" UNITS OTHER THAN CENTER.



Lewis Engineering & Associates, Inc.
 1621 S. University Blvd., Suite A-3, Mobile, AL 36609
 Phone: (251) 660-9221 Fax: (251) 660-9331
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30 N. PALAFOX
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(850) 432-6011
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**Denthouse
 & Common
 Risers**

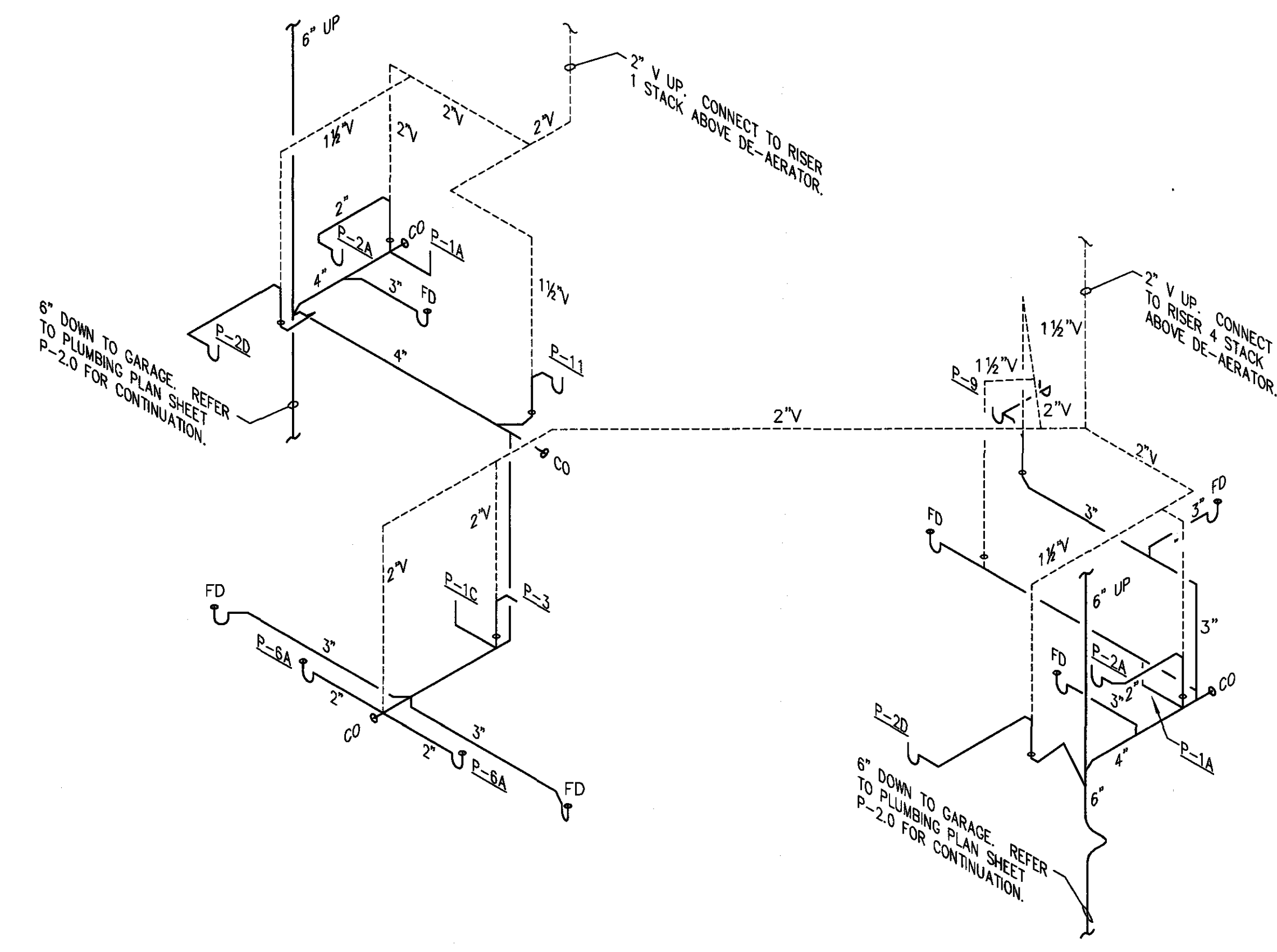
San Carlos Condominium
 Gulf Shores, Alabama

JOB NO.: 099807
 CAD: JRS
 CHECKED: SBP
 DATE: 6/10/04
 REVISIONS:
 4-5-06

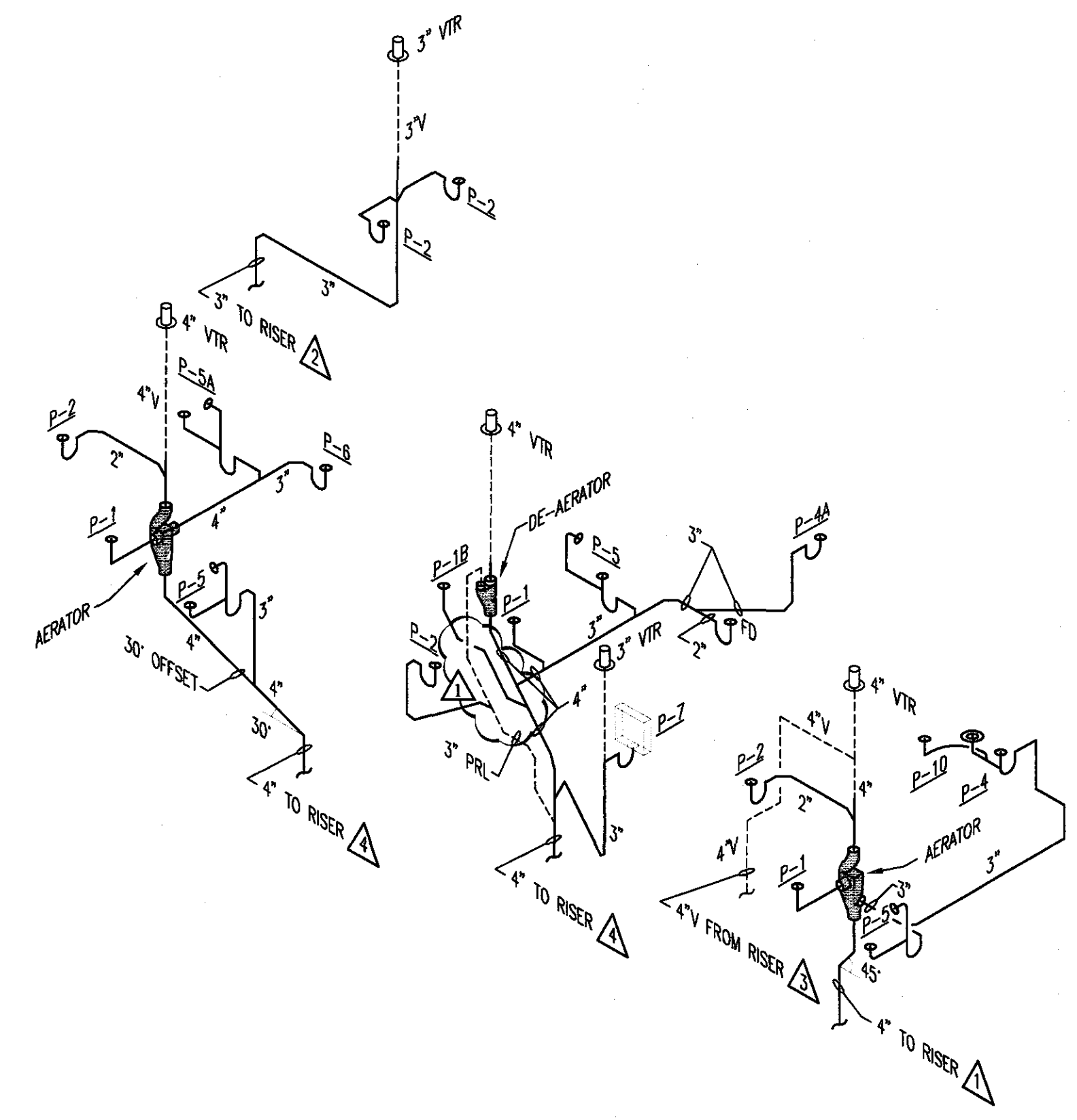
SEAL

SHEET

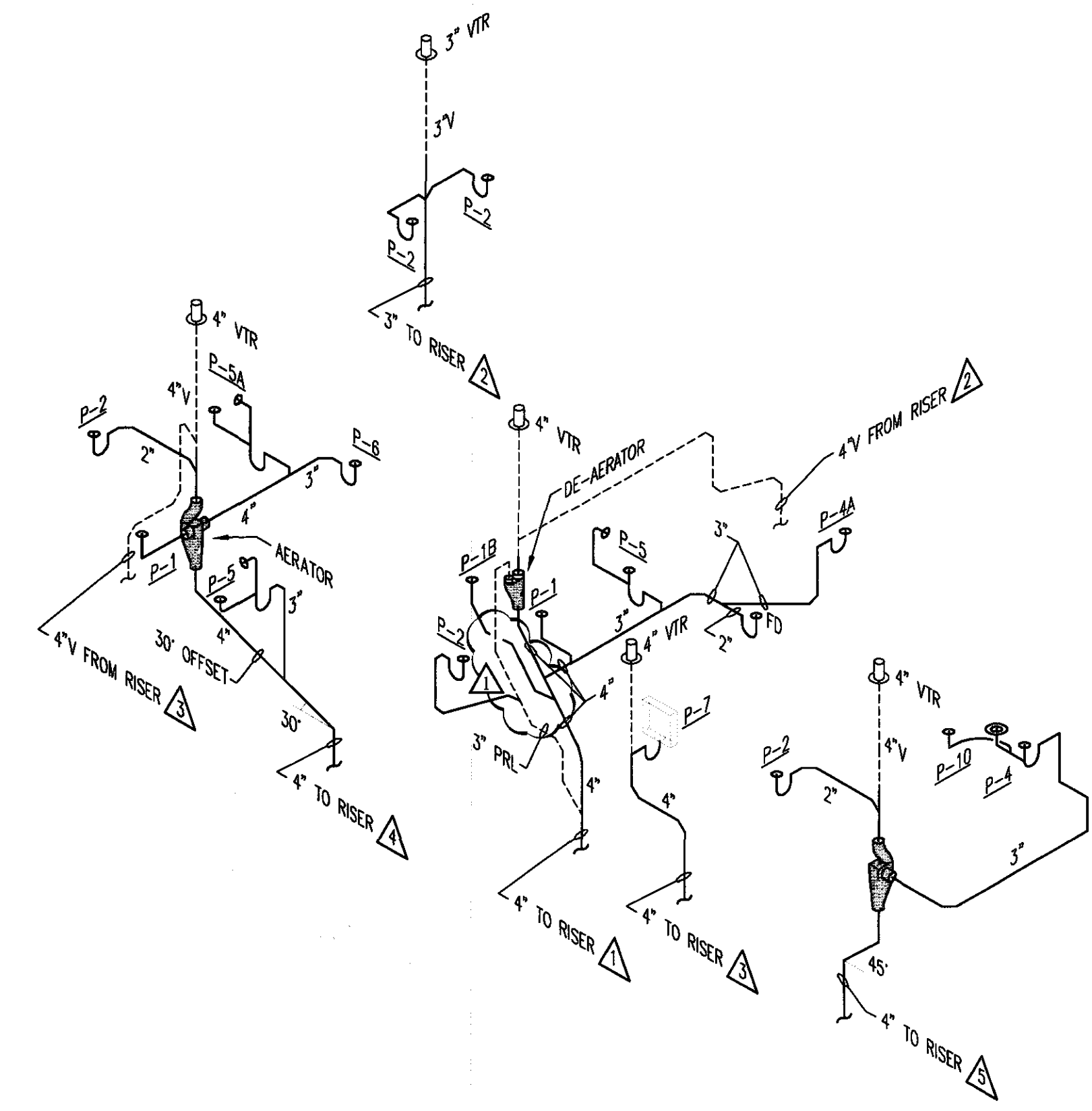
P-4.2
 OF



COMMON AREA WASTE RISER
 NOT TO SCALE



WASTE & DRAIN RISER FOR UNIT "P1"
 NOT TO SCALE



WASTE & DRAIN RISER FOR UNIT "P2"
 NOT TO SCALE



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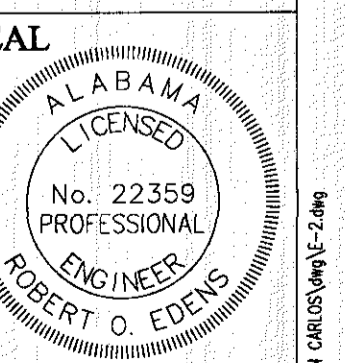
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Electrical Site Plan

San Carlos Condominium Gulf Shores, Alabama

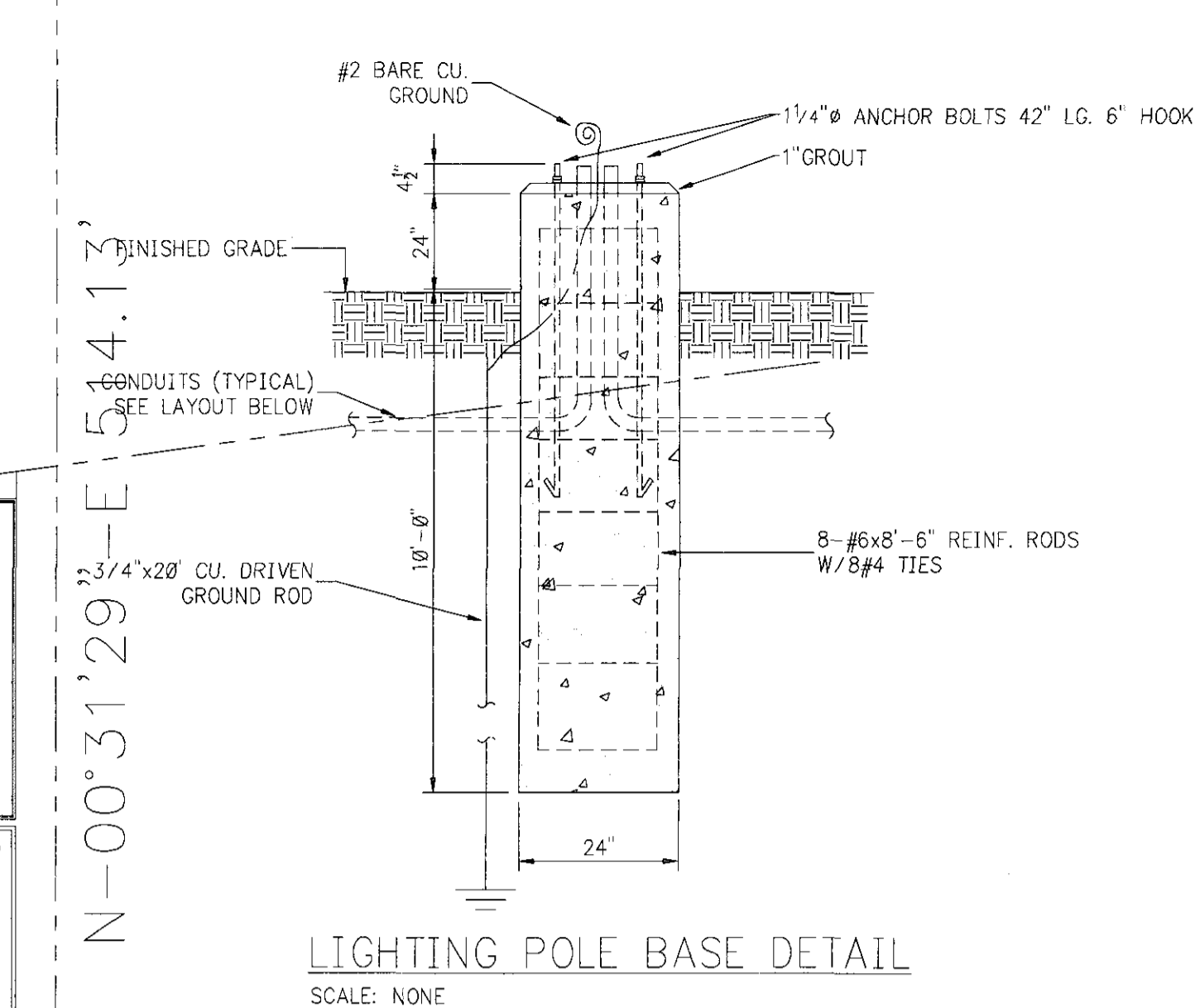
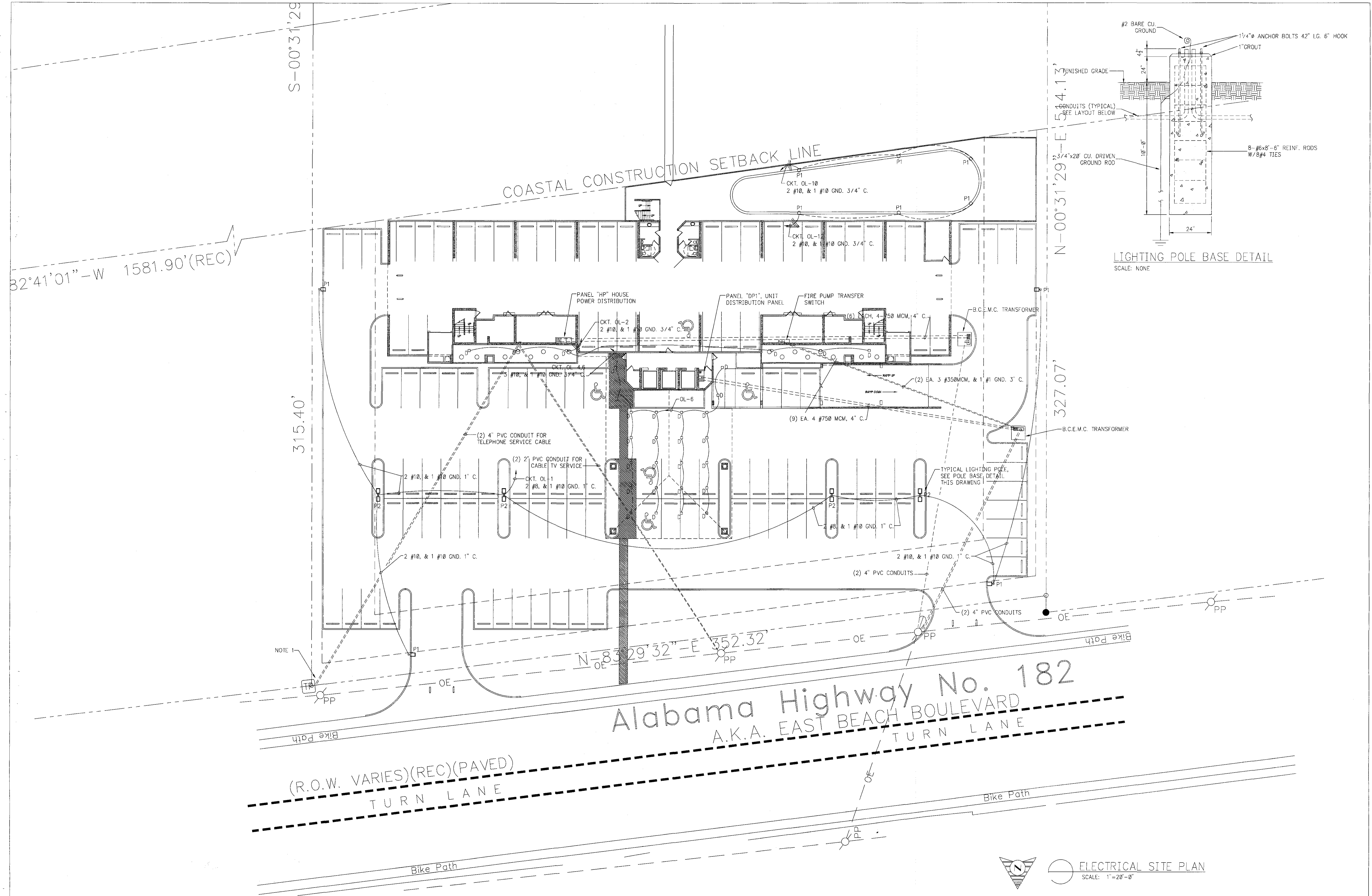
JOB NO.: CAD: SS CHECKED: ROE DATE: 5/21/04 REVISIONS: 0. I.F.C.



SHEET

E-2

OF



LIGHTING POLE BASE DETAIL SCALE: NONE

ELECTRICAL SITE PLAN SCALE: 1"=20'-0"

NOTES: 1. CAUTION THIS AREA EXISTING GAS MAIN.

120/240 PANEL "PL"

120/240 VOLT, 1 PHASE, 3 WIRE, 60HZ, 12,000 AIC NEMA 3R SURFACE MOUNT

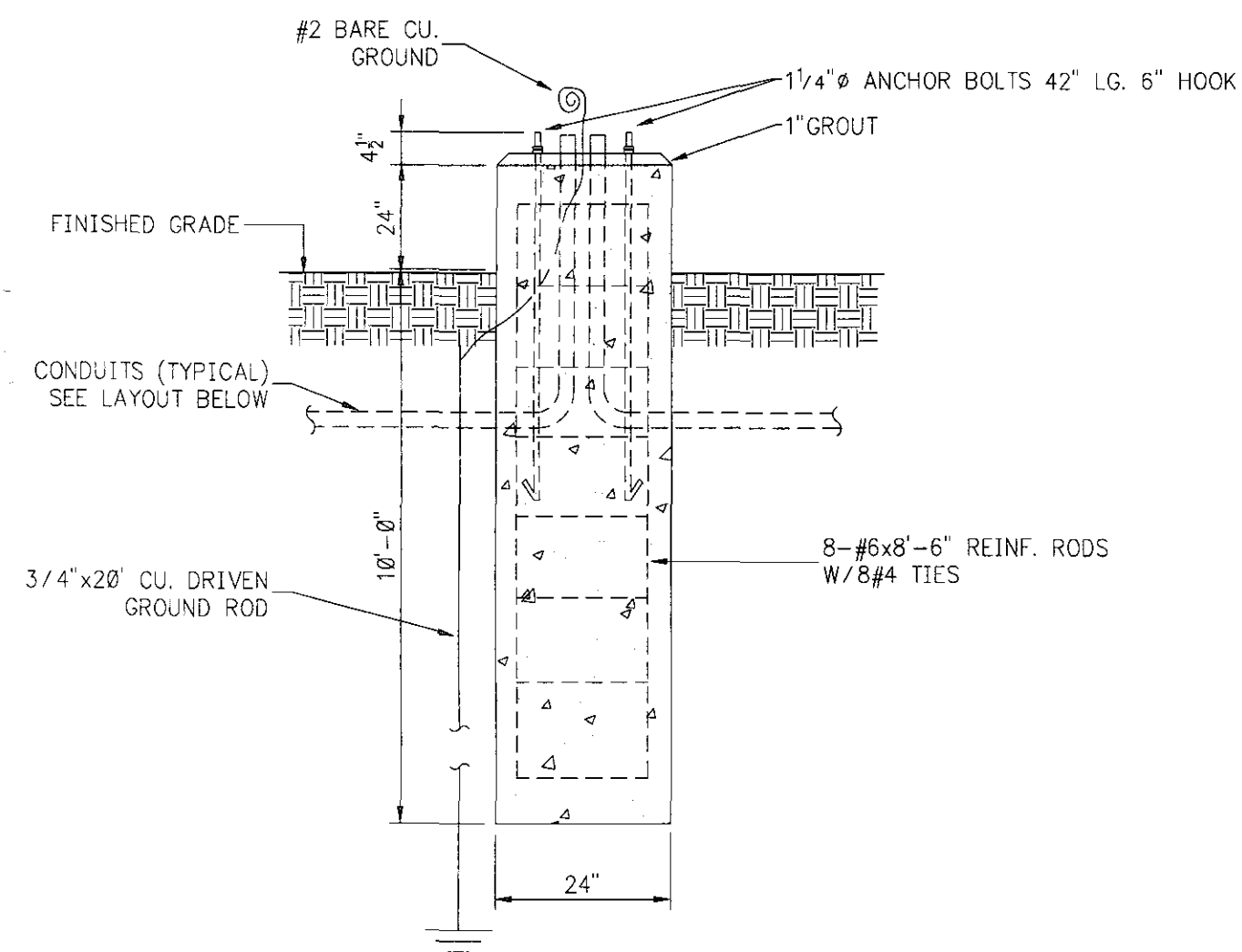
LOCATION	LOAD (WATTS)	CIRCUIT NUMBER	CIRCUIT NUMBER	LOAD (WATTS)	LOCATION
PARKING LIGHTING	750	1	2	750	PARKING LIGHTING
RECEPTACLE	750	3	4	750	
SPACE	-	7	6	-	SPACE
SPACE	-	9	8	-	SPACE
SPACE	-	11	10	-	SPACE
SPACE	-		12	-	SPACE

TOTAL CONNECTED LOAD: 3380 ALL BRANCH BREAKERS SIZED AS SHOWN

PANEL LOCATION: PARKING AREA (G) DENOTES GROUND FAULT BREAKER

East First Avenue

Alabama Highway No. 182

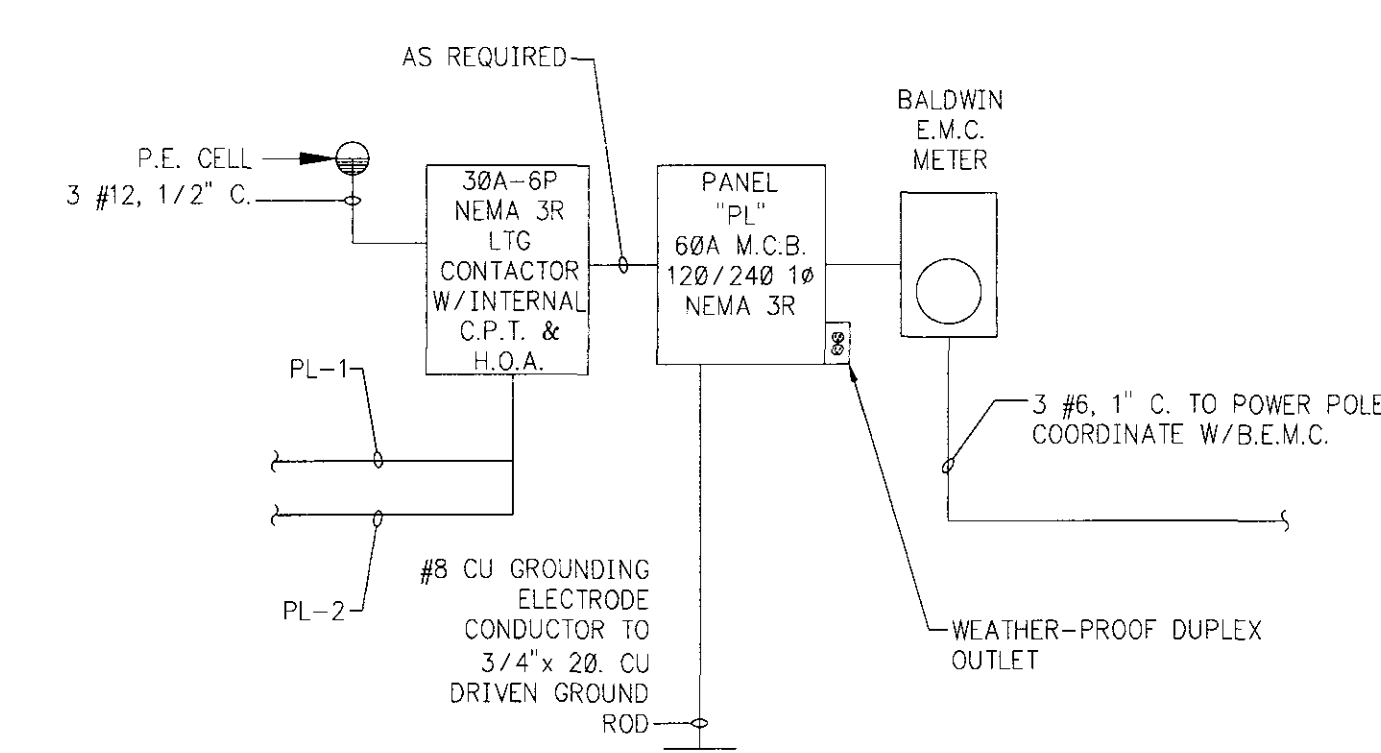
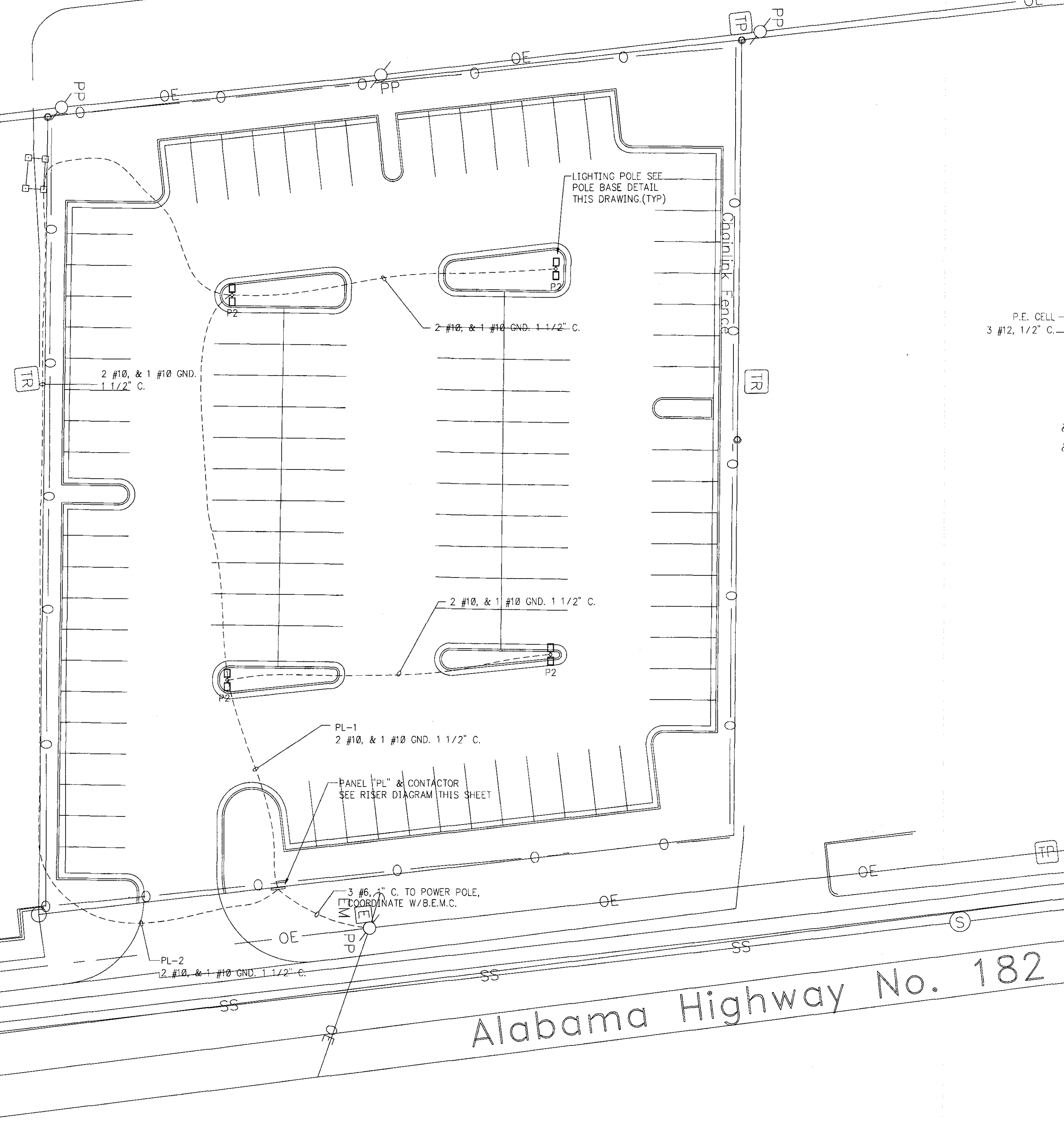


LIGHTING POLE BASE DETAIL

SCALE: NONE

NOTES:

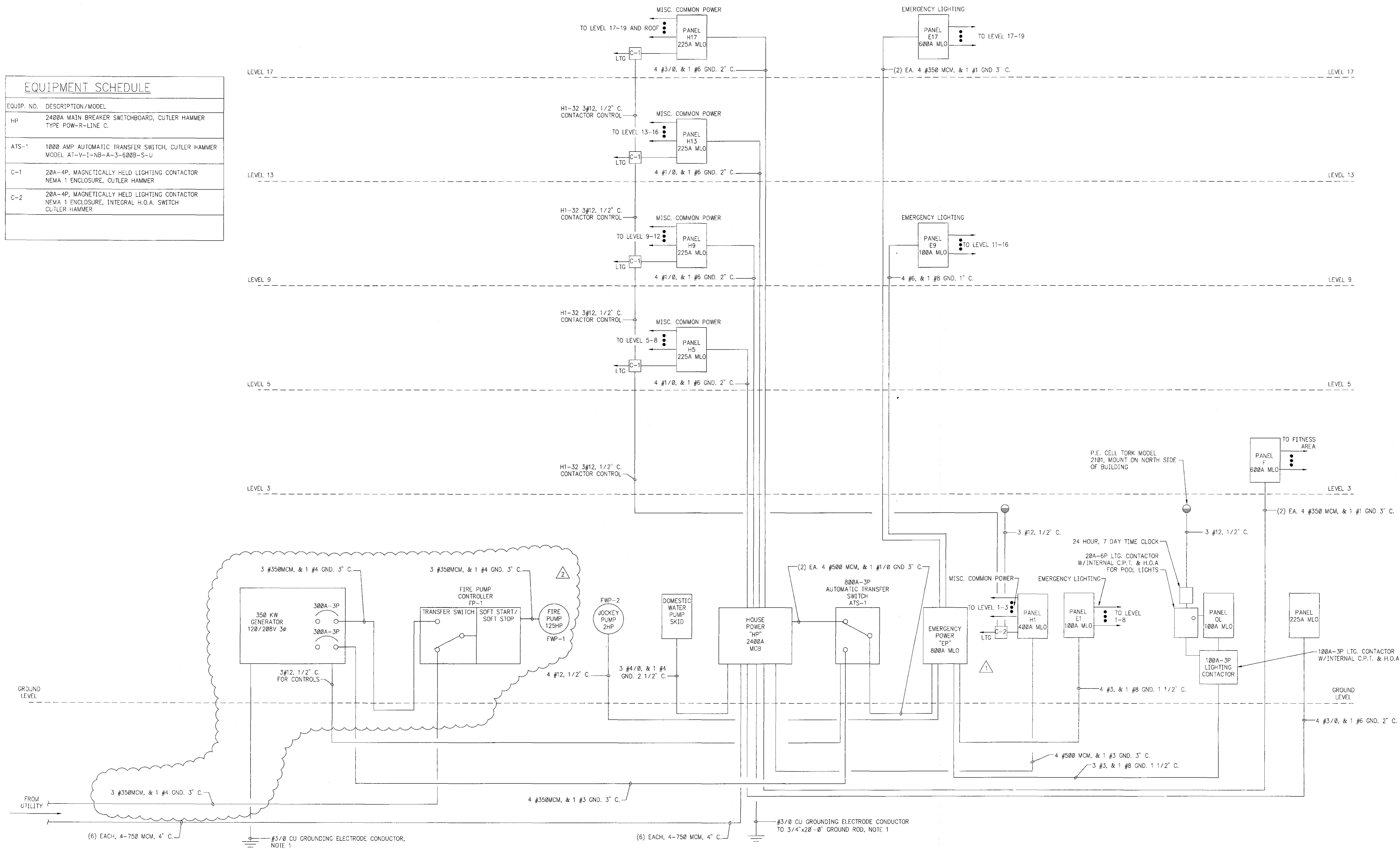
1. TOP OF FOUNDATION SHALL BE TROWELED SMOOTH & LEVEL.
2. CLASS OF CONCRETE SHALL BE 3000 P.S.I. CONCRETE SHALL BE VIBRATED.
3. MINIMUM OF TWO SLEEVES REQUIRED FOR EACH CONC. FOUNDATION UNLESS OTHERWISE SHOWN.
4. PROVIDE A 0.75" DIA. 10' STEEL COPPER COATED GROUND ROD ADJACENT TO POLES AS SPECIFIED ON PLAN AND CONNECT TO METAL POLE WITH BARE COPPER CONDUCTOR.
5. CONTRACTOR TO VERIFY ANCHOR BOLT PATTERN AND SIZES WITH SUPPLIED EQUIPMENT.
6. CONTRACTOR TO VERIFY OPENING SIZE IN POLE BASE PLATE PRIOR TO SETTING CONDUIT SLEEVES.



RISER DIAGRAM
SCALE: NONE

NORTH PARKING LOT ELECTRICAL SITE PLAN
SCALE: 1"=20'-0"

EQUIPMENT SCHEDULE	
EQUIP. NO.	DESCRIPTION/MODEL
HP	2400A MAIN BREAKER SWITCHBOARD, CUTLER HAMMER TYPE POW-R-LINE C.
ATS-1	1000 AMP AUTOMATIC TRANSFER SWITCH, CUTLER HAMMER MODEL AT-V-1-NB-A-3-600B-S-U
C-1	20A-4P, MAGNETICALLY HELD LIGHTING CONTACTOR NEMA 1 ENCLOSURE, CUTLER HAMMER
C-2	20A-4P, MAGNETICALLY HELD LIGHTING CONTACTOR NEMA 1 ENCLOSURE, INTEGRAL H.O.A. SWITCH CUTLER HAMMER



NOTES:
1. BOND GROUNDING ELECTRODE CONDUCTOR WITH GROUNDING ELECTRODE CONDUCTORS FOR "DPT" SEE DRAWING E4.

"Need Not Be Built"



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

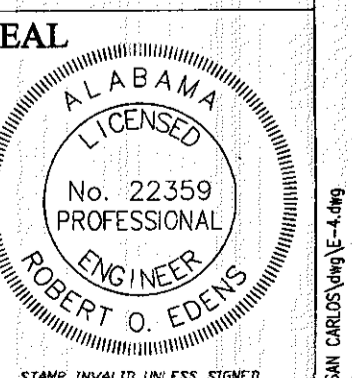
30 N. PALAFOX PENSACOLA, FLORIDA 32501

(850) 432-6011 FAX 435-9001

LIVING UNIT ONELINE

San Carlos Condominium Gulf Shores, Alabama

JOB NO.: CAD: SS CHECKED: ROE DATE: 5/21/04 REVISIONS: 0. I.F.C.



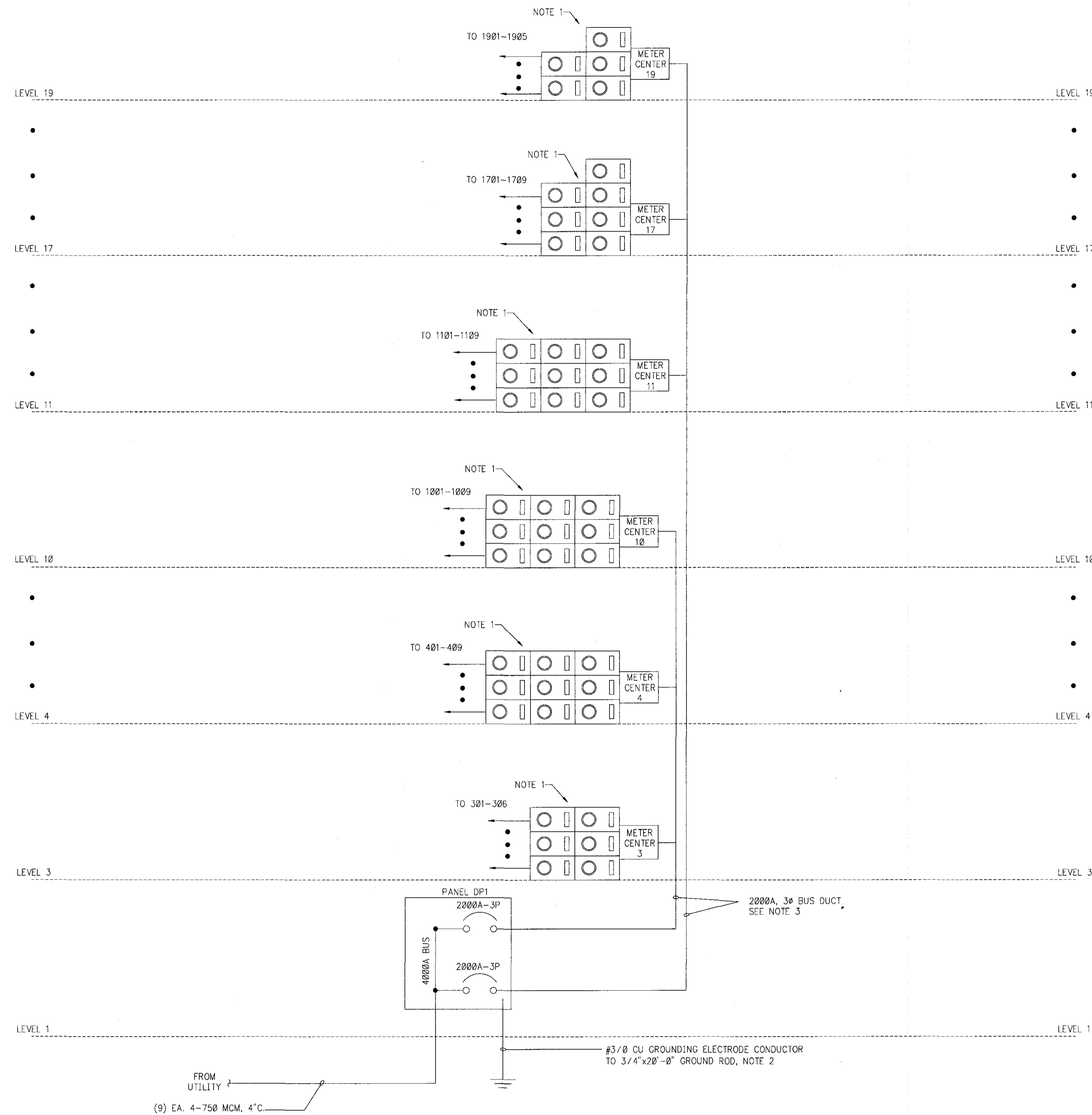
SHEET

E-4

OF

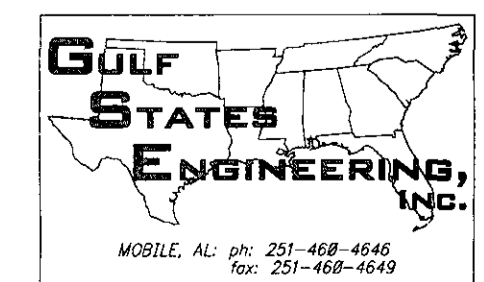
EQUIPMENT SCHEDULE		
EQUIP. NO.	DESCRIPTION / MODEL	NUMBER OF UNIT TYPES PER METER CENTER
DP1	TYPE POW-R-LINE C SWITCH BOARD, 4000A M.L.O. 125 KA MINIMUM INTERRUPTING CAPACITY, TOP BUS CONNECTION, (2) 2000A-3P 100% RATED BREAKERS	
METER CENTER 3	2 RESIDENTIAL METERING STACK, 200A SOCKET, 800A 3Φ BUS, 3 METER RINGLESS, CUTLER HAMMER MODEL, 3MM320RRLC	A-2 C-2 P1-0 B-2 P2-0
METER CENTER 4-16	3 RESIDENTIAL METERING STACK, 200A SOCKET, 800A 3Φ BUS, 3 METER RINGLESS, CUTLER HAMMER MODEL, 3MM320RRLC	A-5 C-2 P1-0 B-2 P2-0
METER CENTER 17-18	1 RESIDENTIAL METERING STACK, 200A SOCKET, 800A 3Φ BUS, 4 METER RINGLESS, CUTLER HAMMER MODEL, 3MM420RRLC 1 RESIDENTIAL METERING STACK, 200A SOCKET, 800A 3Φ BUS, 3 METER RINGLESS, CUTLER HAMMER MODEL, 3MM320RRLC	A-5 C-0 P1-0 B-2 P2-0
METER CENTER 19	1 EACH COMMERCIAL METERING STACK, 250A, 1200A 3Φ BUS, 2 METER RINGLESS, CUTLER HAMMER MODEL, 35MM240R12 1 EACH COMMERCIAL METERING STACK, 250A, 1200A 3Φ BUS, 3 METER RINGLESS, CUTLER HAMMER MODEL, 35MM340R12	A-1 C-0 P1-2 B-0 P2-2

METER CENTER BREAKER SCHEDULE			
UNIT TYPE	METER SOCKET TYPE	BREAKER SIZE	BREAKER TYPE
A	1Φ	200A	CUTLER-HAMMER TYPE CHH
B	1Φ	200A	CUTLER-HAMMER TYPE CHH
C	1Φ	200A	CUTLER-HAMMER TYPE CHH
P	1Φ	250A	CUTLER-HAMMER TYPE CHH
P2	1Φ	250A	CUTLER-HAMMER TYPE CHH



NOTES:

- METER CENTERS PROVIDED BY ELECTRICAL CONTRACTOR, METERS PROVIDED BY BALDWIN CO. EMC.
- BOND GROUNDING ELECTRODE CONDUCTORS WITH GROUNDING ELECTRODE CONDUCTORS FOR POWER PANEL "HP" AND GENERATOR, SEE DRAWING E3.
- BUS DUCT SHALL BE CUTLER HAMMER POW-R-WAY BUS DUCT, COPPER 3 PHASE W/50% INTERNAL GROUND, NEMA 1. VENDOR SHALL SUPPLY ALL FITTINGS AND INSTALLATION HANGERS AS REQUIRED.
- ALL ELECTRICAL EQUIPMENT SHALL BE BY SAME MANUFACTURER.



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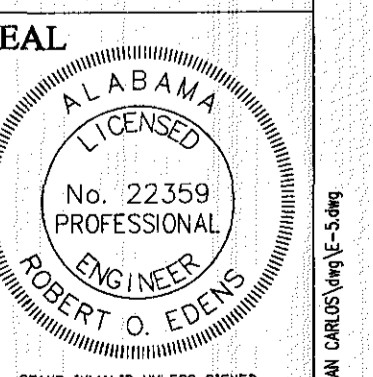
30 N. PALAFOX PENSACOLA, FLORIDA 32501

(850) 432-6011 FAX 435-9001

TELEPHONE CABLE TV RISER

San Carlos Condominium Gulf Breeze, Alabama

JOB NO.: CAD: SS CHECKED: ROE DATE: 5/21/04 REVISIONS: 0. I.F.C.

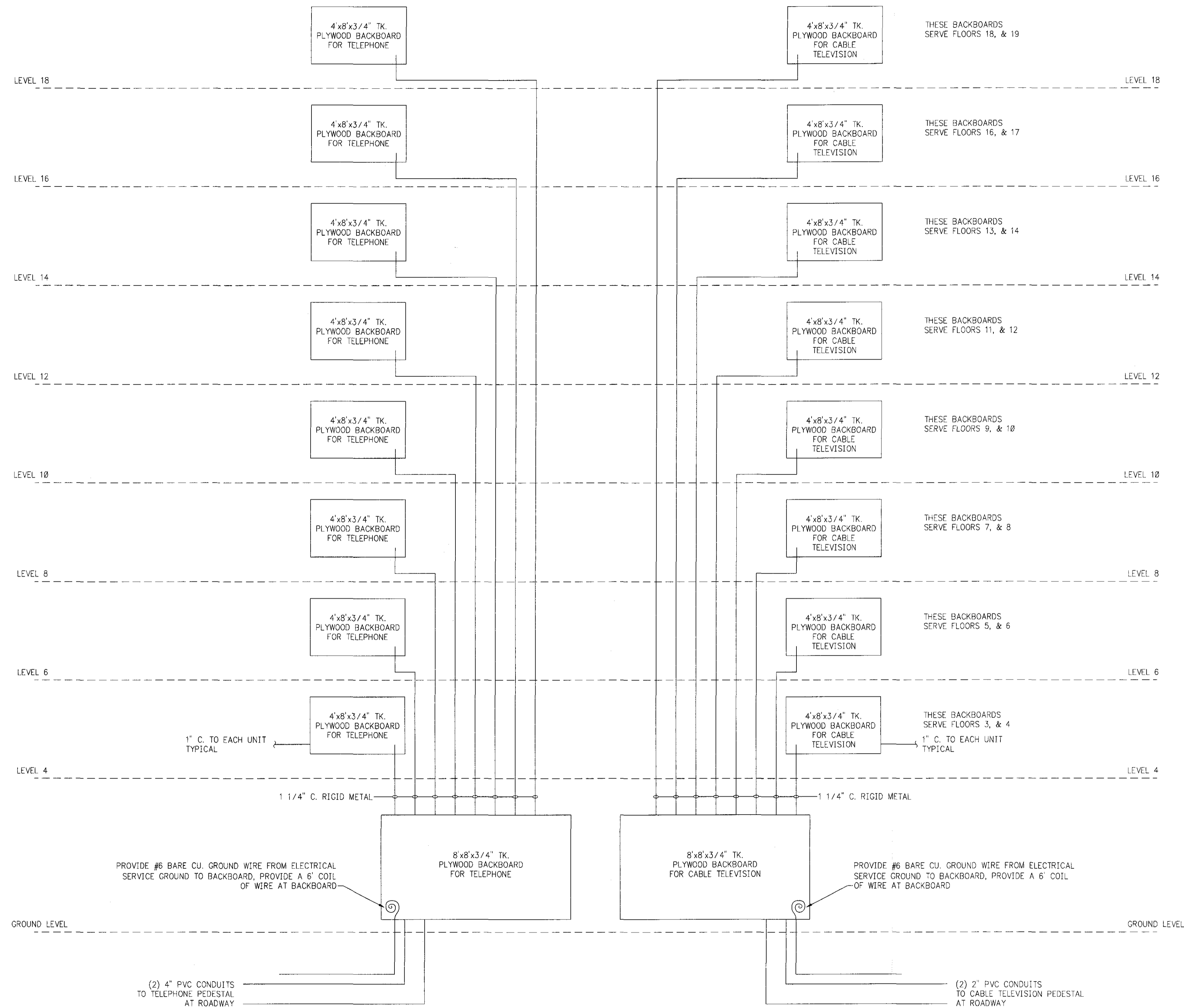


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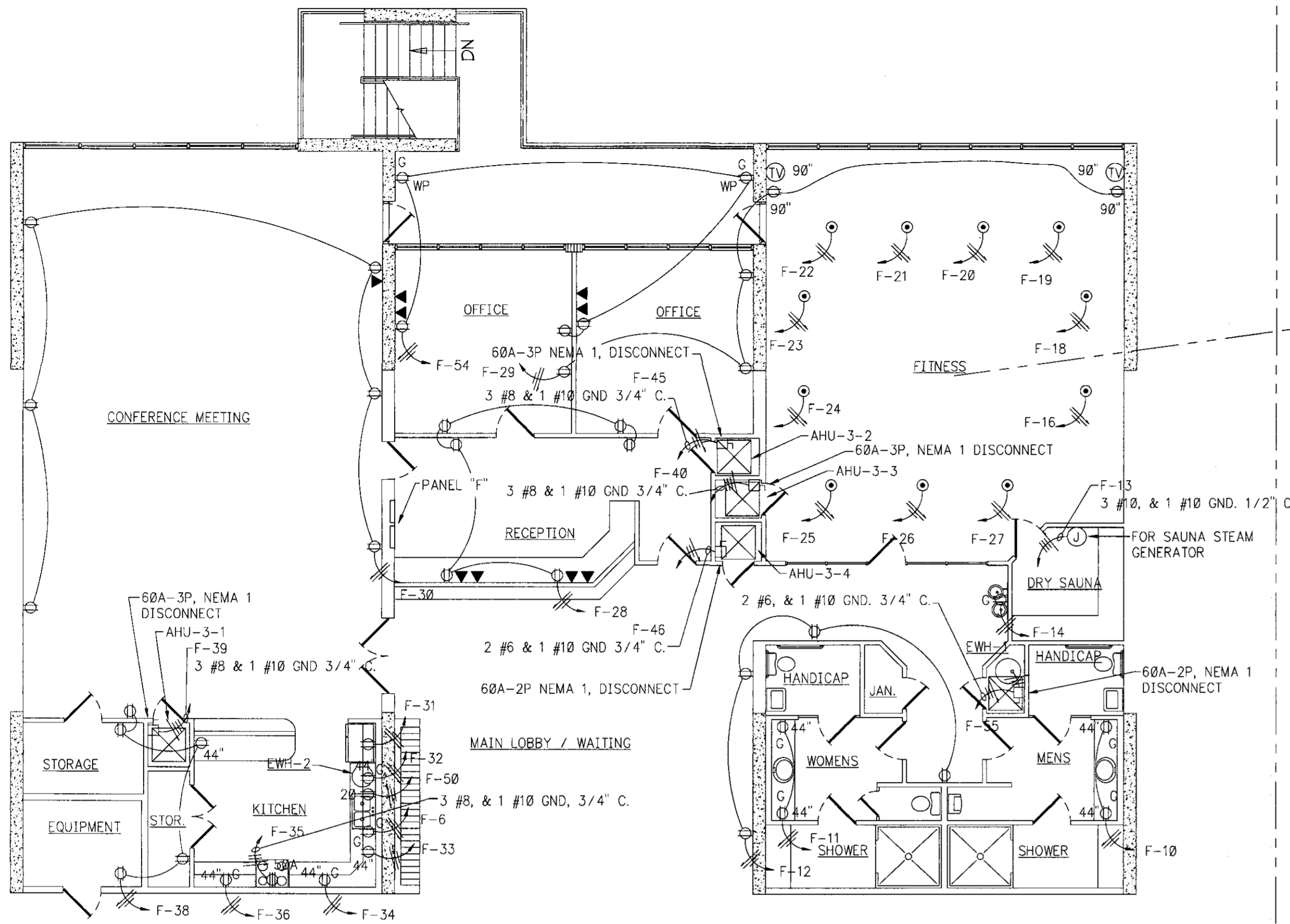
SHEET

E-5

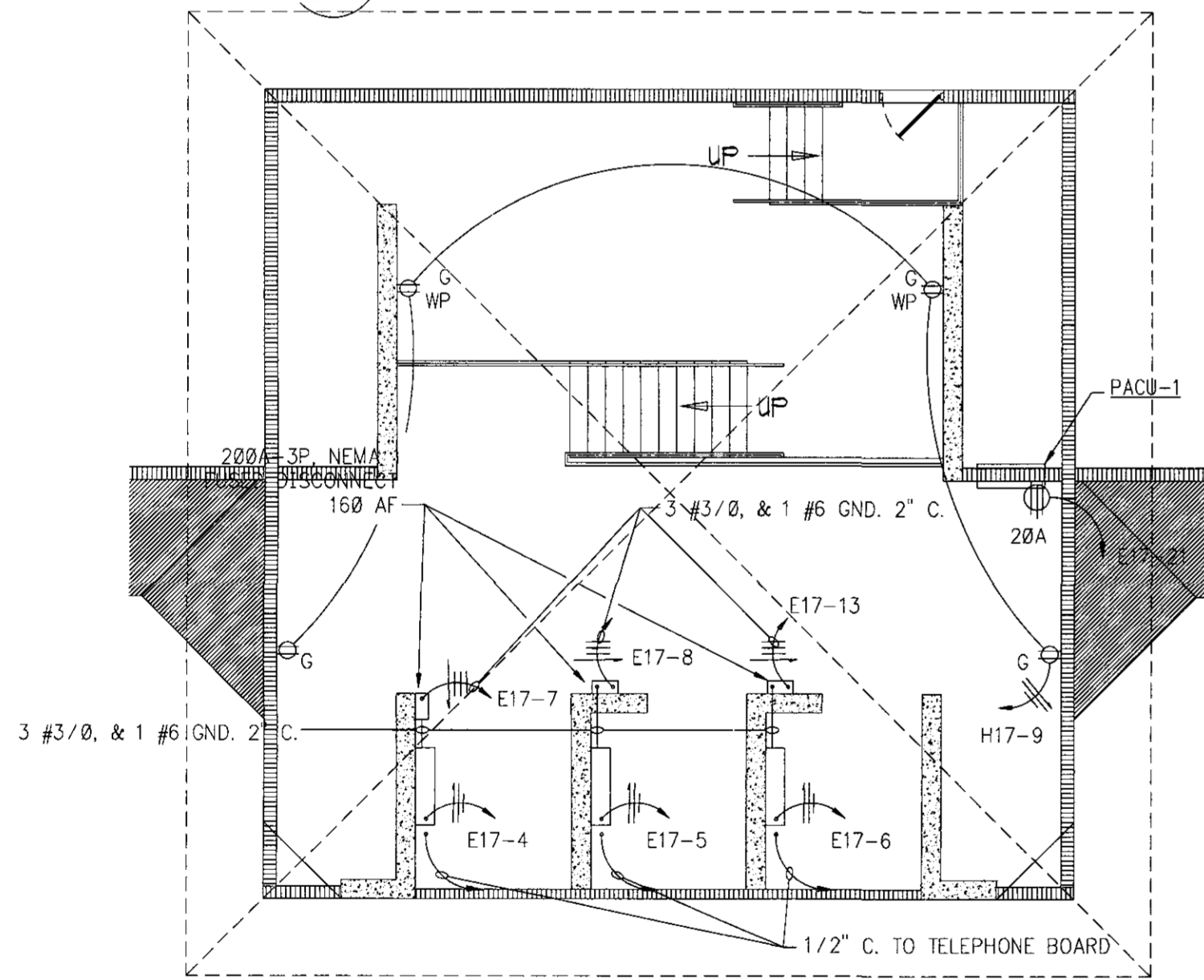
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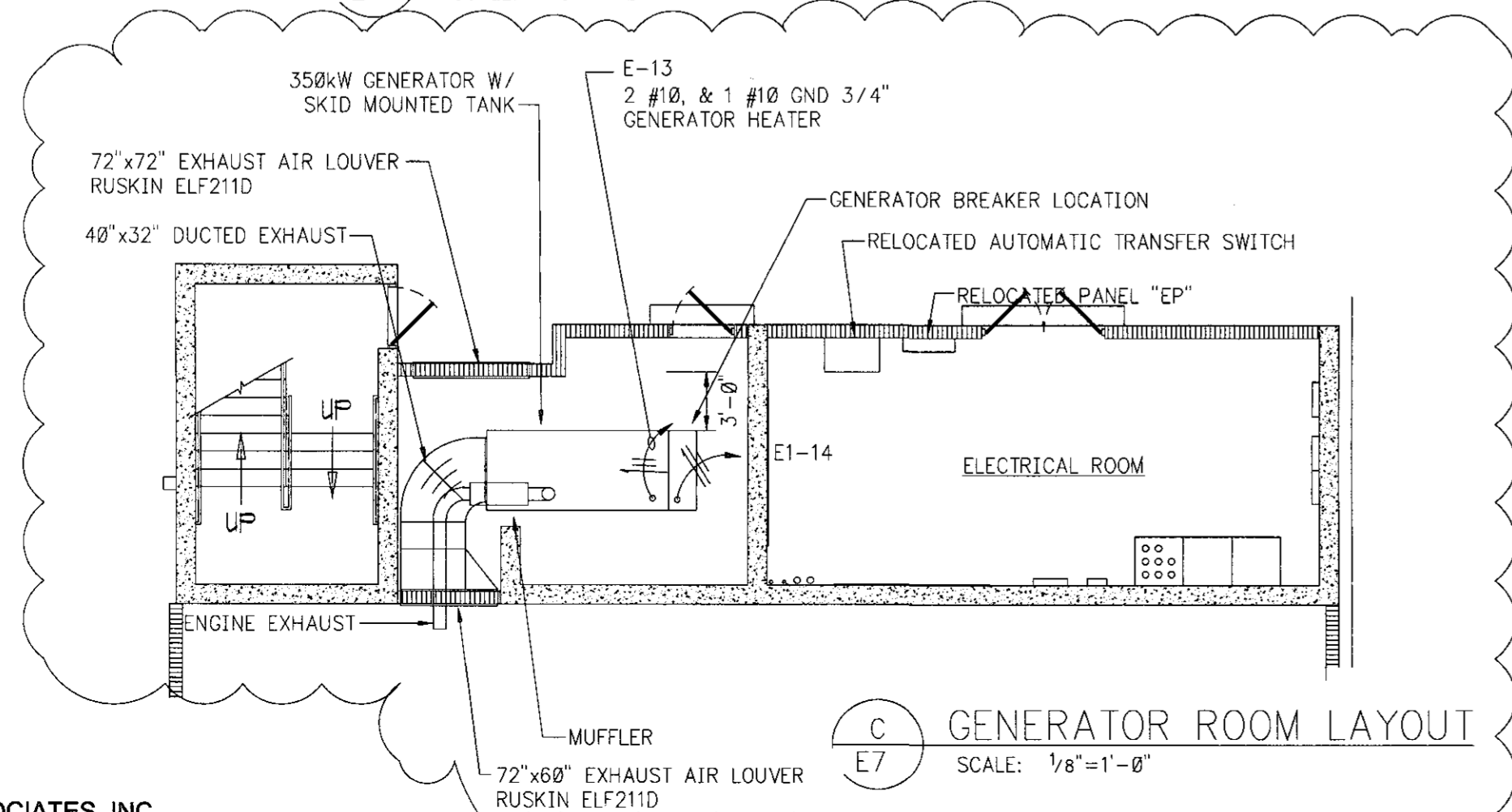
TELEPHONE AND CABLE TV RISER DIAGRAM SCALE: NONE



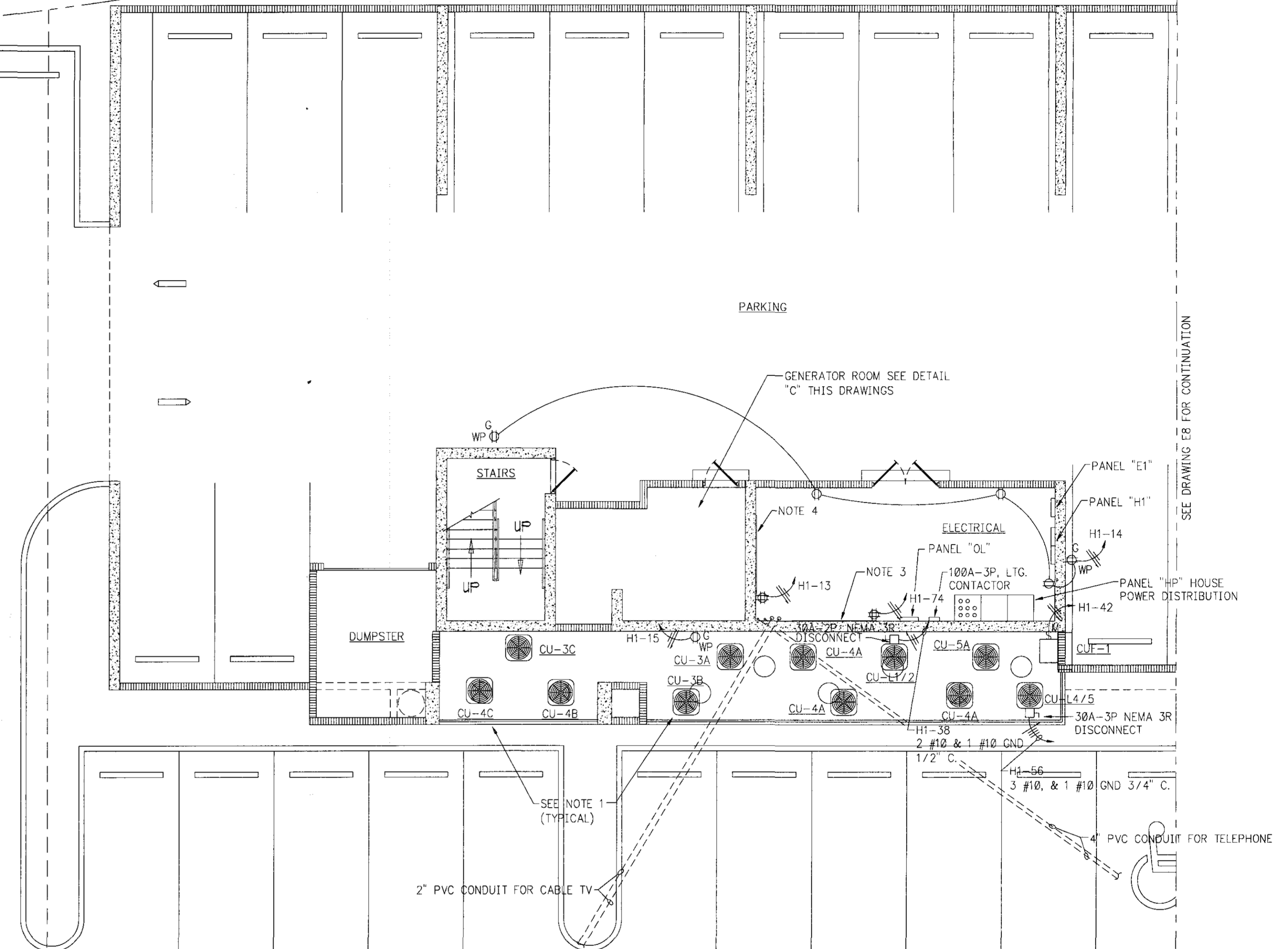
A LOBBY/FITNESS AREA LEVEL 3 POWER PLAN
E7 SCALE: 1/8"=1'-0"



B ELEVATOR EQUIPMENT ROOM ROOF LEVEL
E7 SCALE: 1/8"=1'-0"



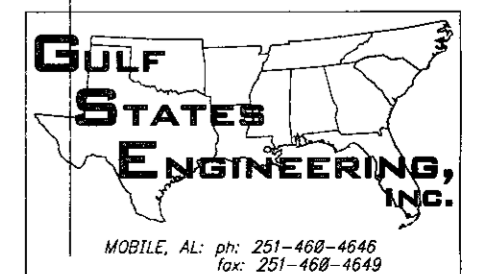
C GENERATOR ROOM LAYOUT
E7 SCALE: 1/8"=1'-0"



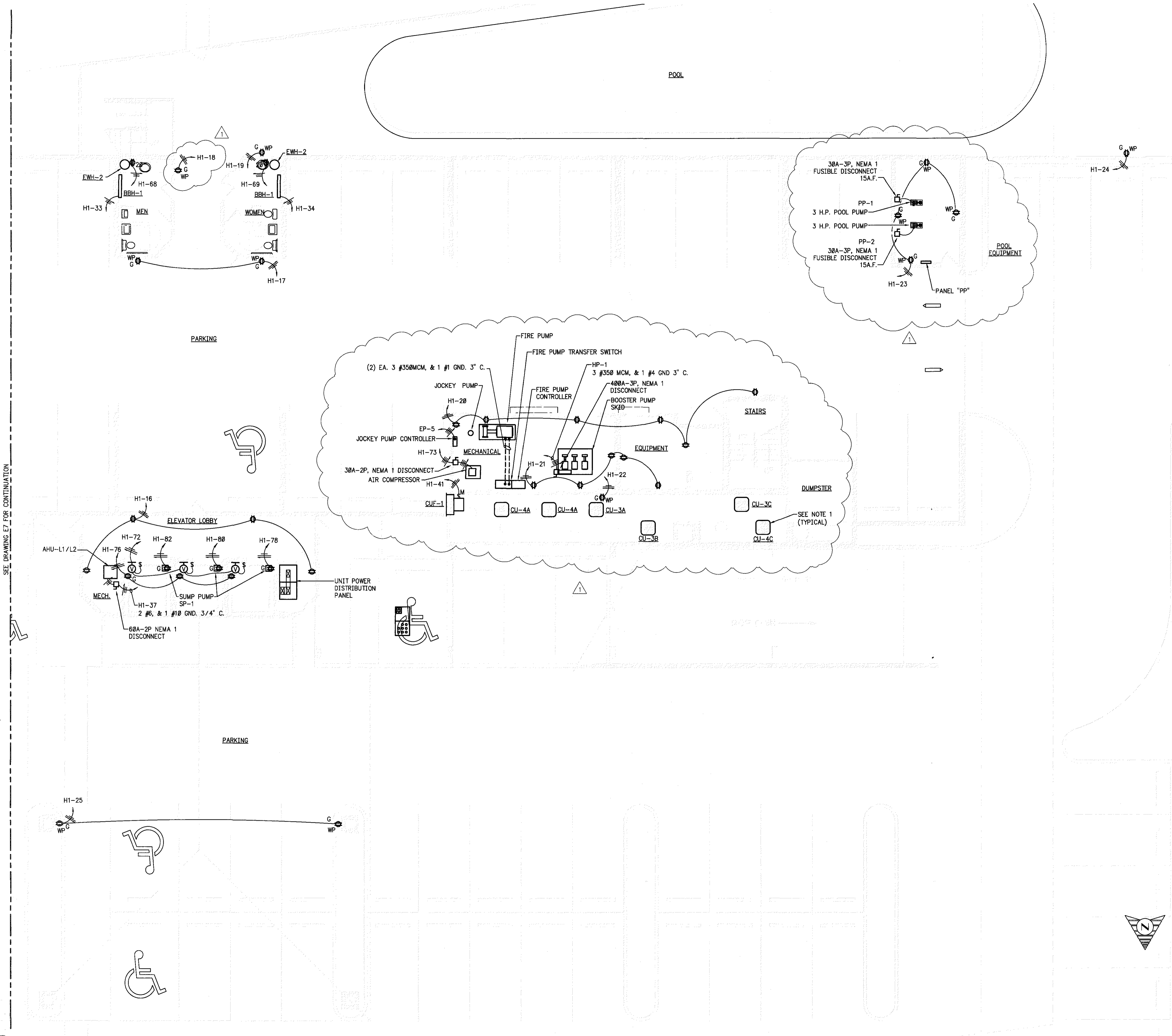
NOTES:

1. TYPICAL LIVING UNIT CONDENSING UNIT, COORDINATE WITH HVAC DRAWINGS. ALL CONTROL AND POWER CONDUITS SHALL BE RUN WITH HVAC UNIT REFRIGERANT PIPING.
2. ALL CONTROL CONDUITS FOR PUBLIC AREAS HVAC UNITS SHALL BE RUN WITH HVAC UNIT REFRIGERANT PIPING.
3. 8"x8"x3/4" TK. PLYWOOD TELEPHONE BACKBOARD
4. 8"x8"x3/4" TK. PLYWOOD CABLE TV BACKBOARD
5. COORDINATE ALL RECEPTACLE MOUNTING HEIGHTS AT COUNTERTOPS WITH ARCHITECTURAL DRAWINGS.

LEVEL 1 - EAST POWER PLAN
SCALE: 1/8"=1'-0"



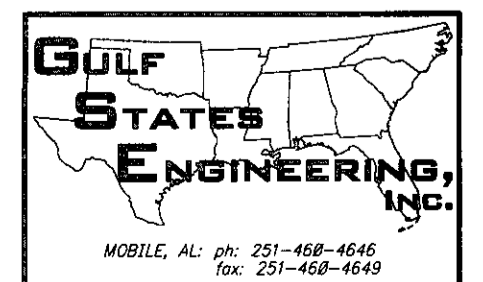
"Need Not Be Built"



NOTES:

1. TYPICAL LIVING UNIT CONDENSING UNIT, COORDINATE WITH HVAC DRAWINGS. ALL CONTROL AND POWER CONDUITS SHALL BE RUN WITH HVAC UNIT REFRIGERANT PIPING.
2. ALL CONTROL CONDUITS FOR PUBLIC AREAS HVAC UNITS SHALL BE RUN WITH HVAC UNIT REFRIGERANT PIPING.

LEVEL 1 - WEST POWER PLAN
SCALE: 1/8"=1'-0"



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SEE DRAWING E7 FOR CONTINUATION



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NORRIS &
ASSOC., INC.**

ARCHITECTURE &
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DESIGN

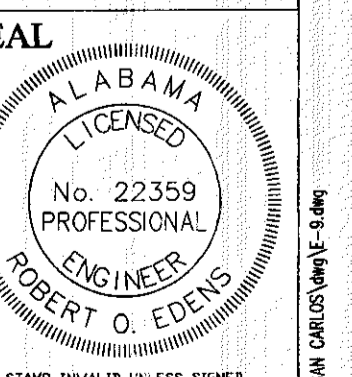
30 N. PALAFOX
PENSACOLA,
FLORIDA 32501

(850) 432-6011
FAX 435-9001

**LEVEL 1
EAST
LIGHTING**

San Carlos Condominium
Gulf Breeze, Alabama

JOB NO.:
CAD: SS
CHECKED: ROE
DATE: 5/21/04
REVISIONS:
0. I.F.C.
1. GENERAL
REVISION 6-7-04
2. REV
LIGHTING
04-14-06

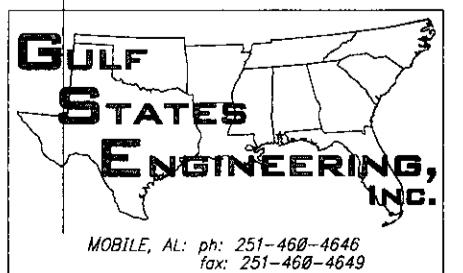
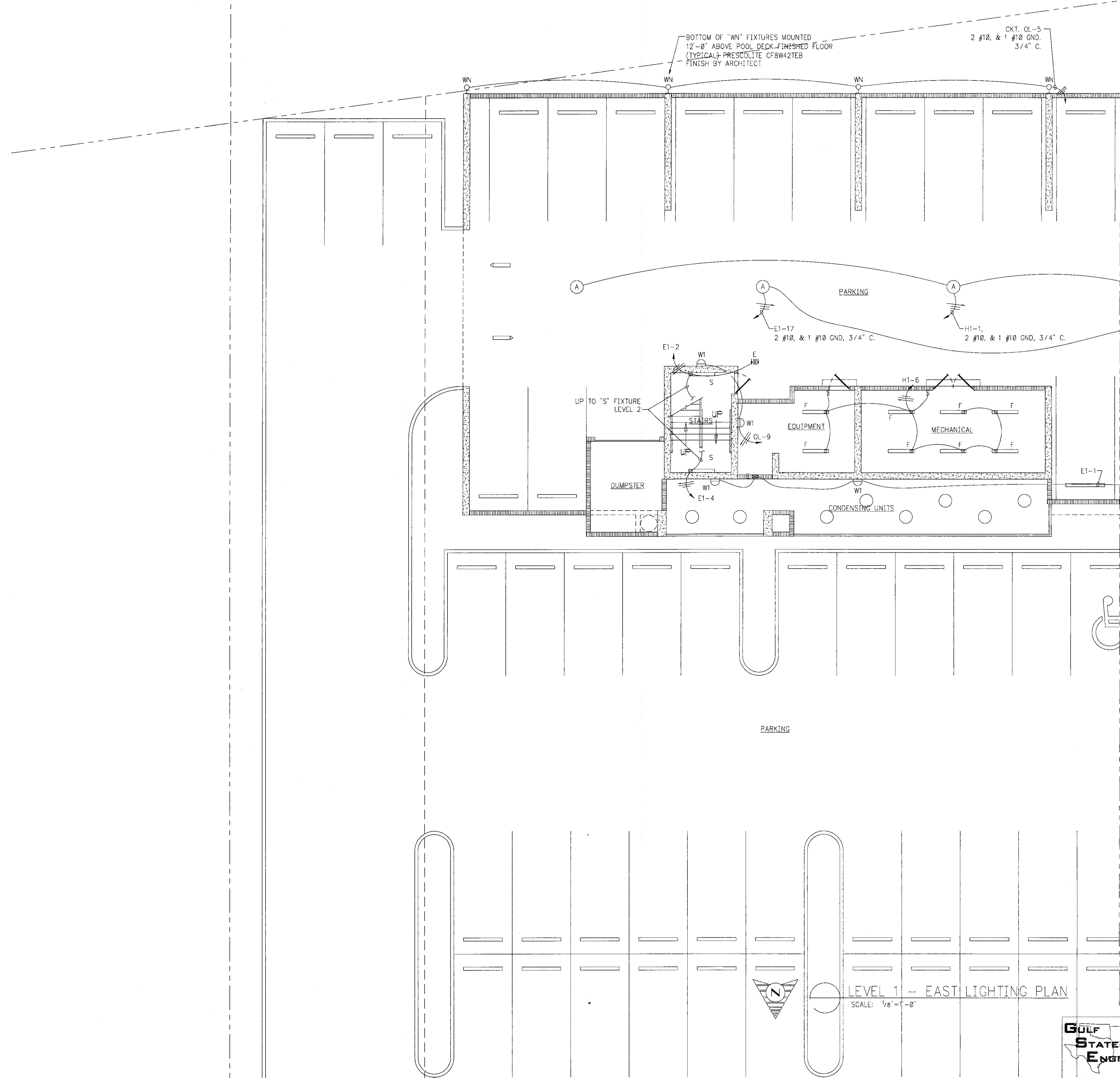


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SHEET

E9

OF



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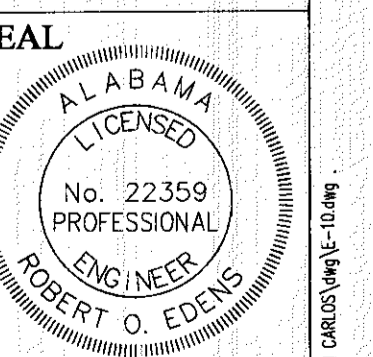
30 N. PALAFOX PENSACOLA, FLORIDA 32501

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LEVEL 1 WEST LIGHTING

San Carlos Condominium Gulf Shores, Alabama

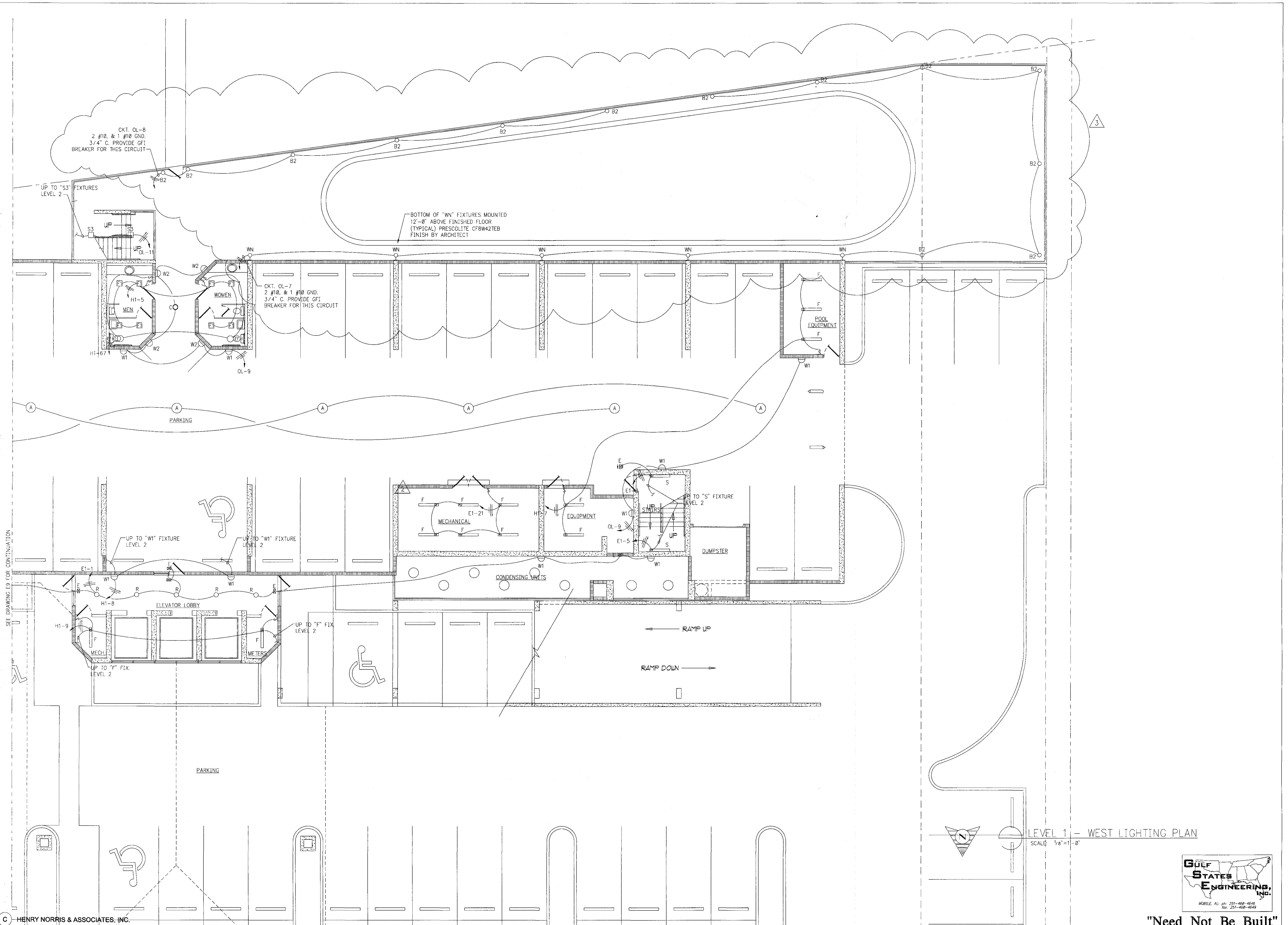
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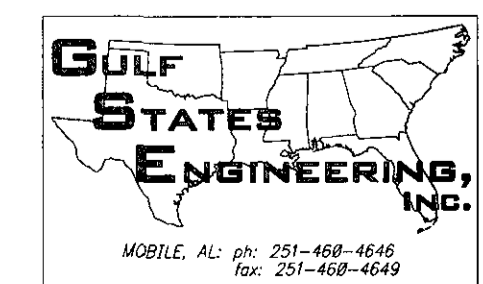
SHBET

E10

OF



LEVEL 1 - WEST LIGHTING PLAN SCALE: 1/8"=1'-0"



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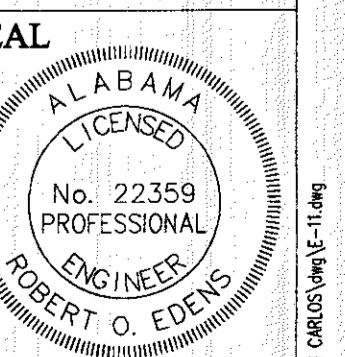
30 N. PALAFOX PENSACOLA, FLORIDA 32501

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LEVEL 2 ELECTRICAL

San Carlos Condominium Gulf Shores, Alabama

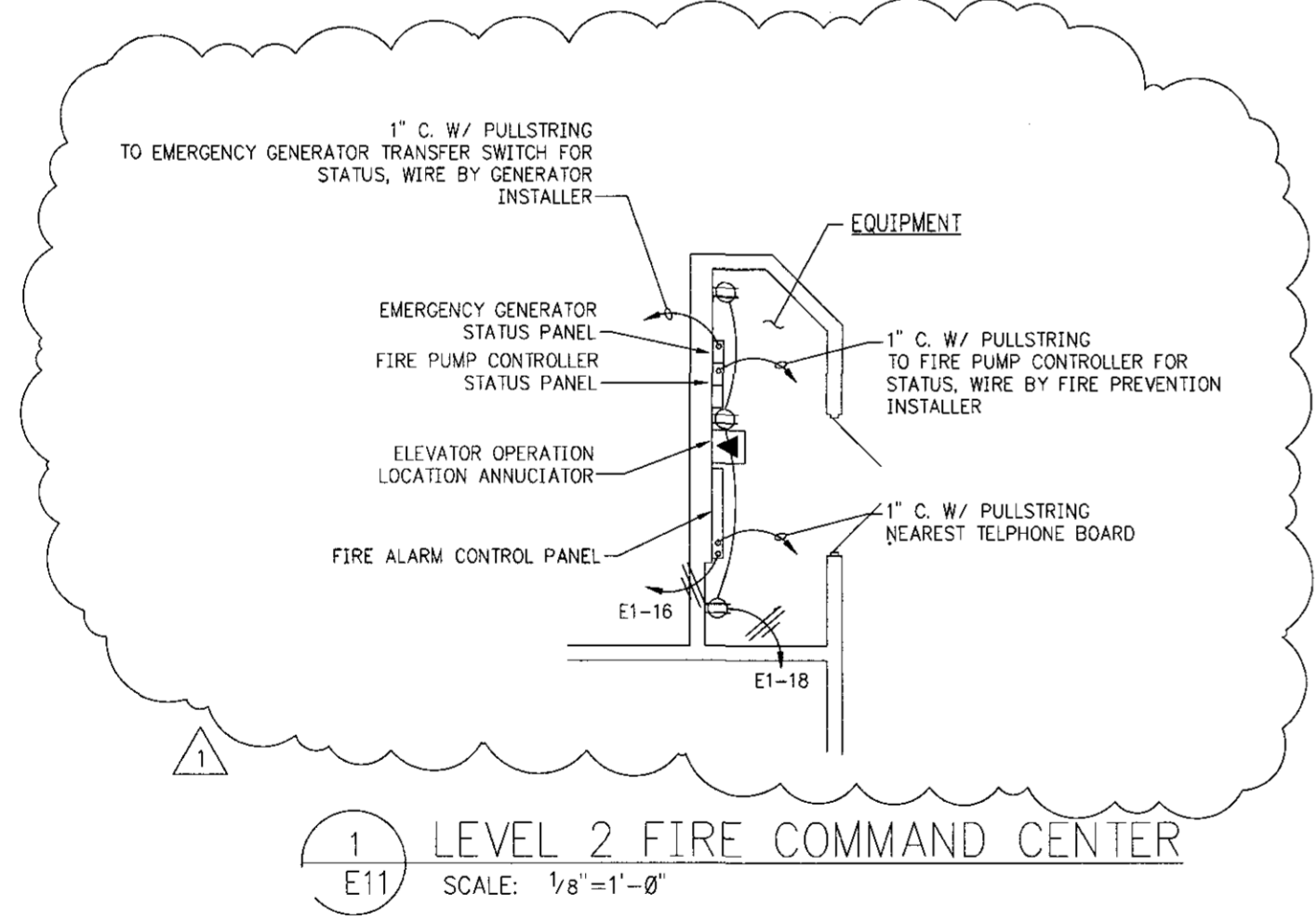
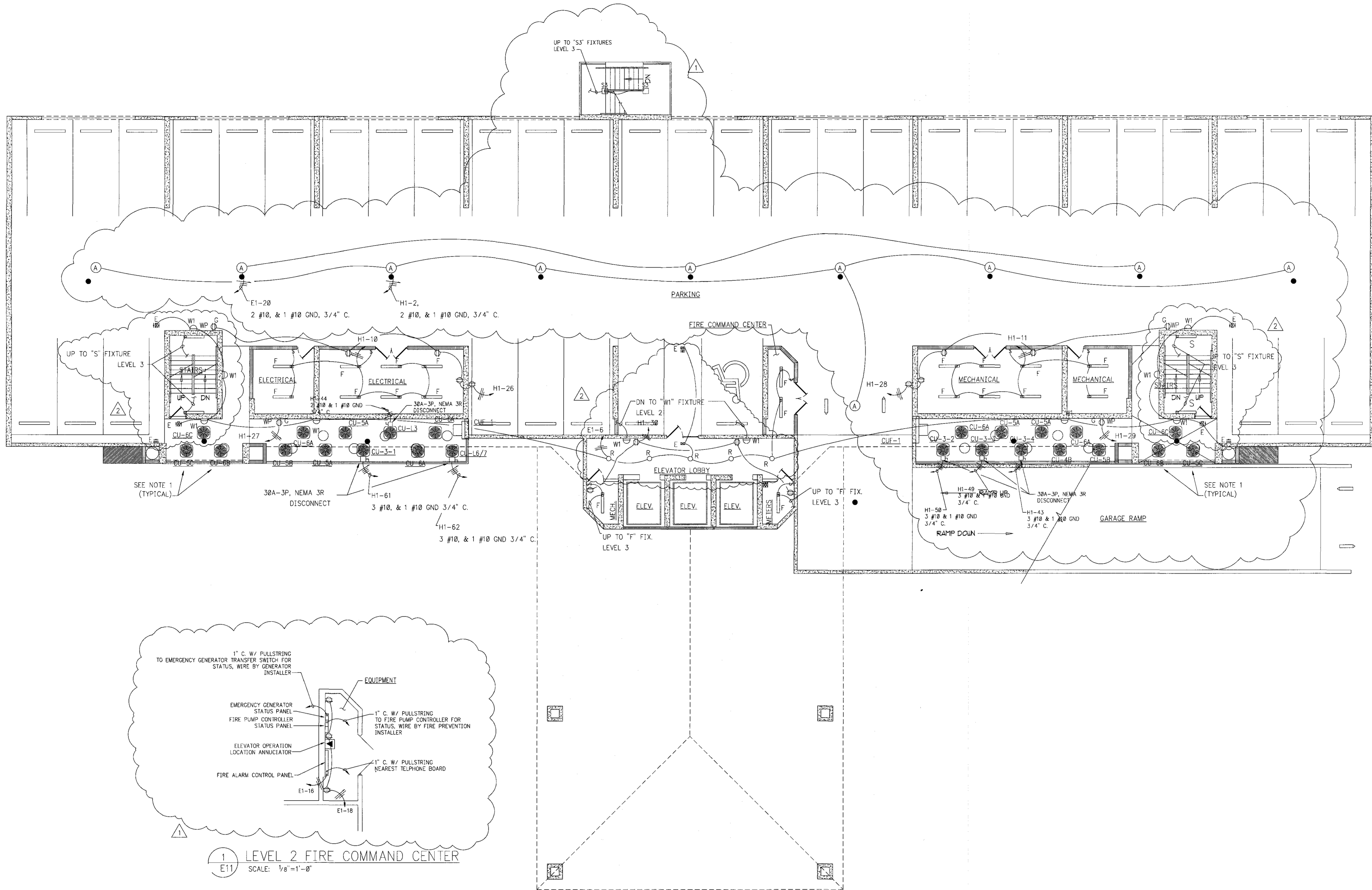
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SHEET

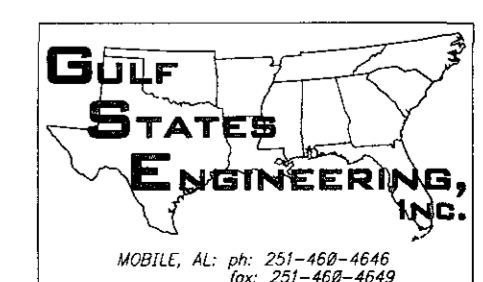
E11

OF



NOTES: 1. TYPICAL LIVING UNIT CONDENSING UNIT, COORDINATE WITH HVAC DRAWINGS. ALL CONTROL AND POWER CONDUITS SHALL BE RUN WITH HVAC UNIT REFRIGERANT PIPING. 2. ALL CONTROL CONDUITS FOR PUBLIC AREAS HVAC UNITS SHALL BE RUN WITH HVAC UNIT REFRIGERANT PIPING.

LEVEL 2 - ELECTRICAL PLAN SCALE: 1"=10'



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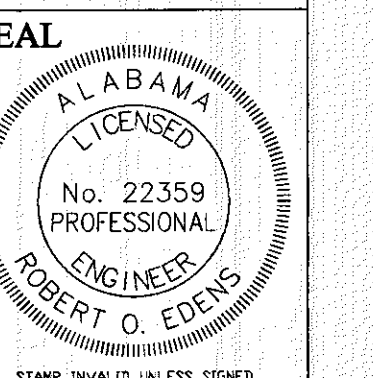
30 N. PALAFOX PENSACOLA, FLORIDA 32501

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LEVEL 3 ELECTRICAL

San Carlos Condominium Gulf Shores, Alabama

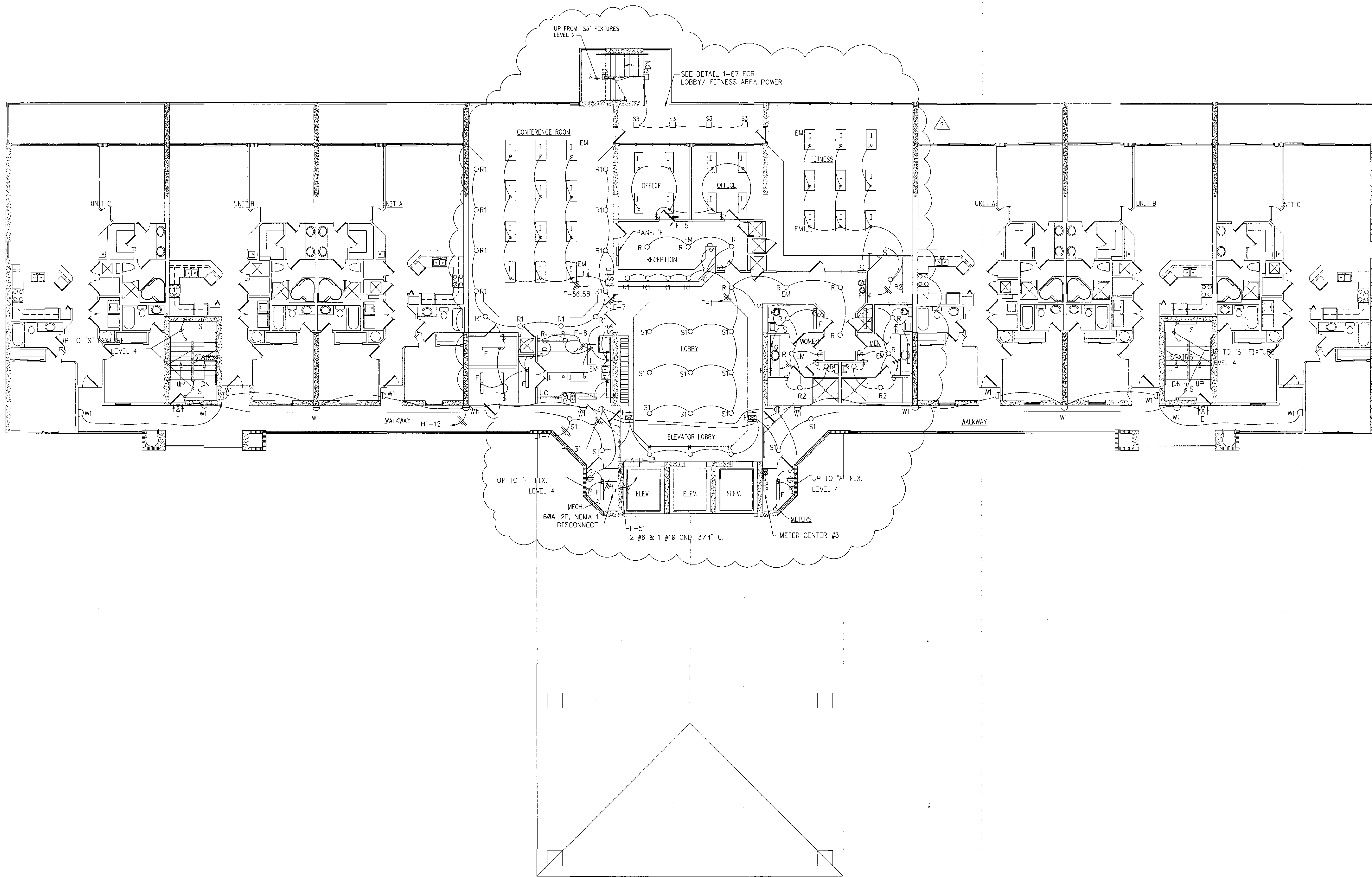
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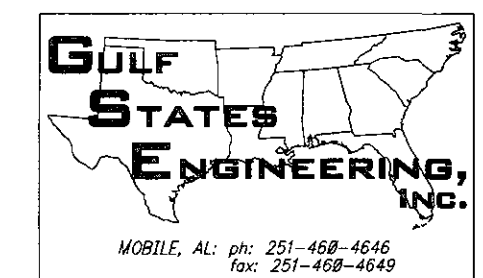
SHEET

E12

OF



LEVEL 3 - ELECTRICAL PLAN SCALE: 1"=10'



"Need Not Be Built"



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

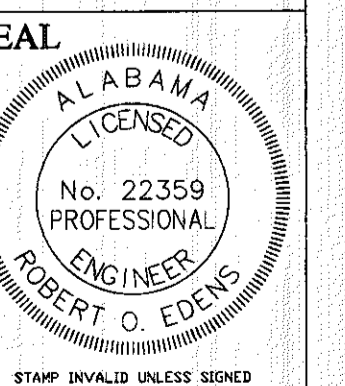
30 N. PALAFOX PENSACOLA, FLORIDA 32501

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LEVEL 4 ELECTRICAL

San Carlos Condominium Gulf Shores, Alabama

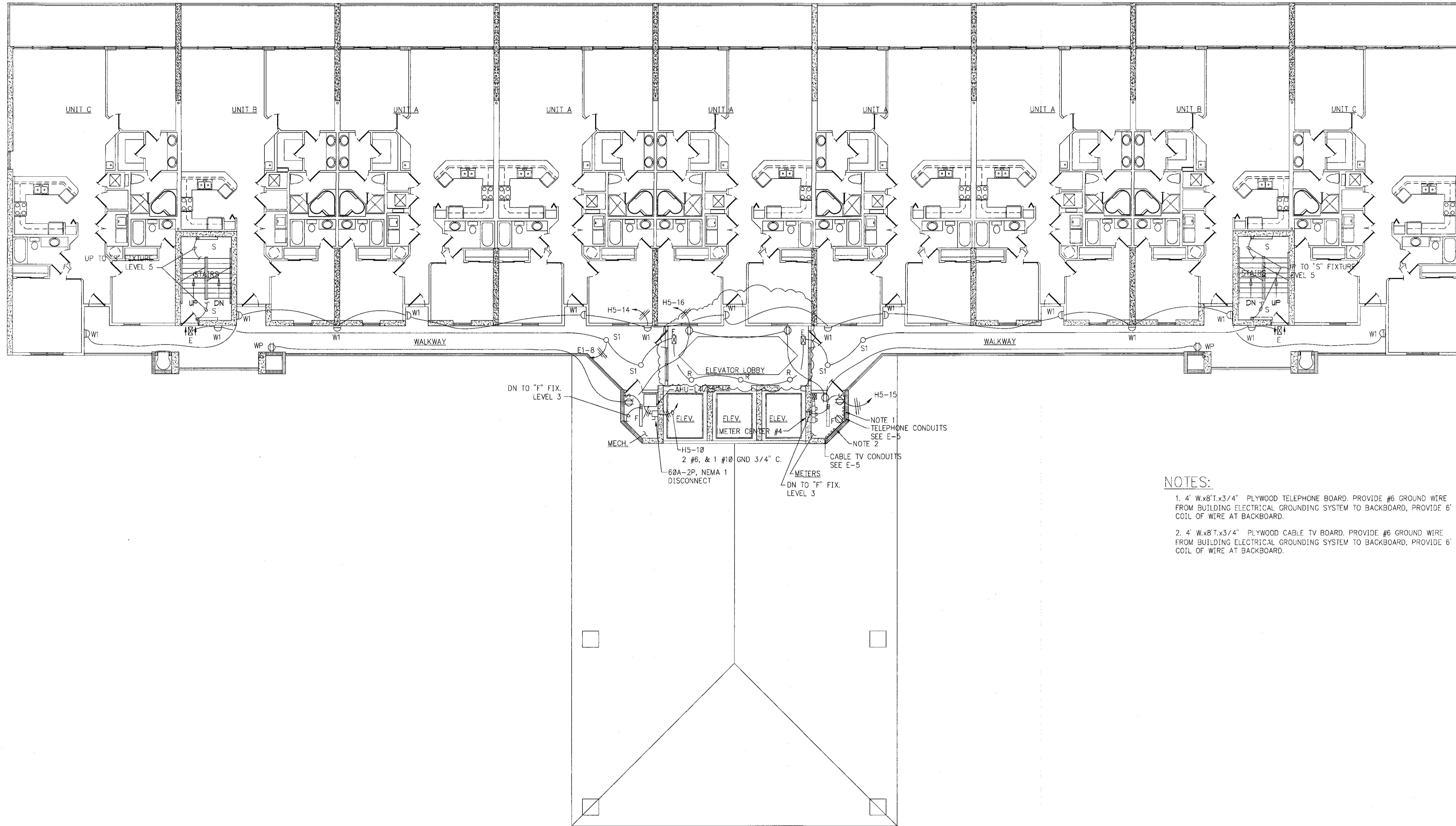
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STAMP INVALID UNLESS SIGNED SHEET

E13

OF

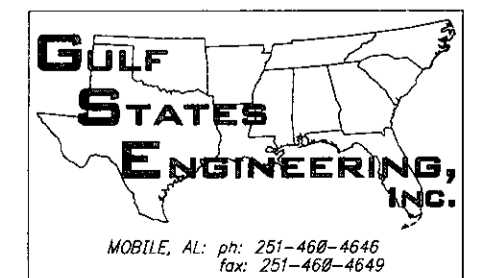


NOTES:

- 1. 4" Wx8" Lx3/4" PLYWOOD TELEPHONE BOARD. PROVIDE #6 GROUND WIRE FROM BUILDING ELECTRICAL GROUNDING SYSTEM TO BACKBOARD, PROVIDE 6' COIL OF WIRE AT BACKBOARD.
2. 4" Wx8" Lx3/4" PLYWOOD CABLE TV BOARD. PROVIDE #6 GROUND WIRE FROM BUILDING ELECTRICAL GROUNDING SYSTEM TO BACKBOARD, PROVIDE 6' COIL OF WIRE AT BACKBOARD.



LEVEL 4 - ELECTRICAL PLAN SCALE: 1"=10'





HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

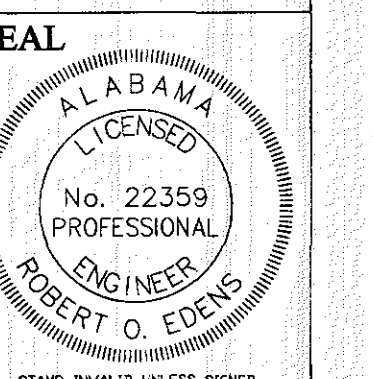
30 N. PALAFOX
PENSACOLA,
FLORIDA 32501

(850) 432-6011
FAX 435-9001

LEVELS 5-16
AND DETAILS

San Carlos Condominium
Gulf Shores, Alabama

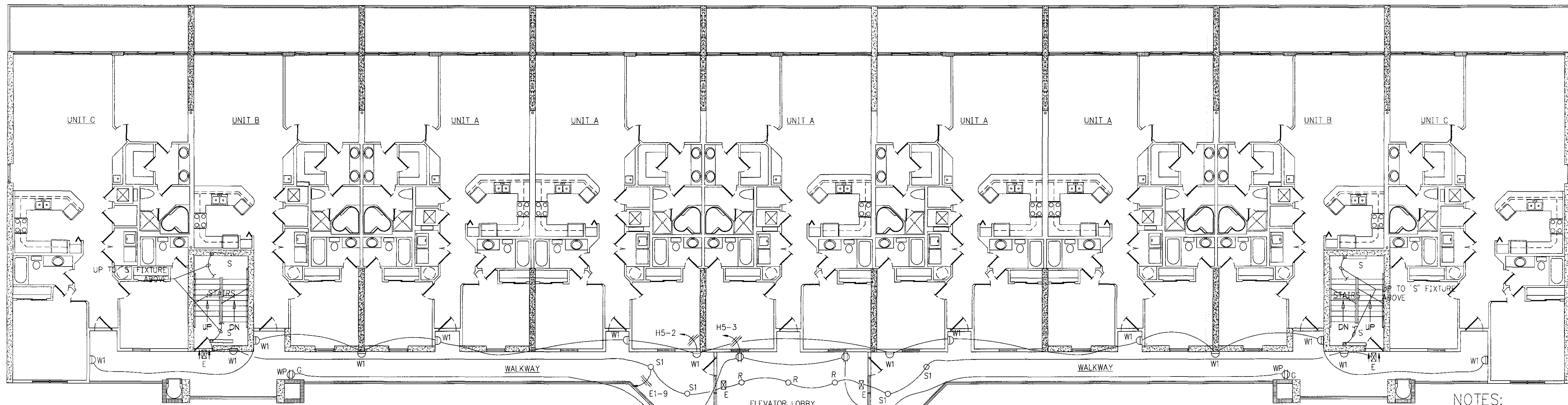
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CHECKED: ROE
DATE: 5/21/04
REVISIONS:
0. I.F.C.



SHEET

E14

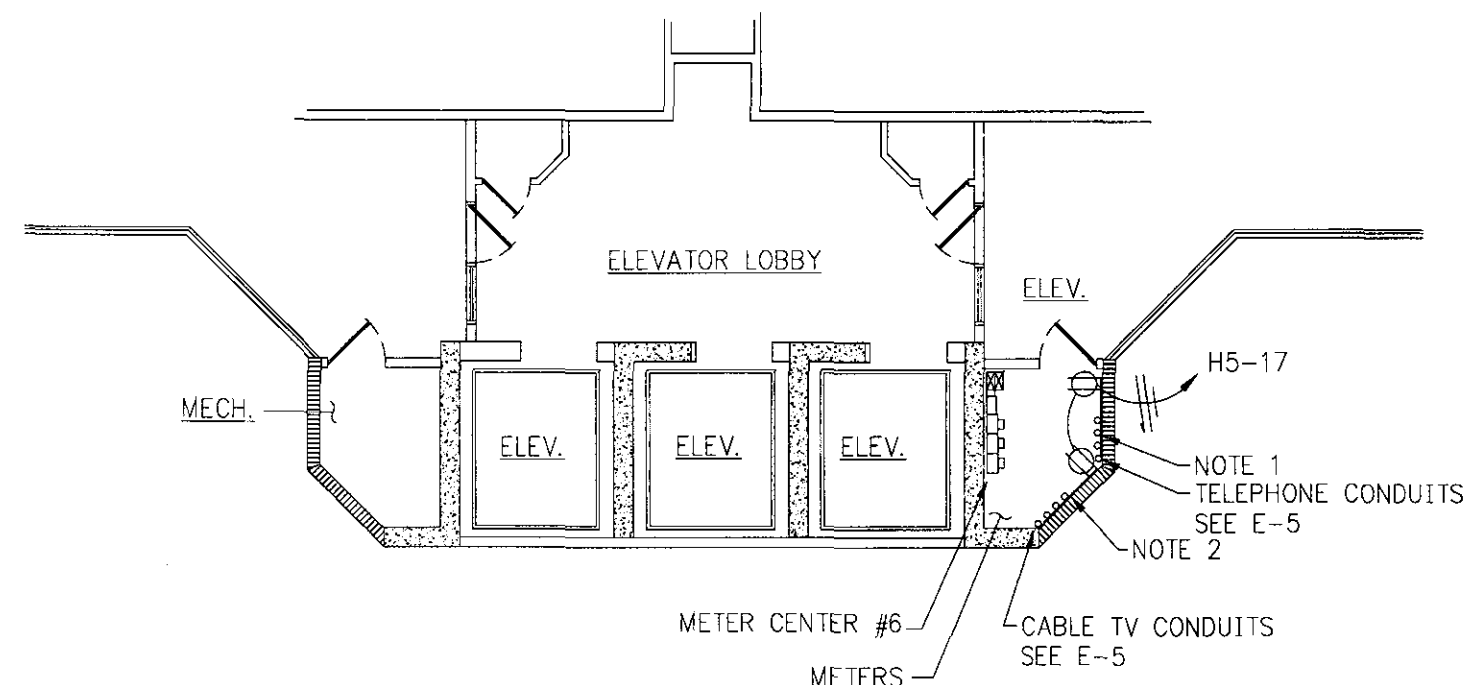
OF



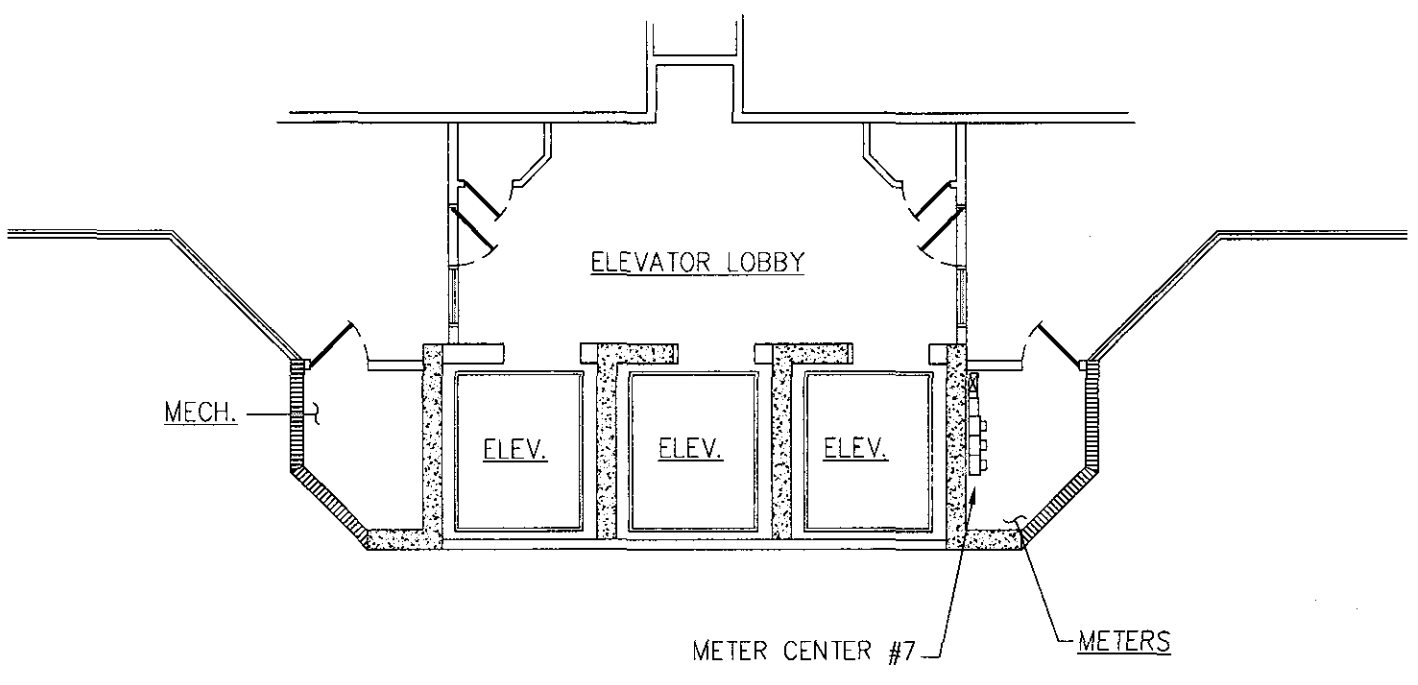
NOTES:

1. 4" Wx8" T.x3/4" PLYWOOD TELEPHONE BOARD. PROVIDE #6 GROUND WIRE FROM BUILDING ELECTRICAL GROUNDING SYSTEM TO BACKBOARD, PROVIDE 6' COIL OF WIRE AT BACKBOARD.
2. 4" Wx8" T.x3/4" PLYWOOD CABLE TV BOARD. PROVIDE #6 GROUND WIRE FROM BUILDING ELECTRICAL GROUNDING SYSTEM TO BACKBOARD, PROVIDE 6' COIL OF WIRE AT BACKBOARD.
3. CIRCUIT LABELS ON THIS DRAWING ARE FOR LEVEL 5 THE PROPER LABELS FOR THE REST OF THE FLOORS INDICATED IN THIS DRAWING MAY BE FOUND IN THE PANEL SCHEDULES AND PARTIAL POWER PLANS THIS DRAWING

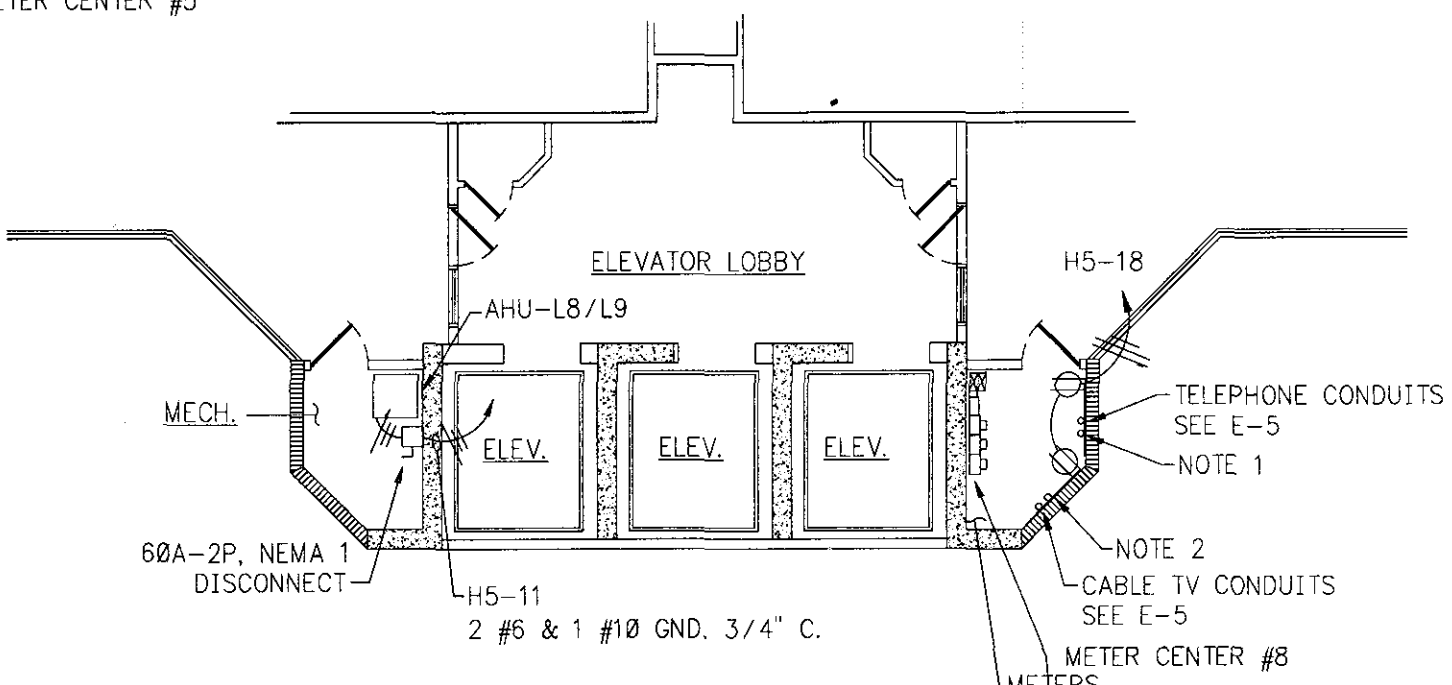
LEVEL 5 THRU 16 - ELECTRICAL PLAN
SCALE: 1"=10'



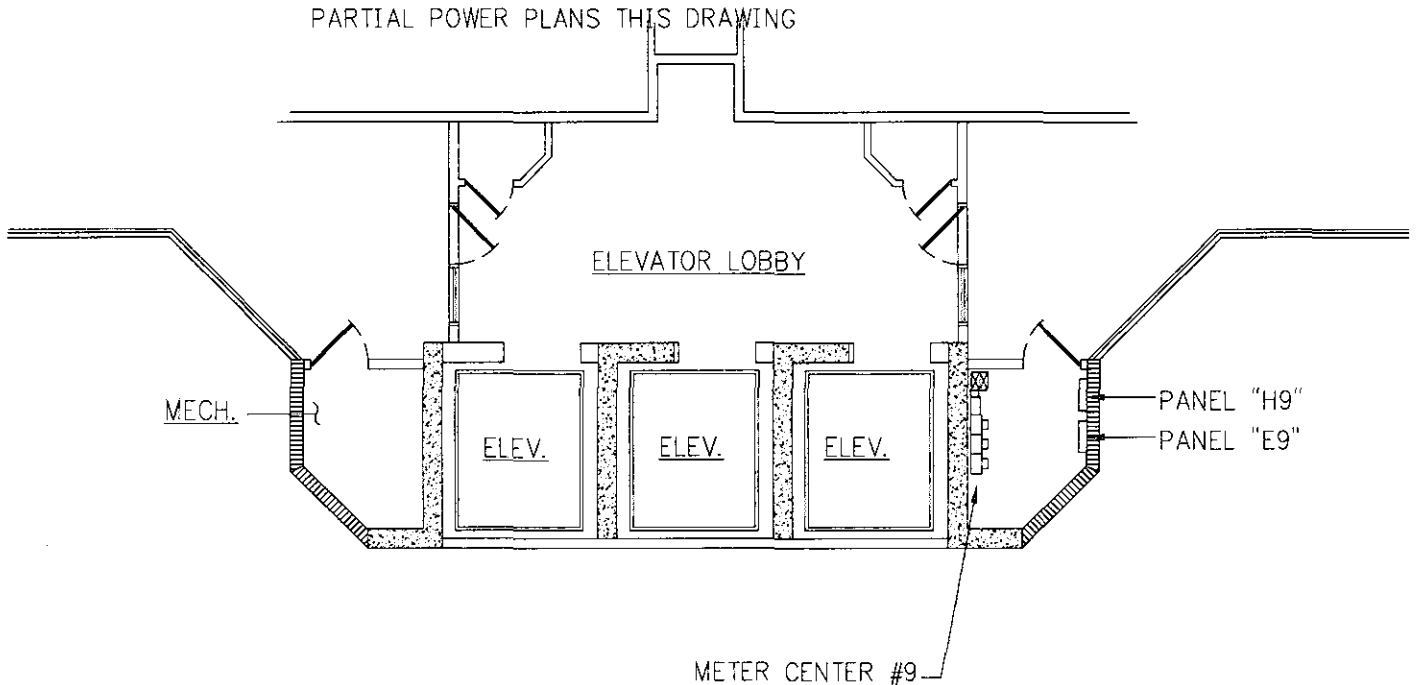
1 LEVEL 6 PARTIAL LOBBY POWER PLAN
E14 SCALE: 1"=10'



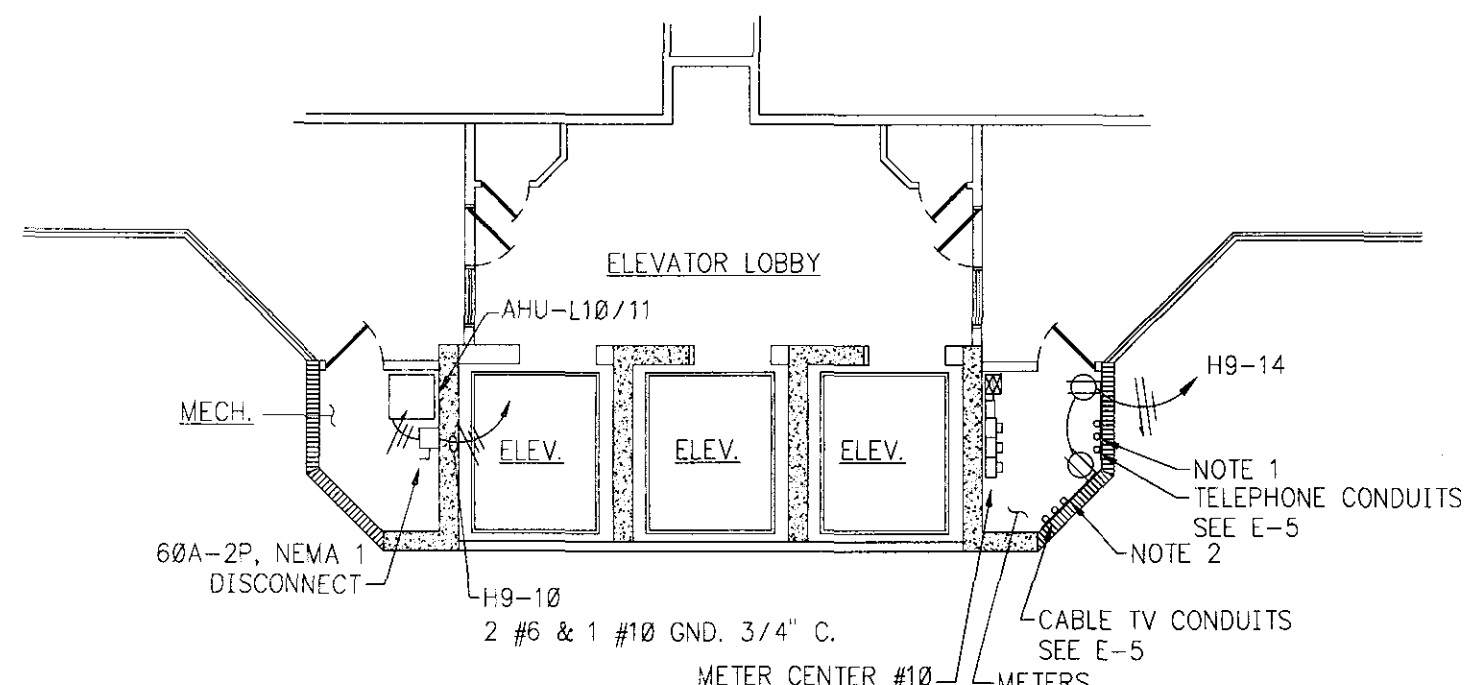
2 LEVEL 7 PARTIAL LOBBY POWER PLAN
E14 SCALE: 1"=10'



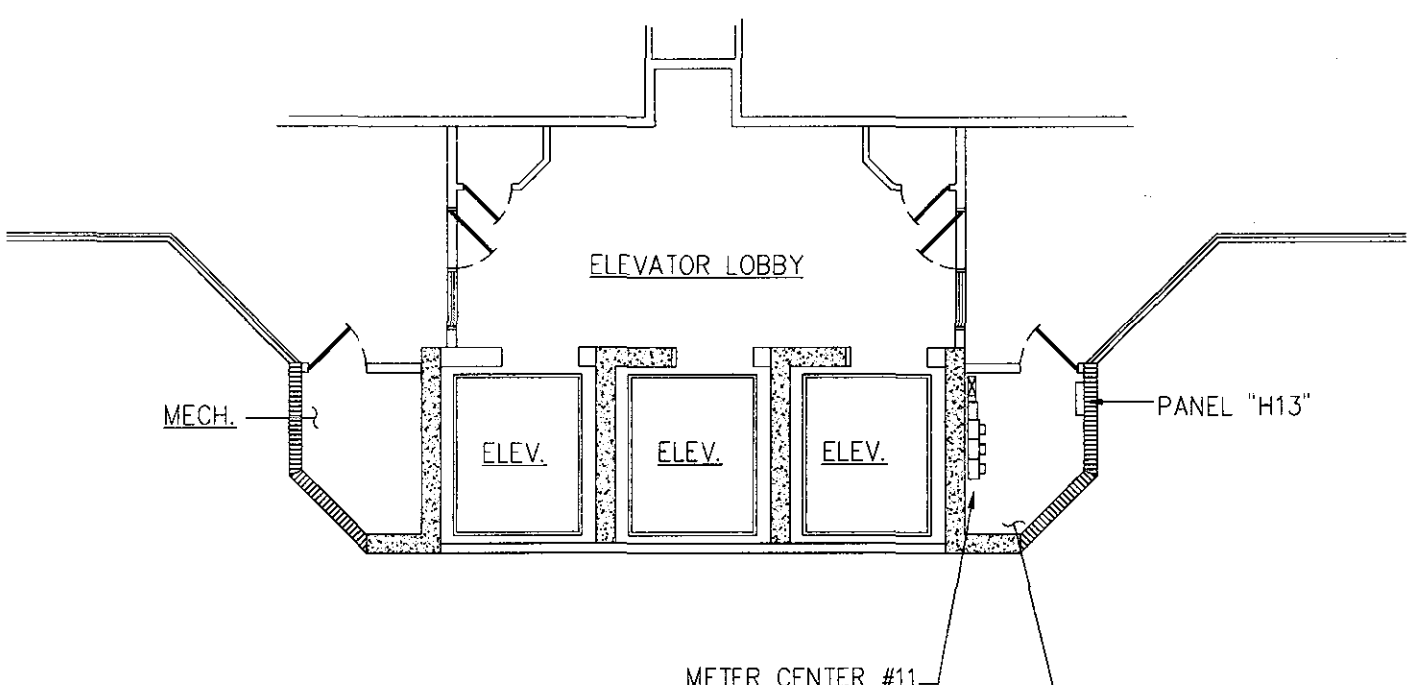
3 LEVEL 8 PARTIAL LOBBY POWER PLAN
E14 SCALE: 1"=10'



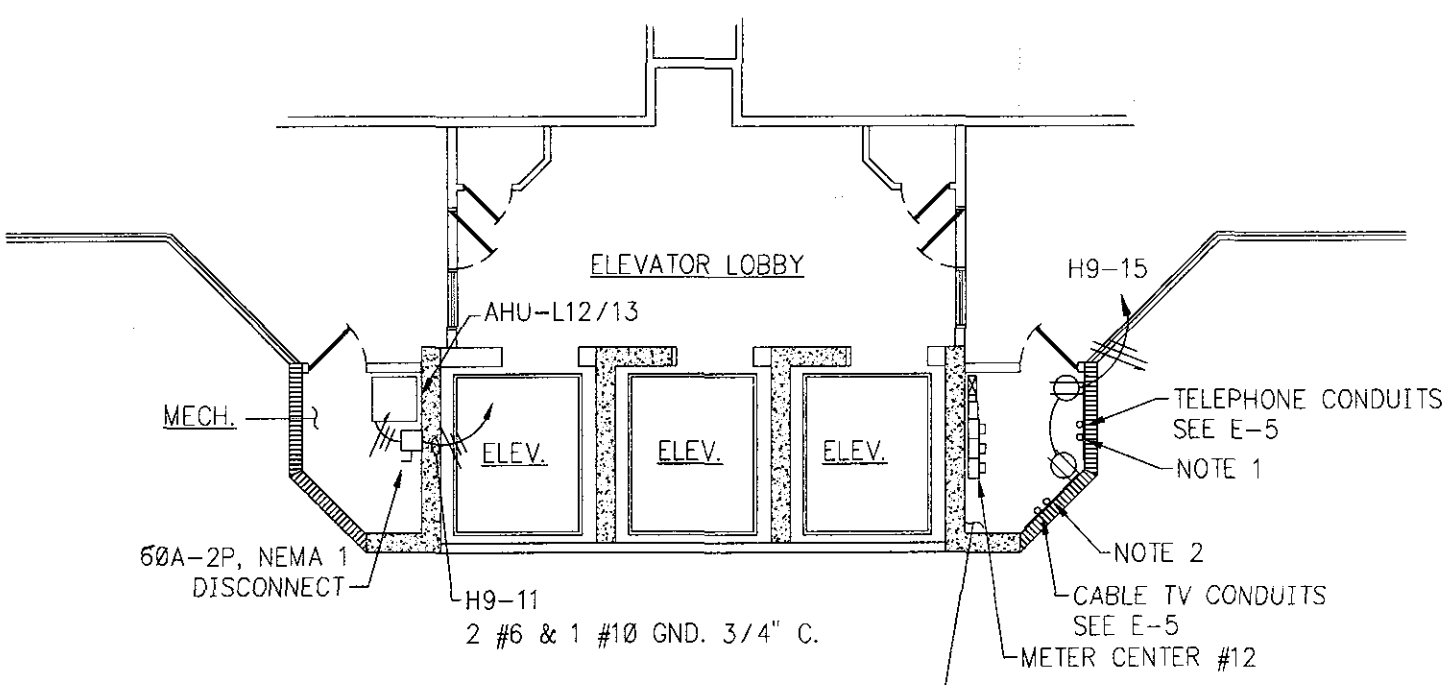
4 LEVEL 9 PARTIAL LOBBY POWER PLAN
E14 SCALE: 1"=10'



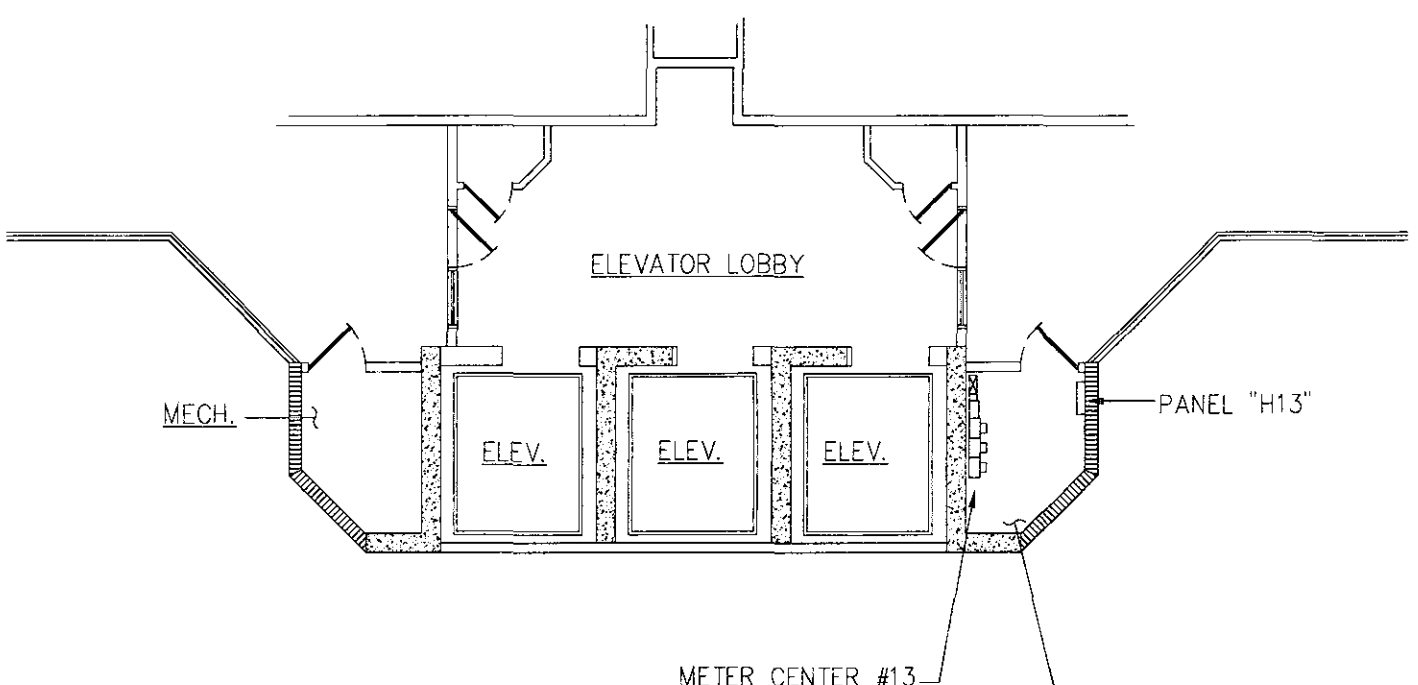
5 LEVEL 10 PARTIAL LOBBY POWER PLAN
E14 SCALE: 1"=10'



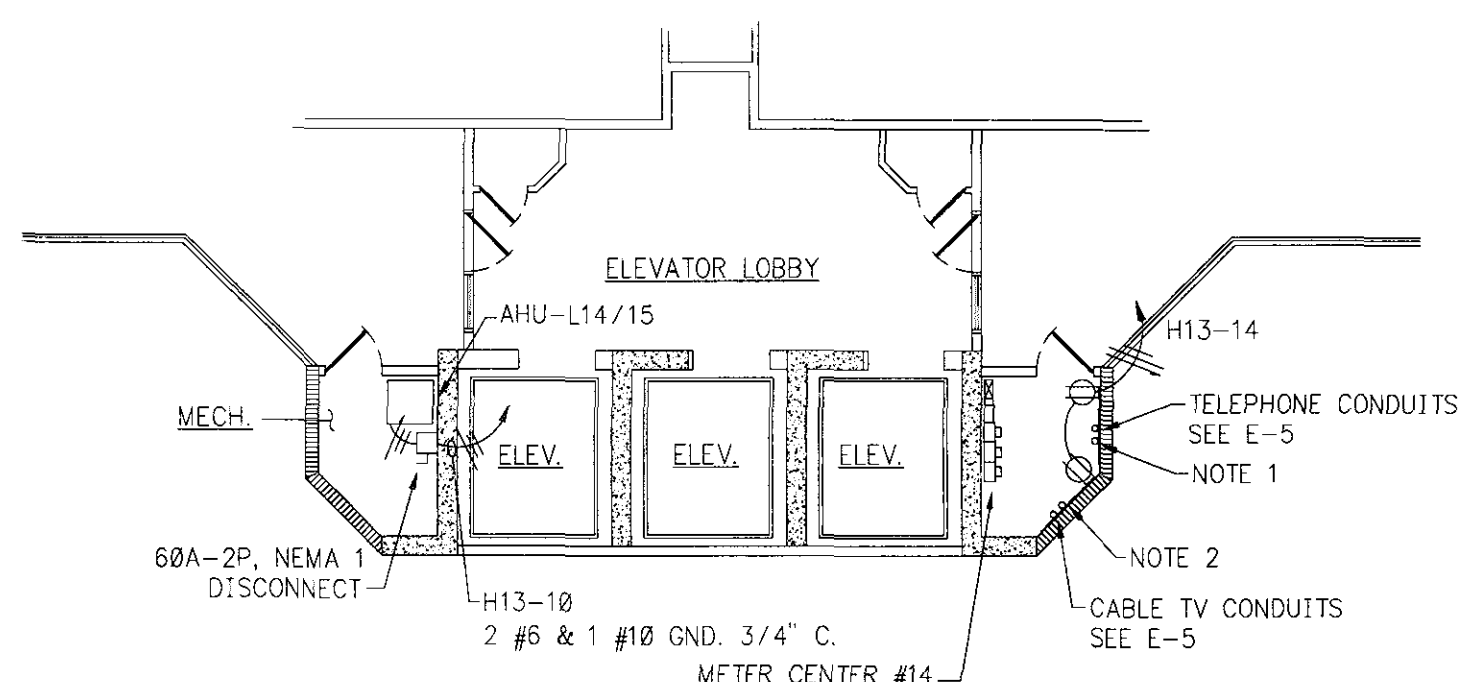
6 LEVEL 11 PARTIAL LOBBY POWER PLAN
E14 SCALE: 1"=10'



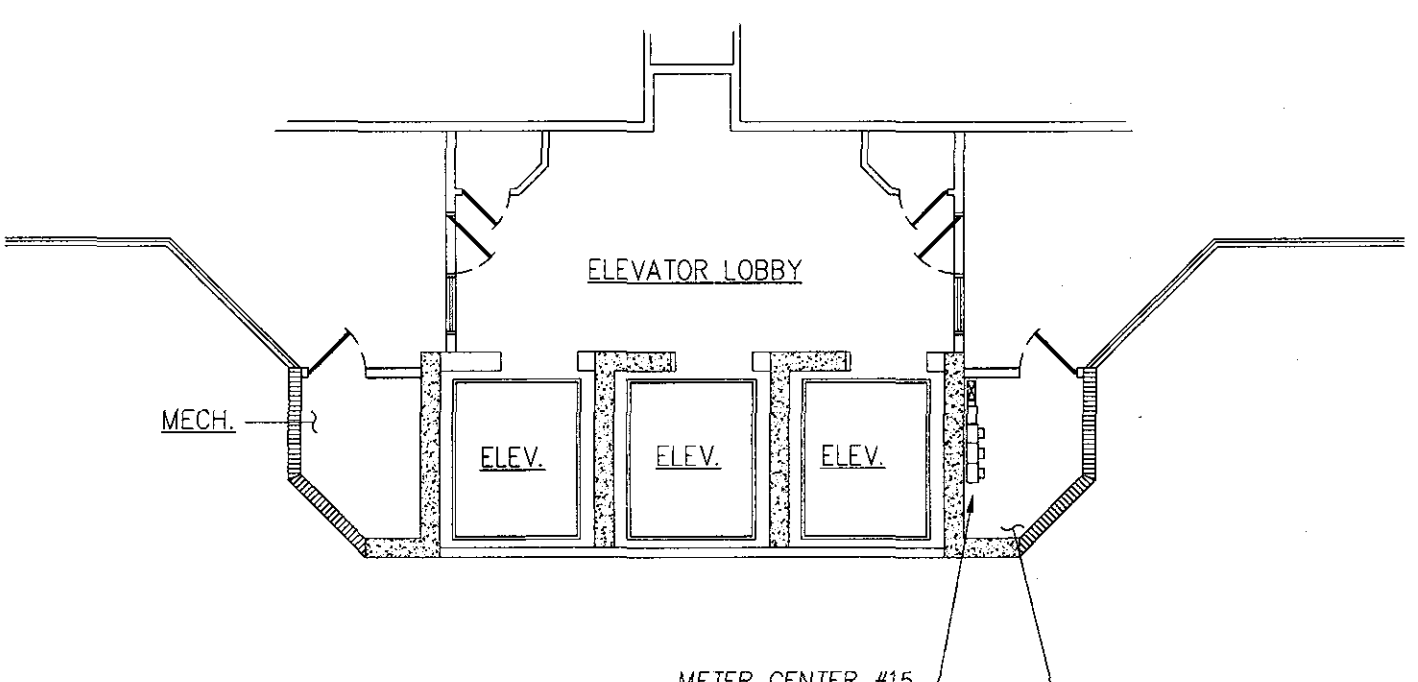
7 LEVEL 12 PARTIAL LOBBY POWER PLAN
E14 SCALE: 1"=10'



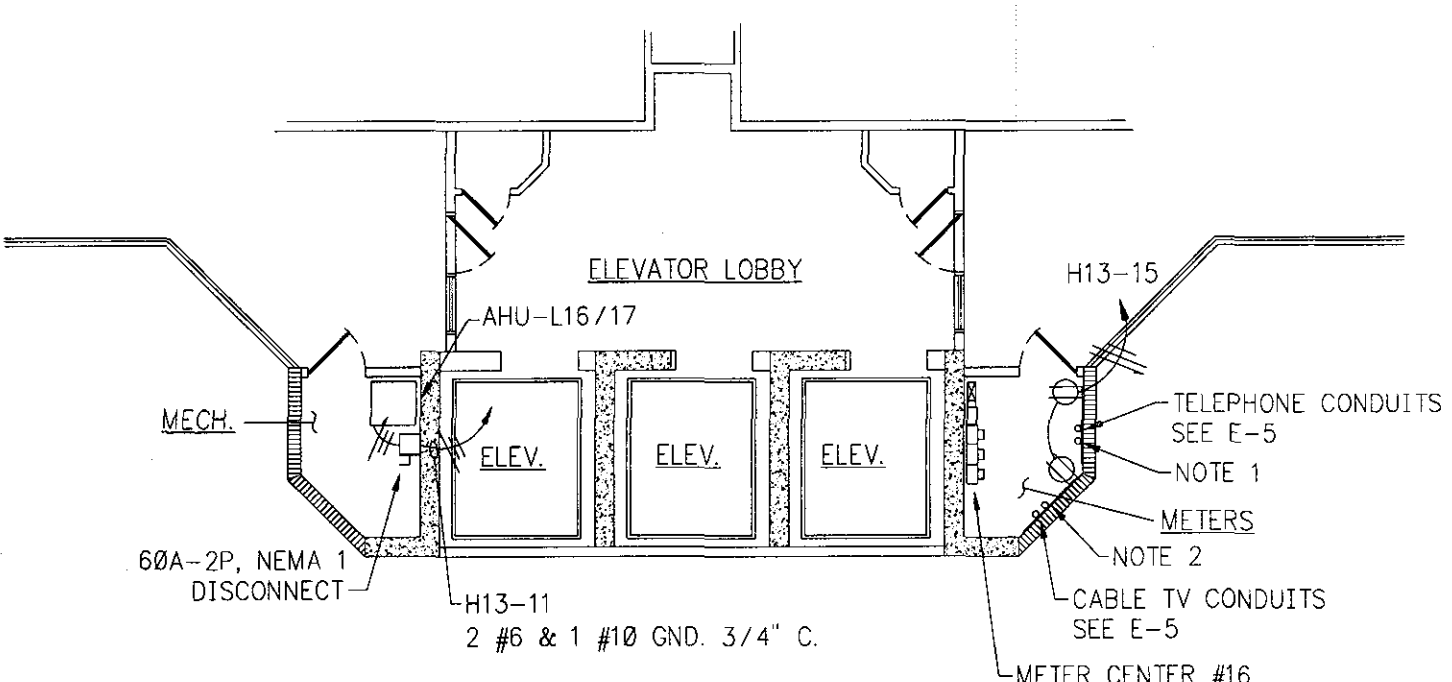
8 LEVEL 13 PARTIAL LOBBY POWER PLAN
E14 SCALE: 1"=10'



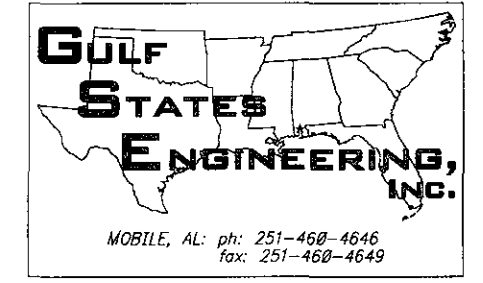
9 LEVEL 14 PARTIAL LOBBY POWER PLAN
E14 SCALE: 1"=10'



10 LEVEL 15 PARTIAL LOBBY POWER PLAN
E14 SCALE: 1"=10'



11 LEVEL 16 PARTIAL LOBBY POWER PLAN
E14 SCALE: 1"=10'



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HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

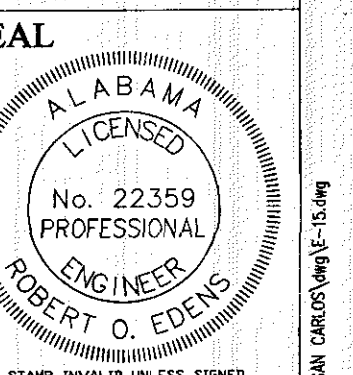
30 N. PALAFOX PENSACOLA, FLORIDA 32501

(850) 432-6011 FAX 435-9001

LEVELS 17 & 18 ELECTRICAL

San Carlos Condominium Gulf Shores, Alabama

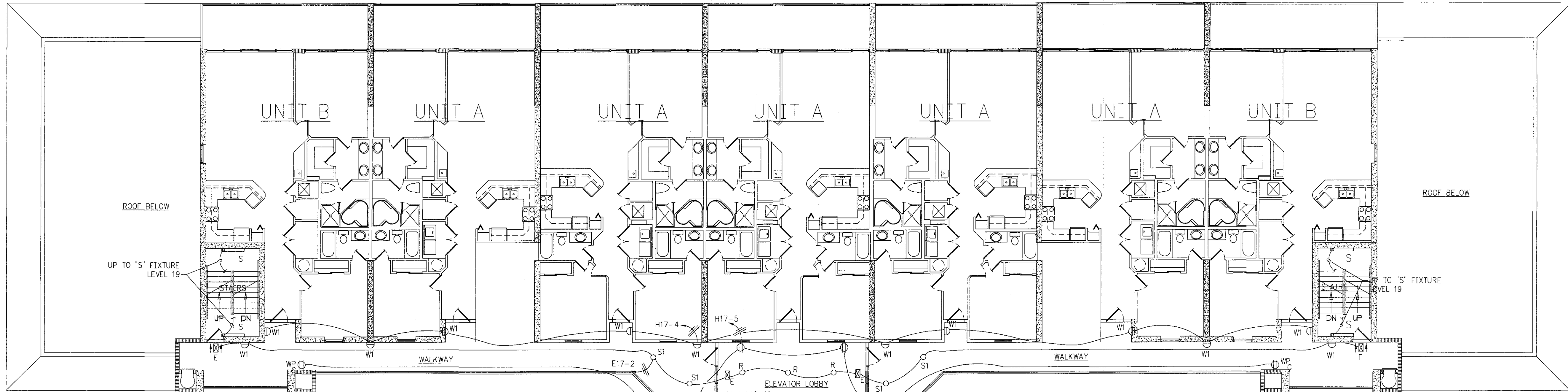
JOB NO.: CAD: SS CHECKED: ROE DATE: 5/21/04 REVISIONS: 0. I.F.C.



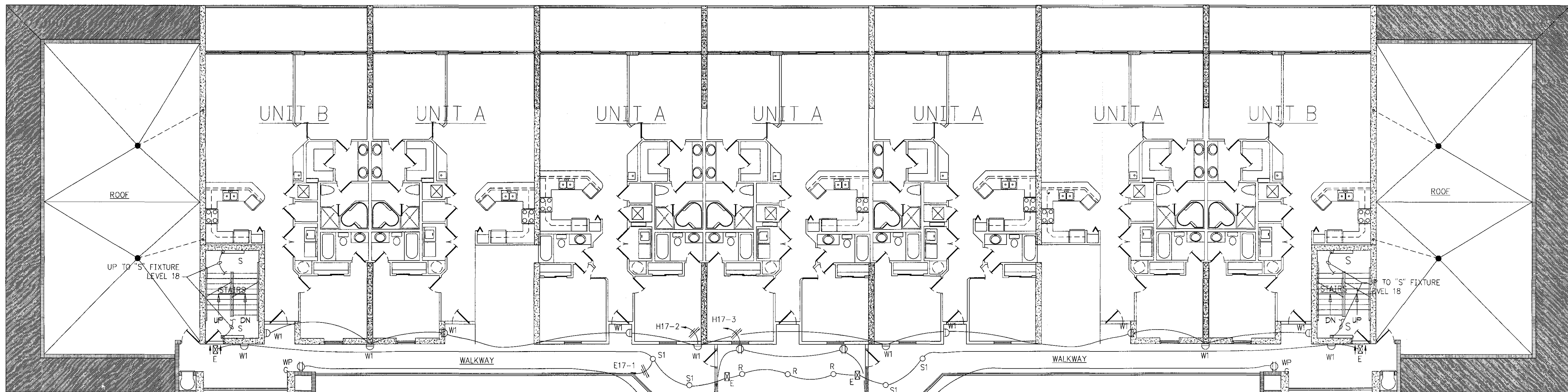
SHEET

E15

OF



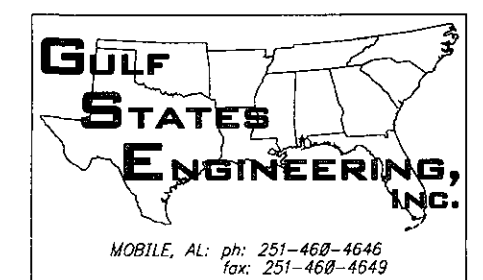
LEVEL 18 - ELECTRICAL PLAN SCALE: 1"=10'



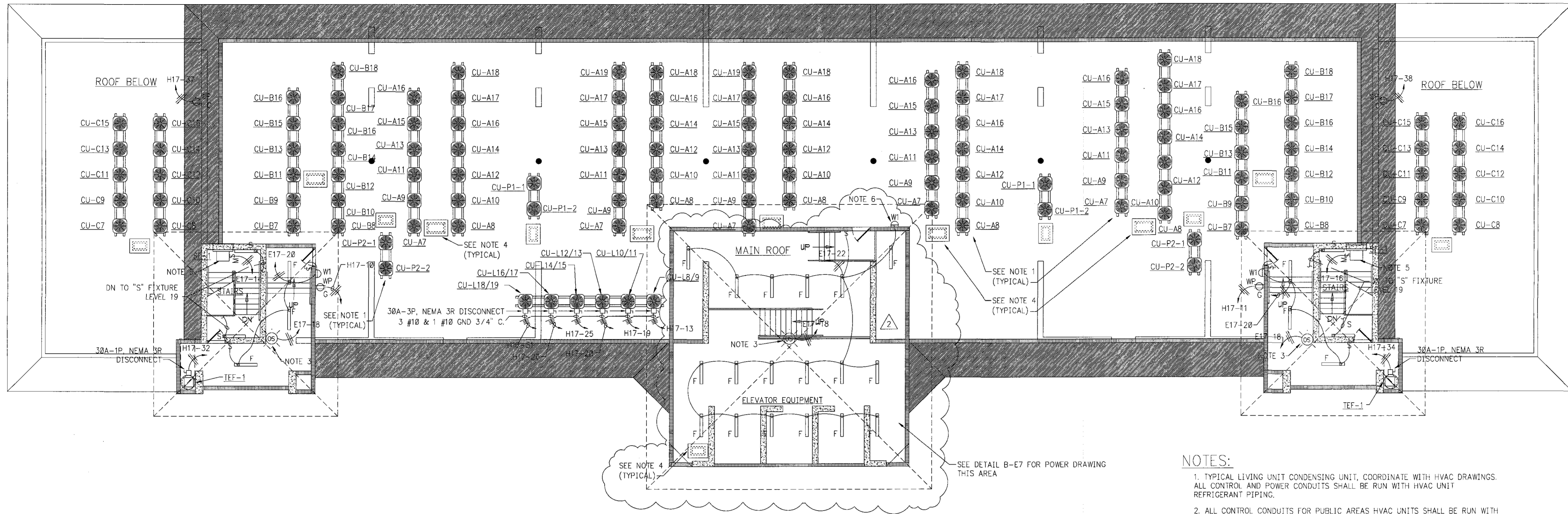
LEVEL 17 - ELECTRICAL PLAN SCALE: 1"=10'

NOTES:

- 1. 4" W.x8" T.x3/4" PLYWOOD TELEPHONE BOARD. PROVIDE #6 GROUND WIRE FROM BUILDING ELECTRICAL GROUNDING SYSTEM TO BACKBOARD, PROVIDE 6' COIL OF WIRE AT BACKBOARD.
2. 4" W.x8" T.x3/4" PLYWOOD CABLE TV BOARD. PROVIDE #6 GROUND WIRE FROM BUILDING ELECTRICAL GROUNDING SYSTEM TO BACKBOARD, PROVIDE 6' COIL OF WIRE AT BACKBOARD.

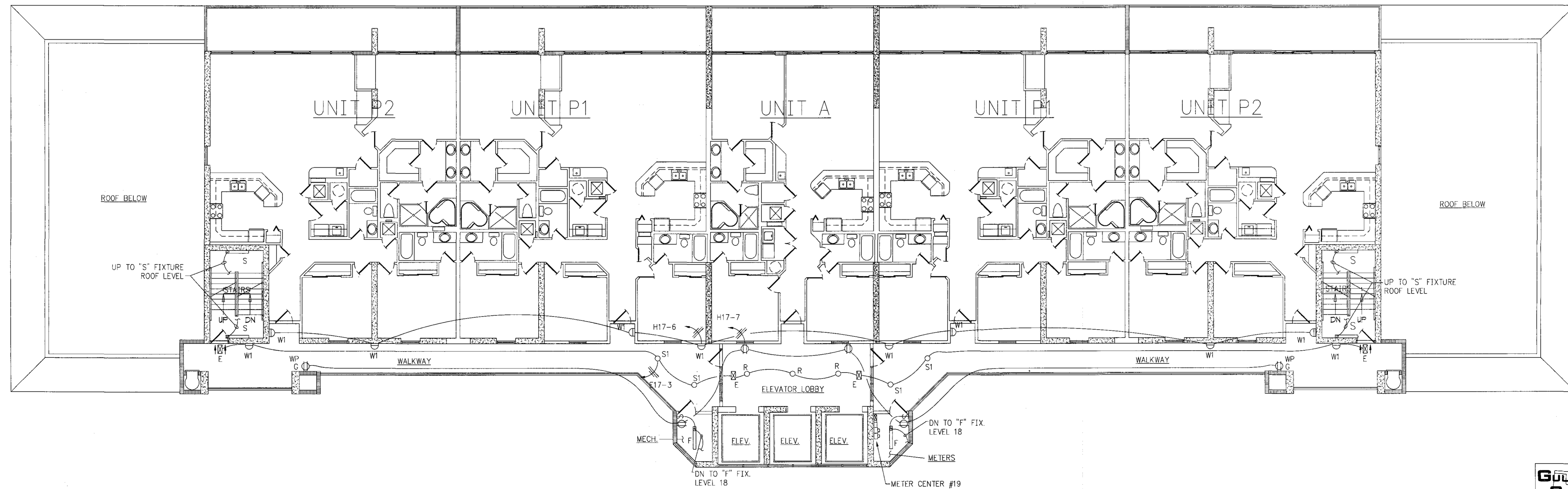


"Need Not Be Built"

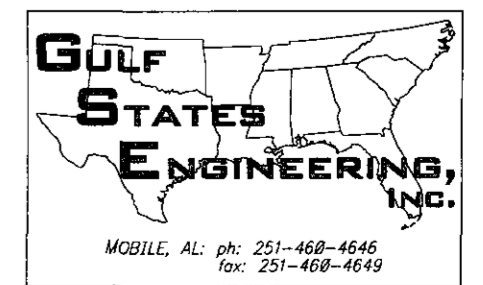


ROOF LEVEL - ELECTRICAL PLAN
SCALE: 1"=10'

- NOTES:
1. TYPICAL LIVING UNIT CONDENSING UNIT, COORDINATE WITH HVAC DRAWINGS. ALL CONTROL AND POWER CONDUITS SHALL BE RUN WITH HVAC UNIT REFRIGERANT PIPING.
 2. ALL CONTROL CONDUITS FOR PUBLIC AREAS HVAC UNITS SHALL BE RUN WITH HVAC UNIT REFRIGERANT PIPING.
 3. OBSTRUCTION WARNING LIGHTS MOUNTED ABOVE PEAK OF ROOF PER MANUFACTURERS INSTRUCTIONS.
 4. ROOF CURB, CHASE FOR REFRIGERANT PIPING, CONTROL WIRE AND POWER CONDUIT.
 5. CONTROLLED BY FIRE ALARM SYSTEM.
 6. PROVIDE P.E. CELL CONTROL OF THIS FIXTURE.



LEVEL 19 - ELECTRICAL PLAN
SCALE: 1"=10'





HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

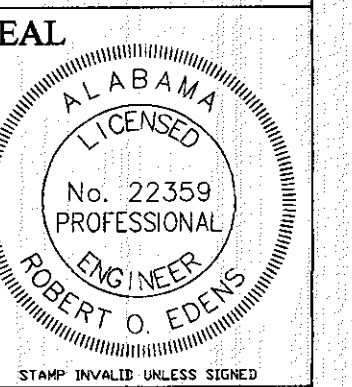
30 N. PALAFOX PENSACOLA, FLORIDA 32501

(850) 432-6011 FAX 435-9001

PANEL SCHEDULES

San Carlos Condominium Gulf Shores, Alabama

JOB NO.: CAD: SS CHECKED: ROE DATE: 5/21/04 REVISIONS: 0. I.F.C. 1. CODE REVIEW 10-19-04

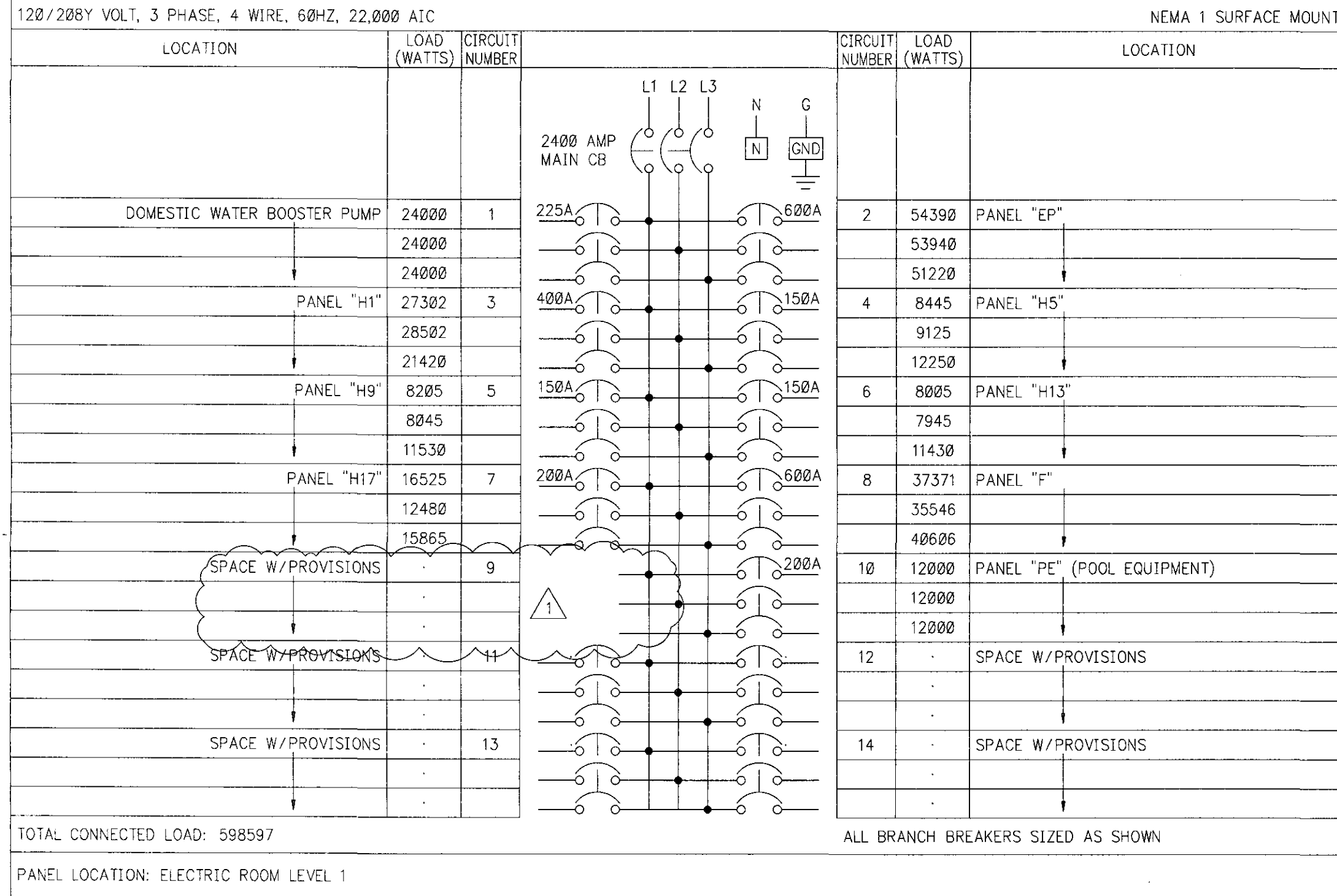


SHEET

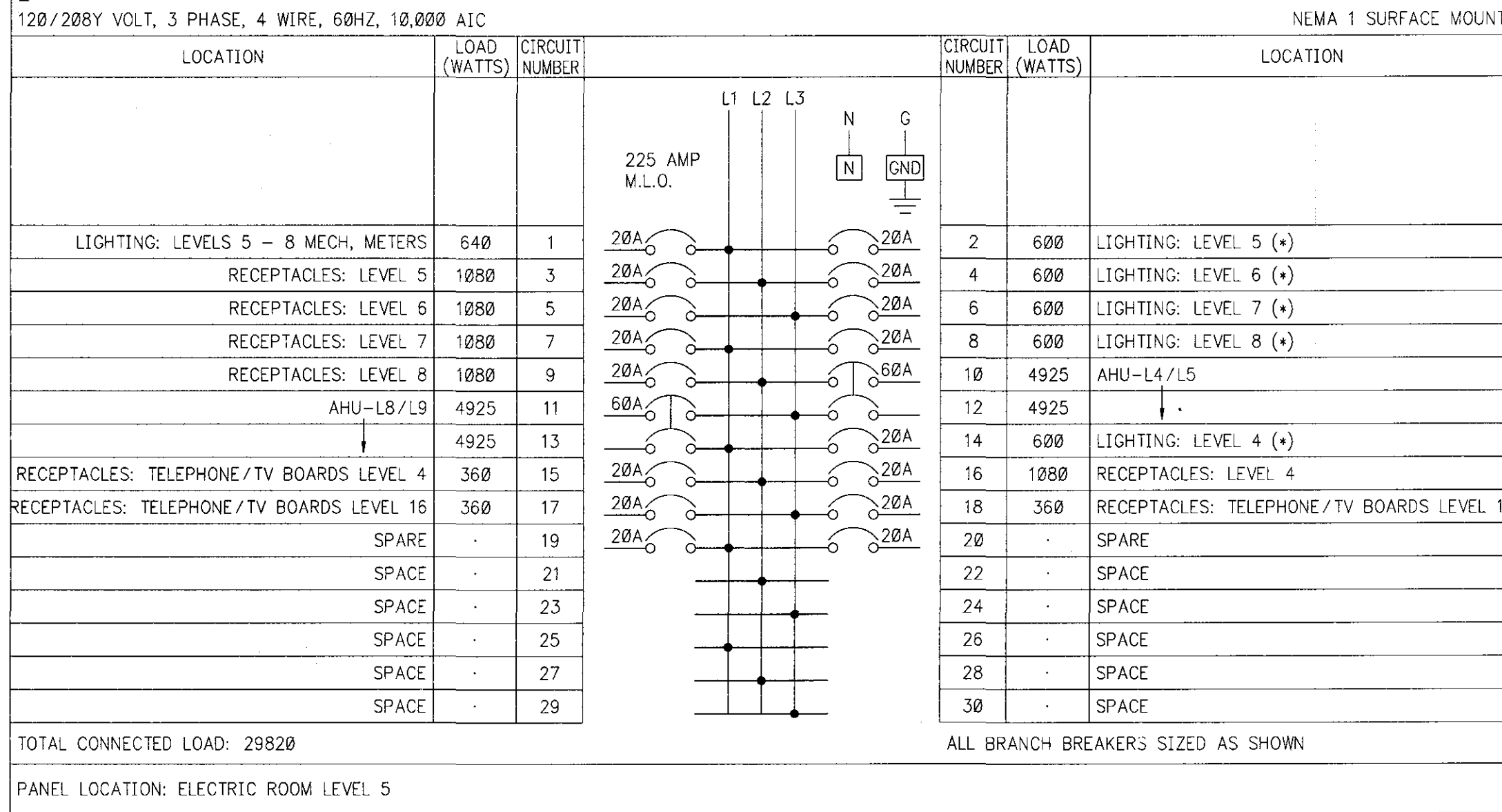
E-17

OF

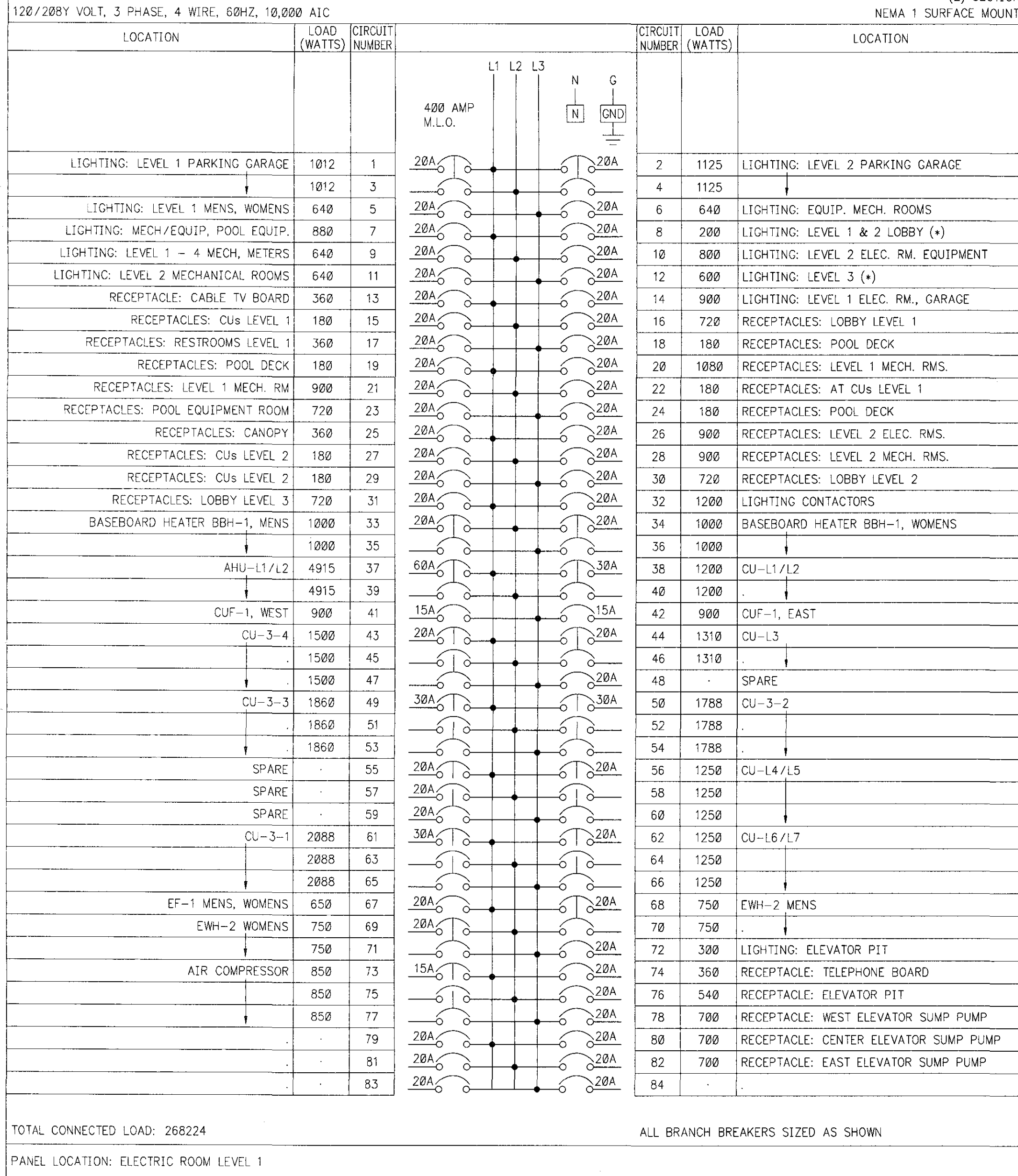
120/208 PANEL "HP"



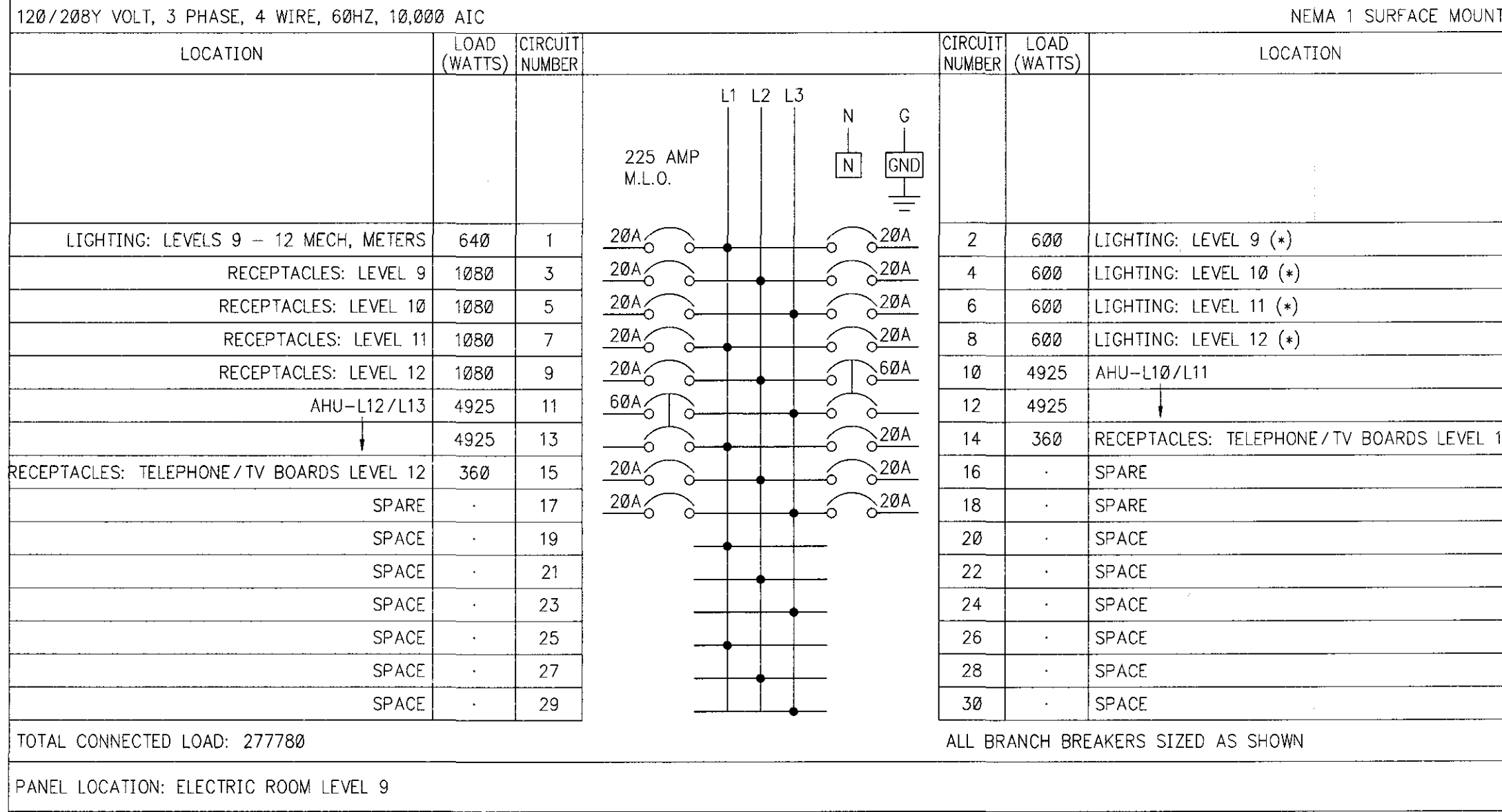
120/208 PANEL "H5"



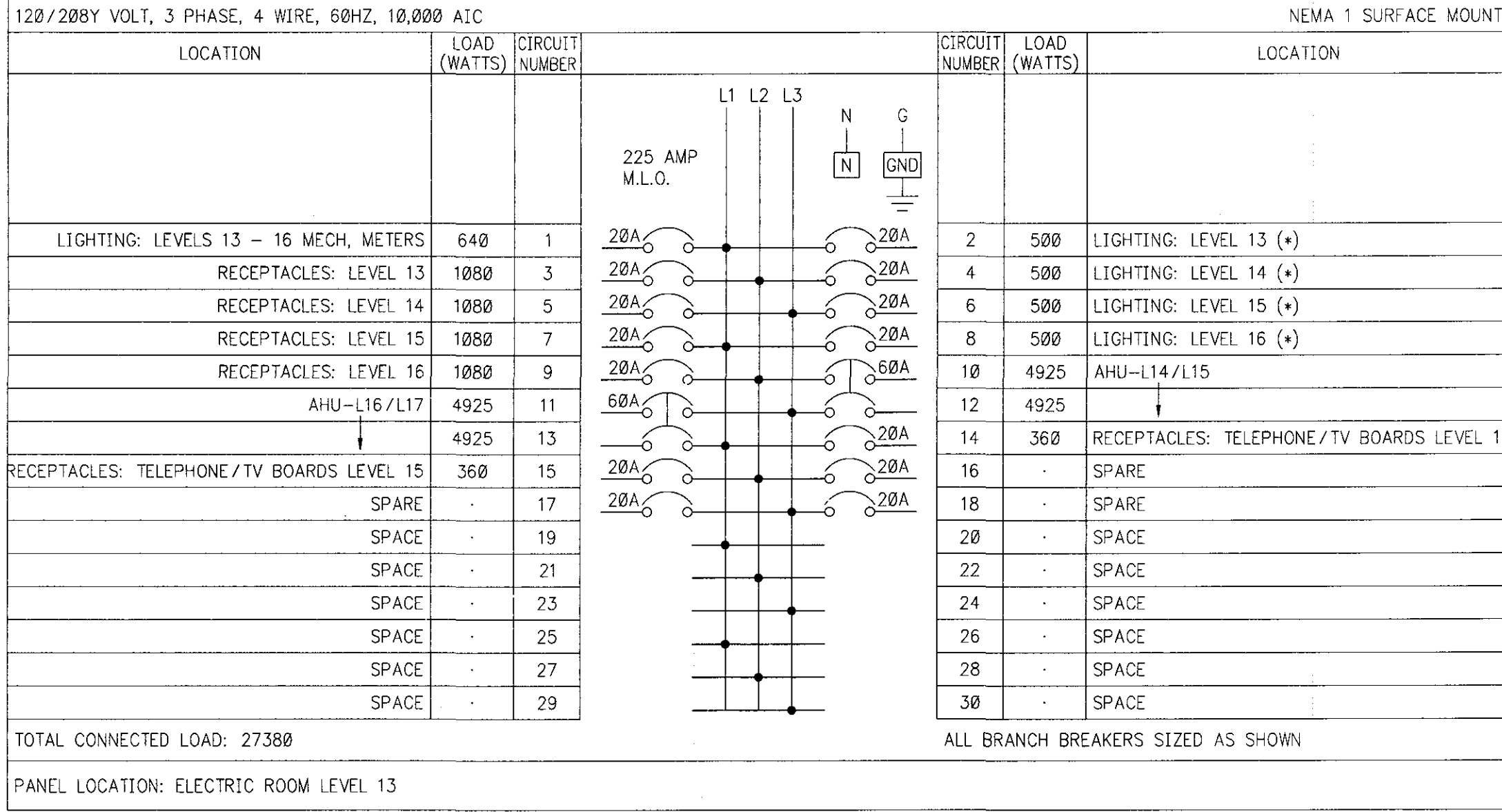
120/208 PANEL "H1"



120/208 PANEL "H9"



120/208 PANEL "H13"



(*) CONTACTOR CONTROLLED CIRCUIT



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

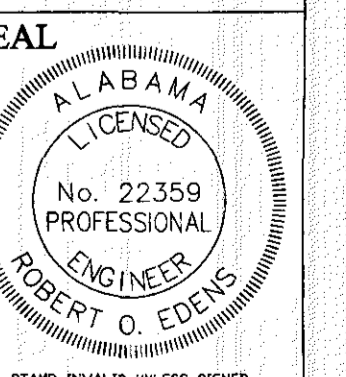
30 N. PALAFOX PENSACOLA, FLORIDA 32501

(850) 432-6011 FAX 435-9001

PANEL SCHEDULE

San Carlos Condominium Gulf Shores, Alabama

JOB NO.: CAD: 88 CHECKED: RCE DATE: 5/21/04 REVISIONS: 0. I.F.C. 1. CODE REVIEW. 10-19-04



SHEET

E-18

OF

120/208 PANEL "H17"

Table for Panel H17: 120/208Y VOLT, 3 PHASE, 4 WIRE, 60HZ, 10,000 AIC. Includes circuit list with locations like 'LIGHTING: LEVELS 17 - 19 MECH. METERS' and a 225 AMP M.L.O. diagram.

120/208 PANEL "E9"

Table for Panel E9: 120/208Y VOLT, 3 PHASE, 4 WIRE, 60HZ, 10,000 AIC. Includes circuit list with locations like 'LIGHTING: LEVELS 9 - 12 MECH. METERS' and a 100 AMP M.L.O. diagram.

120/208 PANEL "E17"

Table for Panel E17: 120/208Y VOLT, 3 PHASE, 4 WIRE, 60HZ, 10,000 AIC. Includes circuit list with locations like 'LIGHTING: LEVEL 17' and 'ELEVATOR CENTER CONTROLS' and a 600 AMP M.L.O. diagram.

120/208 PANEL "EP"

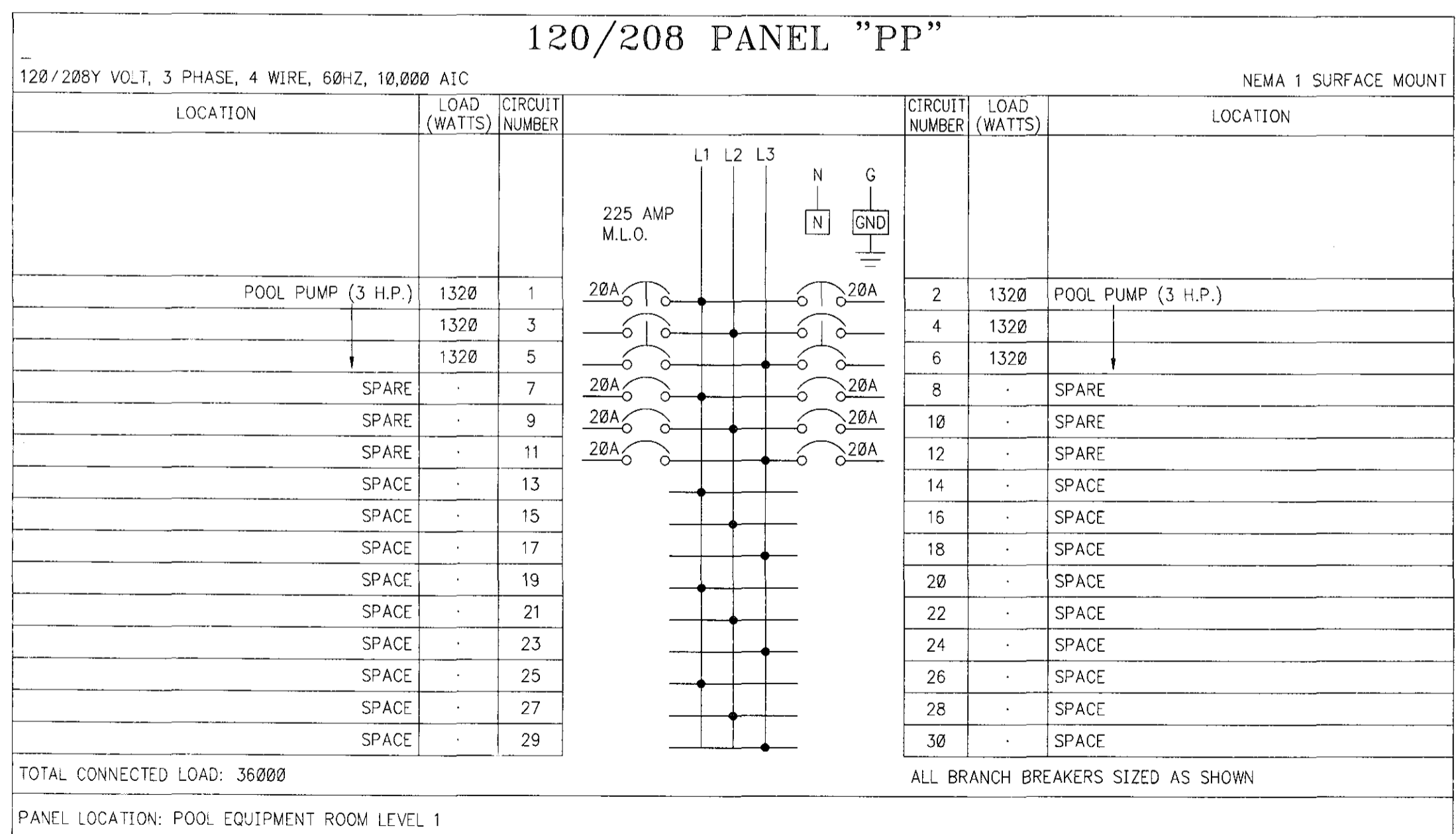
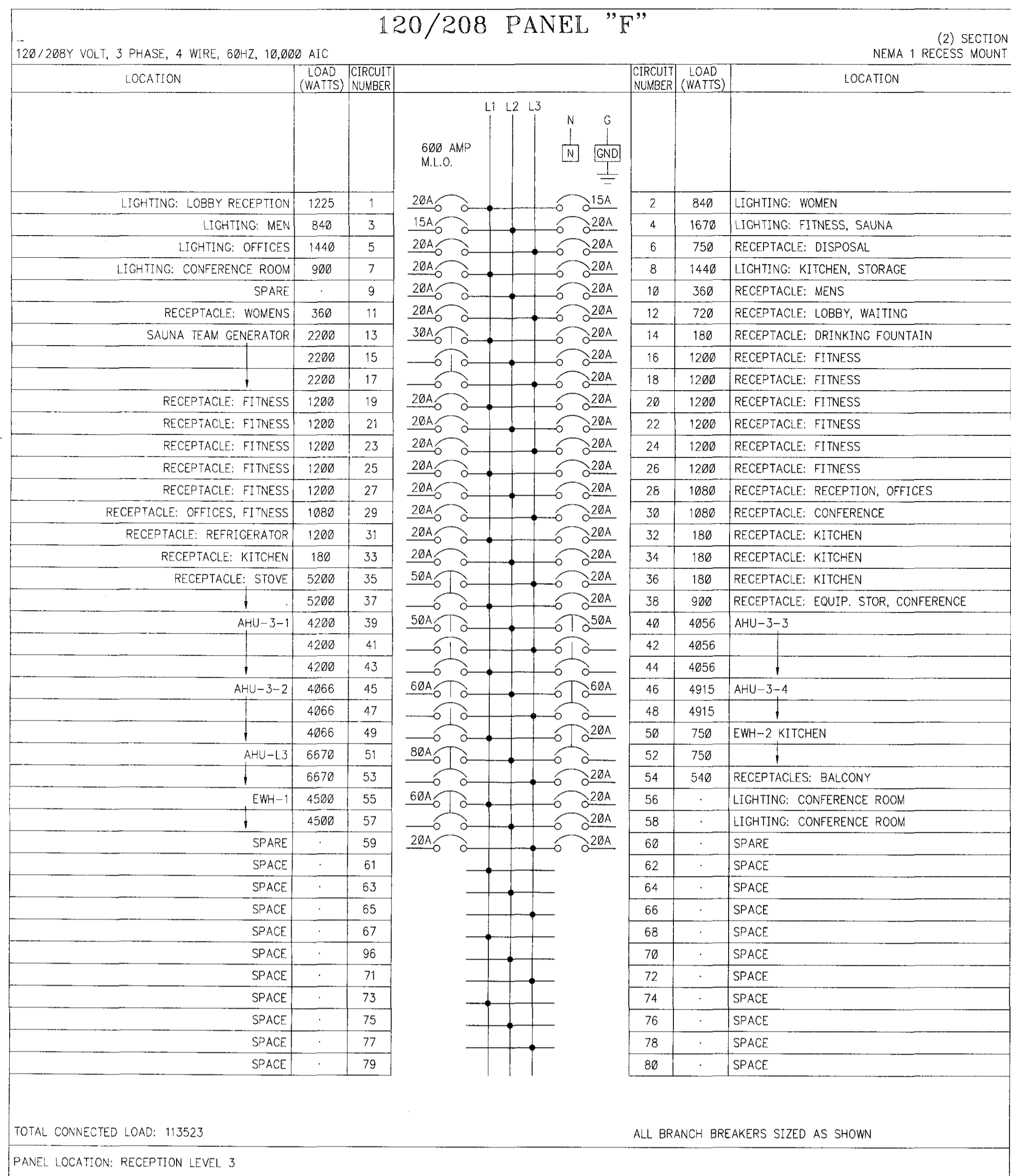
Table for Panel EP: 120/208Y VOLT, 3 PHASE, 4 WIRE, 60HZ, 22,000 AIC. Includes circuit list with locations like 'PANEL "E1"' and 'PANEL "E17"' and a 800 AMP M.L.O. diagram.

120/208 PANEL "E1"

Table for Panel E1: 120/208Y VOLT, 3 PHASE, 4 WIRE, 60HZ, 10,000 AIC. Includes circuit list with locations like 'LIGHTING: ELEV. LOBBY LEVEL' and 'LIGHTING: STAIRWELL WEST' and a 100 AMP M.L.O. diagram.

120/208 PANEL "OL"


Table for Panel OL: 120/208Y VOLT, 3 PHASE, 4 WIRE, 60HZ, 10,000 AIC. Includes circuit list with locations like 'LIGHTING: PARKING LOT' and 'LIGHTING: STAIRWELL SOUTH' and a 100 AMP M.L.O. diagram.



LIGHTING FIXTURE SCHEDULE

MARK	TYPE	VOLT	DESIGN WATTS	LAMP	BRAND & CATALOG NO.
A	PARKING GARAGE FIXTURE	208	175W	150W MH PULSE START	DAY-BRITE, MODEL CL1-175-M-MT-LP
D	CANOPIE LIGHTING FIXTURE	120	100W	1-70W MH	DAYBRITE, MODEL DSS070-M-12-LP
F	VAPOR TIGHT FLOURESCENT	120	80W	2-F32T8 35K	DAY-BRITE, MODEL F-OWN240-120
P	POLE MOUNTED SINGLE AREA LIGHT	208	300W	250W HPS	GARCO, MODEL P-G181-2XL-250S-208-WP
P2	POLE MOUNTED DOUBLE AREA LIGHT				POLE: SSA4-20M-D1-WP
R	RECESSED ROUND DOWNLIGHT	120	50W	1-42PLT 35K	CAPRI, MODEL R-CMB-FV26/32/42-U-V85WB
R1	RECESSED ROUND DOWNLIGHT	120	75W	1-75W R30	CAPRI, MODEL R1-CR1-RA100W
R2	RECESSED ROUND DOWNLIGHT SHOWER LIGHT	120	40	1-32PLT 35K	OMEGA, MODEL R2-OM61H32PLT-SRD-SHR
S	WALL MOUNTED STAIRWELL FIXTURE	120	80W	2-F32T8 35K	TERON, MODEL S-BEC226XE
U1	GROUND MOUNTED UPLIGHT	120	90W	1-70W MH T6	BRONZELITE, MODEL G8070MH-RB-S-F-120-C8DS
W1	WALL MOUNTED FIXTURE	120	40W	TTT32 35K	TERON, MODEL BEC132XE-GRL
W2	WALL MOUNTED FIXTURE MOUNTED AT 80" AFF	120	50W	1-42PLT 35K	TERON, MODEL BEC132XE-GRL
F1	SQUARE SURFACE MOUNTED FIXTURE	120	80	2-TTT42 35K	SOLERA, MODEL SFPC-2PLT42-PG
K	WALL MOUNTED UP/DOWN EXTERIOR FIXTURE	120	100W	1-100W QTZ	BEGA, MODEL 6610/538
V	WALL MOUNTED VAPOR TITE INCANDESCENT	120	100	1-100W A19	DAY-BRITE, MODEL VIS1501-12-W-G
OS	OBSTRUCTION LIGHT, MOUNTED ON 1" RIGID GALVANIZED STEEL CONDUIT.	120	116	116W	POINT LIGHTING, MODEL POL-20000-R-116-34B-DT-P
E	EXIT SIGN	120	5	LED	MCPHILBEN, MODEL CXL3RWDR
P1	POOL LIGHTING PROVIDE BY POOL INSTALLER	120	500		PROVIDED BY POOL INSTALLER
B2	POOL BOLLARD	120	70W	1-70W-MH	LUMEC, MODEL CANDB2-RR3MD-100HPS-277-COLTX
W5	POOL AREA WALL LIGHT	120	70W	1-70W-MH	BEGA, MODEL 2483MH-WH
G	4' LONG WALL MOUNTED FLOURESCENT	120	80	2-F32T8 35K	DAYBRITE, MODEL WB-252-CP-120
I	SURFACE MOUNTED FLOURESCENT	120	180	4-F32T8 35K	SEAGULL 5979-15
S2	SURFACE MOUNTED ROUND FIXTURE	120	50	3-13W PL	TERON, MODEL TW313
C	SURFACE MOUNTED CEILING FIXTURE	120	50W	1-42 PLT 35K	SOLERA, MODEL C-P274-CM-PLT42
UC1	UNDER CABINET FIXTURE 22.75" LONG	120		1-14W T5 35K	DAYBRITE, MODEL 24 SUC1-14-W-EB1-T5-835
UC	UNDER CABINET FIXTURE 46.25" LONG	120		1-28W T5	DAYBRITE, MODEL 42 SUC1-14-W-EB1-T5-835
S1	SURFACE MOUNTED FLOURESCENT	120		2-26W PL 35K	BETA-CALCO, MODEL 635211-120
S3	SURFACE MOUNTED RUSTPROOF FLOURESCENT	120	100	2-42PLT 35K	HARRIS, MODEL 1200-CP-HW-2-42PLT-HPF-120

NOTE: SOME FIXTURES SHALL BE PROVIDED WITH EMERGENCY BATTERY PACK REFER TO LIGHTING PLANS, FIXTURES WILL BE MARKED "EM".



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

30 N. PALAFOX
PENSACOLA,
FLORIDA 32501

(850) 432-6011
FAX 435-9001

PANEL SCHEDULES

San Carlos Condominium

Cull & Horca, Alabama

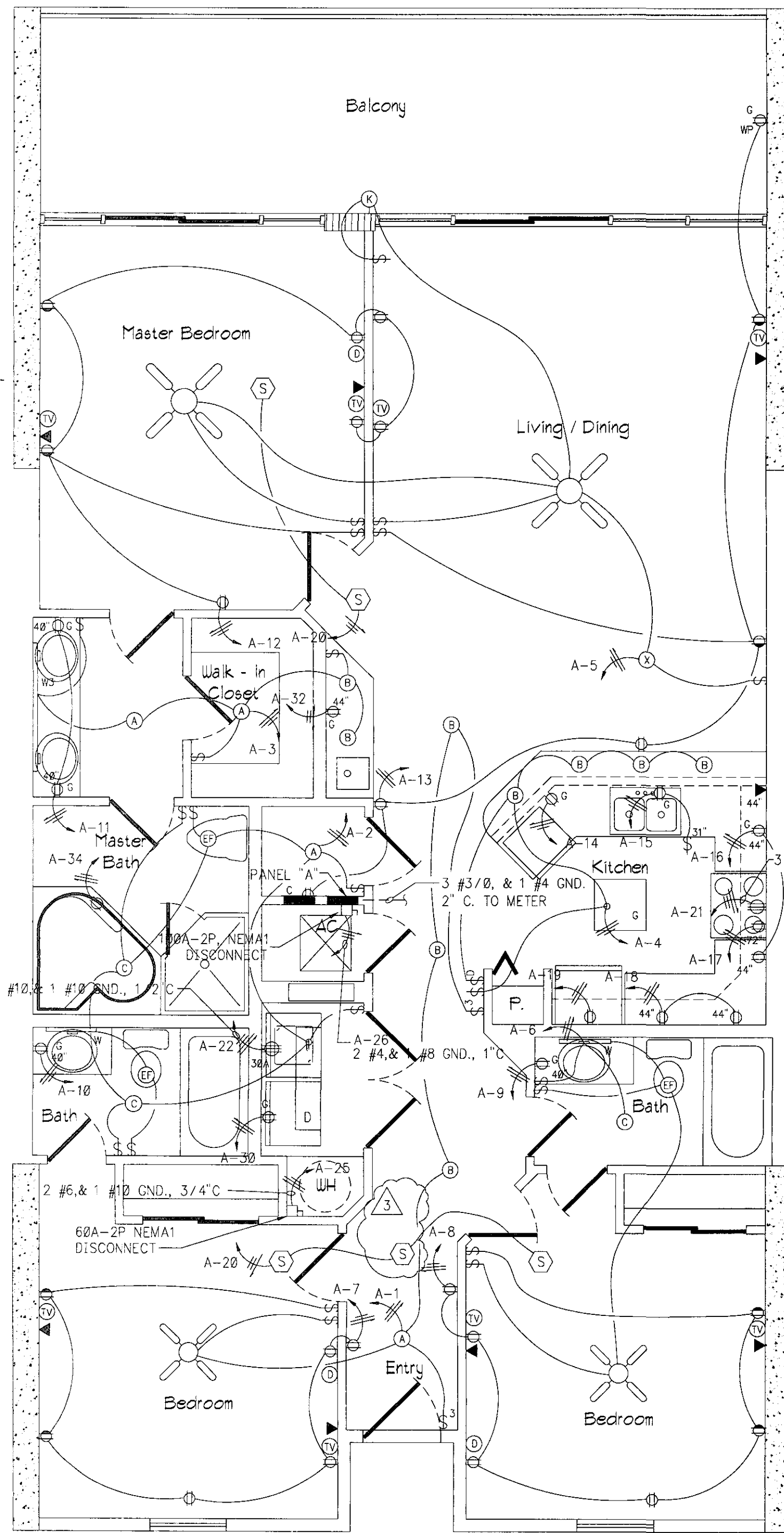
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CAD: SS
CHECKED: ROE
DATE: 5/21/04

REVISIONS:
0. I.F.C.
1. GENERAL REVISION
2. CODE REVIEW
10-19-04
3. CITY REVIEW 11-17-04

SEAL
ALABAMA LICENSED PROFESSIONAL ENGINEER
ROBERT O. EDENS
STAMP INVALID UNLESS SIGNED

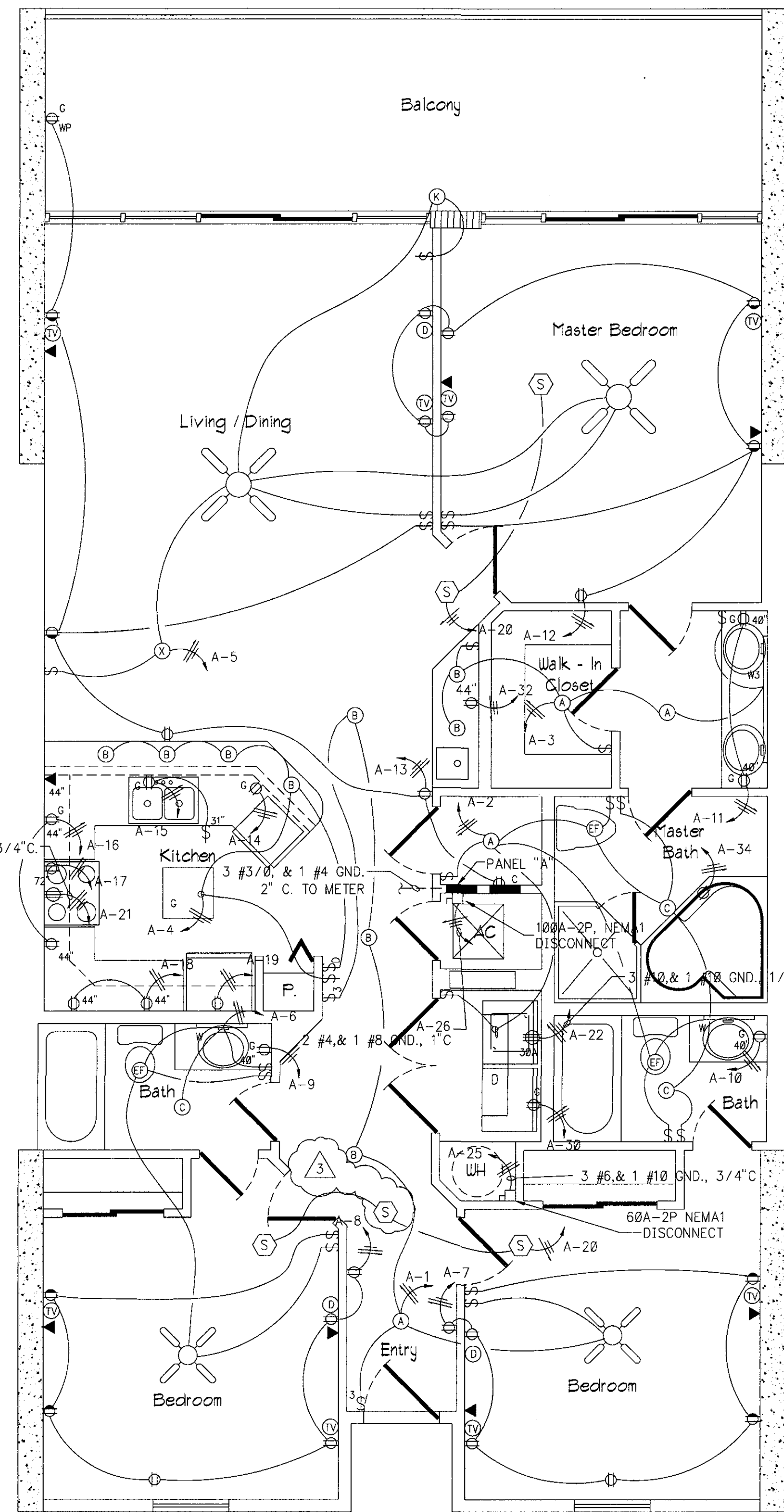
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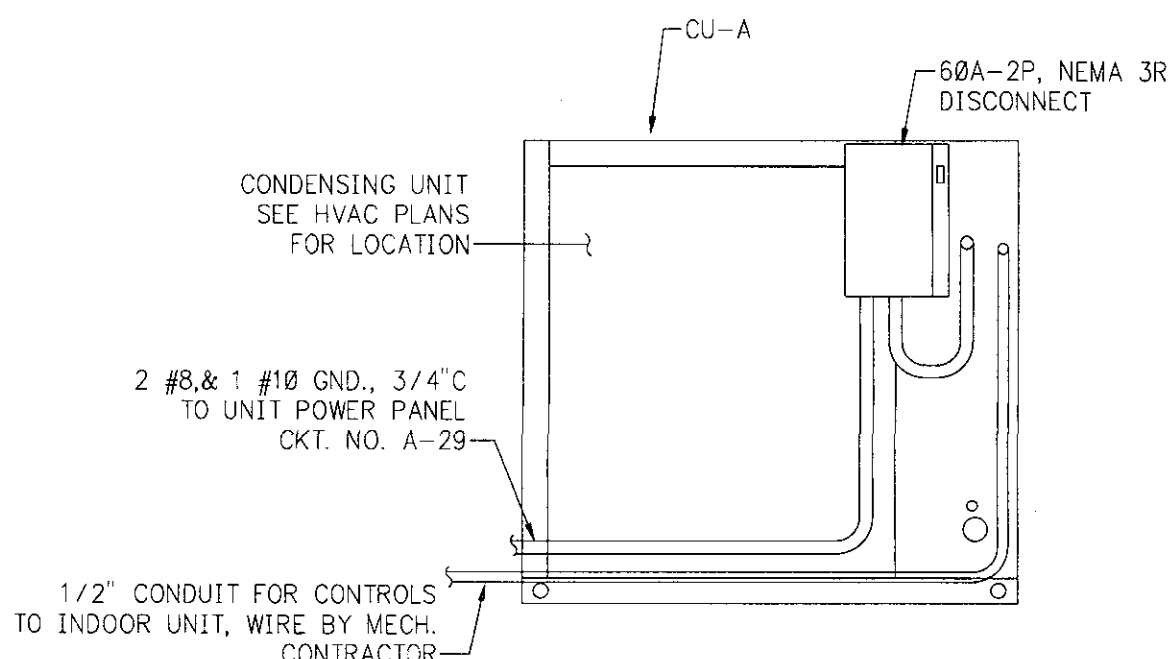
Typical Unit "A" Electrical Plan

1/4" = 1'-0" 1410 sf.



Typical Unit "A1" Electrical Plan

1/4" = 1'-0" 1410 sf.



Typical Unit "A" Condensing Unit Wiring note

LEGEND

- ⊕ DUPLX RECEPTACLE - 20 AMP, 125V. HUBBELL MODEL HBL5362W, MTD. @ 16" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
- ⊕^{WP} DUPLX RECEPTACLE - HUBBELL MODEL GF5362W, WITH GROUND FAULT INTERRUPT, MTD. @ 16" A.F.F. UNLESS NOTED, WITH WEATHER-PROOF CAST ALUMINUM COVER.
- ⊕^G DUPLX RECEPTACLE - HUBBELL MODEL GF5362W, WITH GROUND FAULT INTERRUPT, MTD. @ 16" A.F.F. UNLESS NOTED, WITH WEATHER-PROOF CAST ALUMINUM COVER.
- ⊕^S SWITCHED DUPLX RECEPTACLE - 20 AMP, 125V. HUBBELL MODEL HBL5362W, MTD. @ 16" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
- 20A ⊕ 20A 250V RECEPTACLE - MATCH TO PLUG ON SUPPLIED APPLIANCE, MTD. AS REQUIRED FOR EQUIPMENT BEING SERVED, WITH MATCHING FACEPLATE.
- 30A ⊕ 30A 250V DRYER RECEPTACLE - MATCH TO PLUG ON SUPPLIED APPLIANCE, MTD. @ 12" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
- 50A ⊕ 50A 250V STOVE RECEPTACLE - MATCH TO PLUG ON SUPPLIED APPLIANCE, MTD. @ 2" A.F.F.
- ⊕ 20A-1P TOGGLE SWITCH, HEAVY DUTY, HUBBELL MODEL HBL1221W, WHITE COLOR, MOUNTED @ 48" A.F.F. W/ MATCHING FACEPLATE.
- ⊕³ 20 AMP THREE WAY TOGGLE SWITCH, HEAVY DUTY, HUBBELL MODEL HBL1223W, WHITE COLOR, MOUNTED @ 48" A.F.F. W/ MATCHING FACEPLATE.
- ⊕^D 1200W 120V AC SLIDE DIMMER, HUBBELL MODEL 6453W, WHITE COLOR, MOUNTED @ 48" A.F.F. W/ MATCHING FACEPLATE.
- ▲ VOICE RECEPTACLE, MOUNTED @ 16" A.F.F. HUBBELL MODEL CX141, WITH MATCHING FACEPLATE, MTD. @ 16" A.F.F. UNLESS NOTED. RUN CAT 6 CABLE FROM RECEPTACLE TO COMMUNICATIONS CABINET
- TV CABLE TV OUTLET BOX MTD. @ 16" A.F.F. UNLESS NOTED. FLUSH MOUNTED 1 GANG WALL BOX. CONTRACTOR TO RUN CO-AX FROM OUTLET TO COMMUNICATIONS CABINET
- D COMPUTER DATA OUTLET BOX MTD. @ 16" A.F.F. UNLESS NOTED. FLUSH MOUNTED 1 GANG WALL BOX. CONTRACTOR TO RUN CAT-5 FROM OUTLET TO COMMUNICATIONS CABINET
- EF EXHAUST FAN
- LIGHTING FIXTURE, SEE FIXTURE SCHEDULE
- ⊕ JUNCTION BOX LOCATION MOUNTED AS NOTED ON DRAWING, SIZED AS REQUIRED BY EQUIPMENT BEING SERVED.
- DISCONNECT SWITCH, SIZE AND TYPE AS NOTED.
- HOME RUN CONDUIT, CIRCUIT NUMBER AS INDICATED ON DRAWINGS. HASHMARKS INDICATE HOT NEUTRAL AND GROUND.
- CONDUIT RUN IN FLOOR OR SLAB.
- CONDUIT RUN IN WALLS OR CEILING.
- COMBINATION PHOTO-ELECTRIC/IONIZATION SMOKE DETECTOR, 120V AC POWERED W/MONITORED BATTERY BACK-UP. SINGLE STATION TANDEM, GENTEX MODEL 9120F.
- COMMUNICATIONS CABINET, CUTLER HAMMER MODEL, CHSWPAK1 RUN (1) CAT6 CABLE IN 1" C. FROM COMMUNICATIONS CABINET TO TELEPHONE BACKBOARD, AND (1) RG59 COAX IN 1" C. TO CABLE TV BACKBOARD. PROVIDE 120V, AC RECEPTACLE IN CABINET UNIT POWER PANEL SEE UNIT PANEL SCHEDULE FOR THIS DRAWING

120/208 PANEL "A"

120/208V VOLT, 1 PHASE, 3 WIRE, 60HZ, 10,000 AIC NEMA 1 RECESSED MOUNT

LOCATION	LOAD (WATTS)	CIRCUIT NUMBER	CIRCUIT NUMBER	LOAD (WATTS)	LOCATION
LTC: ENTRY BEDROOM	850	1	20A	2	1150 LTC: BATH, OWNER, LAUNDRY
LTC: MAS. BATHROOM	1500	3	20A	4	480 LTC: KITCHEN
LTC: LIVING/DINING, MAS B.R., BALCONY	1300	5	20A	6	1060 LTC: BATH B.R.
REC: BEDROOM, ENTRY	1000	7	20A	8	1000 REC: ENTRY B.R.
RECEPT: BATH	180	9	20A	10	180 REC: BATH
RECEPT: MASTER BATH	360	11	20A	12	1440 REC: MASTER B.R.
RECEPT: LIVING/DINING, CLOS.	1000	13	20A	14	1200 REC: DISHWASHER
RECEPT: DISPOSAL	750	15	20A	16	360 REC: KITCHEN
RECEPT: MICROWAVE, HOOD	1200	17	20A	18	360 REC: KITCHEN
RECEPT: REFRIDGERATOR	1200	19	20A	20	200 SMOKE DETECTORS
RECEPT: STOVE	5200	21	50A	22	2400 REC: CLOTHES DRYER
WATER HEATER	4500	25	60A	26	7350 AIR HANDLER AHU-A (11.3 KW HEAT)
CONDENSING UNIT CU-A	4500	27	50A	28	7350
	3100	31	20A	30	1200 REC. WASHING MACHING
			20A	32	180 REC. BAR DINING
			20A	34	1200 REC. JACUZZI TUB
			20A	36	
			20A	38	
			20A	40	
			20A	42	

TOTAL CONNECTED LOAD: 63140 ALL BRANCH BREAKERS SIZED AS SHOWN

PANEL LOCATION: OWNERS

(AF) INDICATES ARC FAULT INTERRUPTER TYPE BREAKER

(AF) INDICATES ARC FAULT INTERRUPTER TYPE BREAKER

LIGHTING FIXTURE SCHEDULE

MARK	TYPE	VOLT	DESIGN WATTS	LAMP	BRAND & CATALOG NO.
A	SURFACE MOUNTED FIXTURE W/GLASS GLOBE	120	150	2-75WA19	LURALINE, MODEL PD 13 CPR 98
B	RECESSED DOWNLIGHT	120	100	1-75WR30	HALO, MODEL H71CT 429
C	RECESSED DOWNLIGHT W/SHOWER TRIM	120	60	60W A19	HALO, MODEL H71CT 172PS
D	2 TUBE FLUORESCENT SURFACE MOUNTED	120	80	2-F32T8	METALUX, MODEL 2324
G	2'x2' SURFACE MOUNTED FLUORESCENT	120	80	2FU40T12	METALUX, MODEL 5502E
W	WALL MOUNTED MULTI-LAMP BATH FIXTURE	120	400	4-60W	ANP LIGHTING, MODEL 2124 FINISH TO MATCH PLUMBING FIXTURES
CF	CEILING FAN W/LIGHT KIT	120	400	3-60W	MODEL
EF	EXHAUST FAN/LIGHT COMBINATION W/NIGHT LIGHT	120	100	1-100A19	NUTONE, MODEL 8663RP DUCTING BY DIVISION 15, PROVIDE BACKDRAFT DAMPER WITH FAN
W3	WALL MOUNTED MULTI-LAMP BATH FIXTURE MTD. @ 92" AFF	120	1000	10-60W	ANP LIGHTING, MODEL 2160 FINISH TO MATCH PLUMBING FIXTURES
K	WALL MOUNTED UP/DOWN EXTERIOR FIXTURE	120	100W	1-100W QTZ	BEGA, MODEL 6610/536
X	DINING AREA FIXTURE, SUPPLIED AND INSTALLED BY OWNER	120	400W		

HN

HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

30 N. PALAFOX PENSACOLA, FLORIDA 32501

(850) 432-6011 FAX 435-9001

UNIT A. ELECTRICAL

San Carlos Condominium Gulf Shores, Alabama

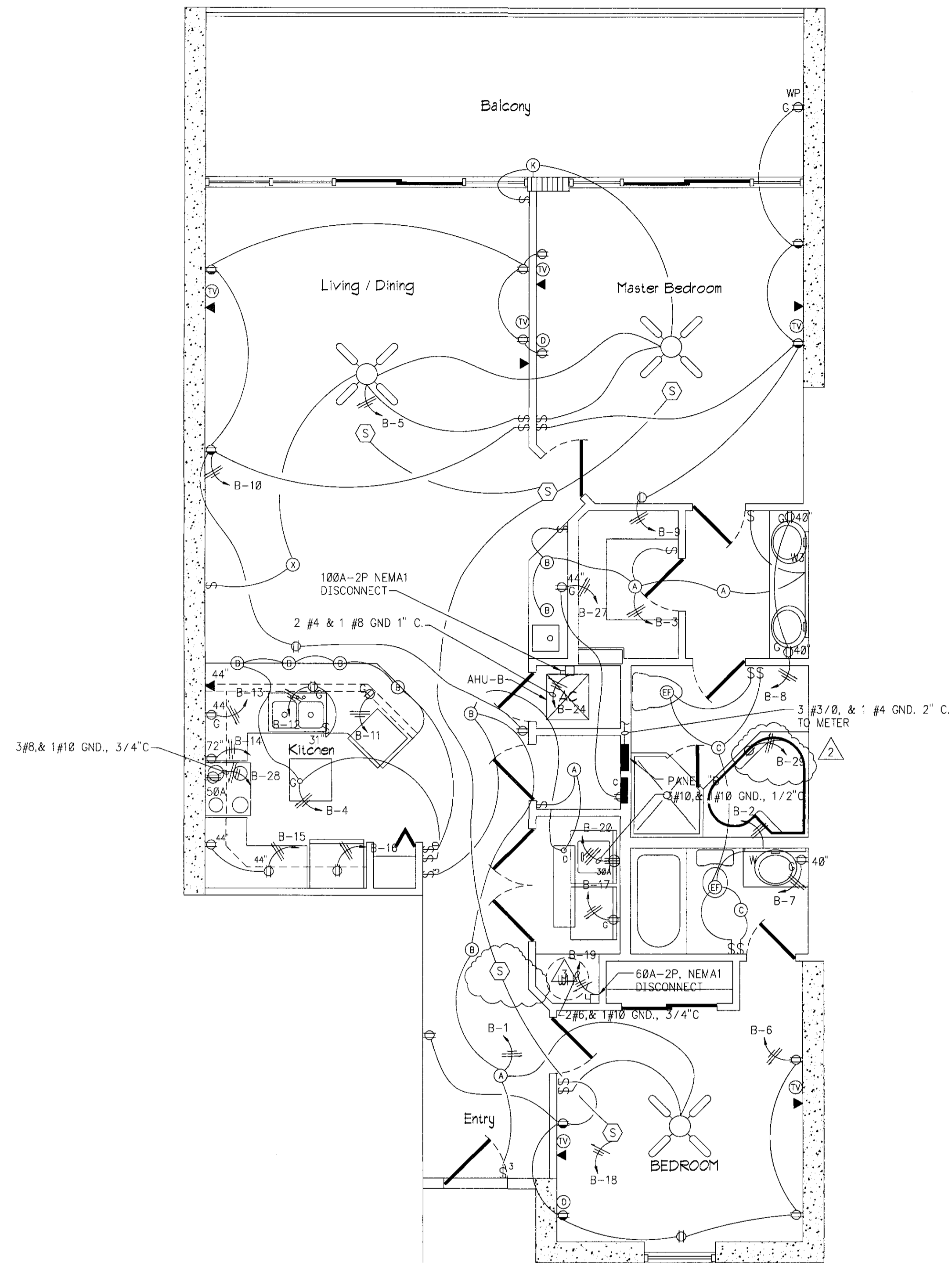
JOB NO.: CAD: SS CHECKED: ROE DATE: 5/21/04 REVISIONS: 0. I.F.C. 1. GENERAL REVISION 6-7-04 2. ADDED GFI BRKR. 6-14-04 3. CODE REVIEW. 10-19-04

SEAL ALABAMA LICENSED PROFESSIONAL ENGINEER ROBERT O. EDWARDS

GULF STATES ENGINEERING, INC. MOBILE, AL. PH: 251-668-4646 FAX: 251-668-4649

SHEET **E-20** OF

"Need Not Be Built"

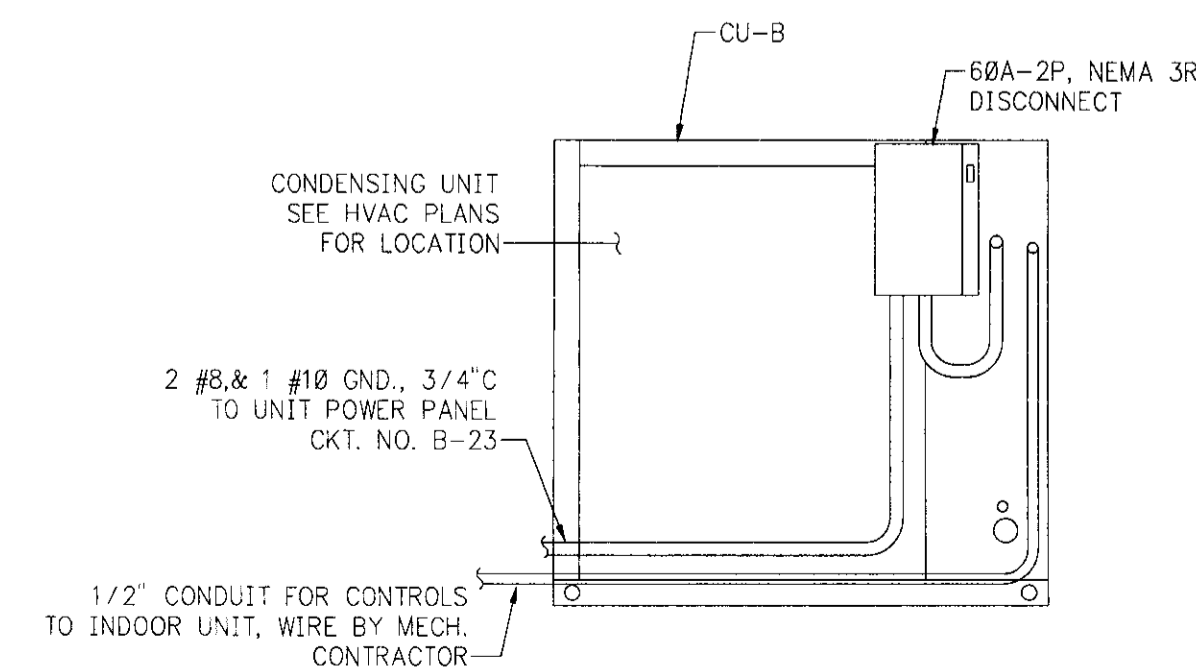


Typical Unit "B" Electrical Plan

1/2" = 1'-0" 1410 sf.

Unit "B" Electrical Plan (SIMILAR)

1/2" = 1'-0" 1410 sf.



Typical Unit "B" Condensing Unit Wiring none

LEGEND

- ⊕ DUPLX RECEPTACLE - 20 AMP, 125V, HEAVY DUTY, HUBBELL MODEL HBL5362W, MTD. @ 16" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
- ⊕_{WP} DUPLX RECEPTACLE - HUBBELL MODEL GF5362W, WITH GROUND FAULT INTERRUPT, MTD. @ 16" A.F.F. UNLESS NOTED, WITH WEATHER-PROOF CAST ALUMINUM COVER.
- ⊕_G DUPLX RECEPTACLE - HUBBELL MODEL GF5362W, WITH GROUND FAULT INTERRUPT, MTD. @ 16" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
- ⊕_S SWITCHED DUPLX RECEPTACLE - 20 AMP, 125V, HEAVY DUTY, HUBBELL MODEL HBL5362W, MTD. @ 16" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
- 20A ⊕ 20A 250V RECEPTACLE - MATCH TO PLUG ON SUPPLIED APPLIANCE, MTD. AS REQUIRED FOR EQUIPMENT BEING SERVED, WITH MATCHING FACEPLATE.
- 30A ⊕ 30A 250V DRYER RECEPTACLE - MATCH TO PLUG ON SUPPLIED APPLIANCE, MTD. @ 12" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
- 50A ⊕ 50A 250V STOVE RECEPTACLE - MATCH TO PLUG ON SUPPLIED APPLIANCE, MTD. @ 2" A.F.F.
- ⊕ 20A-1P TOGGLE SWITCH, HEAVY DUTY, HUBBELL MODEL HBL1221W, WHITE COLOR, MOUNTED @ 48" A.F.F. W/ MATCHING FACEPLATE.
- ⊕₃ 20 AMP THREE WAY TOGGLE SWITCH, HEAVY DUTY, HUBBELL MODEL HBL1223W, WHITE COLOR, MOUNTED @ 48" A.F.F. W/ MATCHING FACEPLATE.
- ⊕_D 1000W 120V AC SLIDE DIMMER, HUBBELL MODEL 6453W, WHITE COLOR, MOUNTED @ 48" A.F.F. W/ MATCHING FACEPLATE.
- ▲ VOICE RECEPTACLE, MOUNTED @ 16" A.F.F. HUBBELL MODEL CX141, WITH MATCHING FACEPLATE, MTD. @ 16" A.F.F. UNLESS NOTED, RUN CAT 6 CABLE FROM RECEPTACLE TO COMMUNICATIONS CABINET
- ⊕_{TV} CABLE TV OUTLET BOX MTD. @ 16" A.F.F. UNLESS NOTED, FLUSH MOUNTED 1 GANG WALL BOX, CONTRACTOR TO RUN CO-AX FROM OUTLET TO COMMUNICATIONS CABINET
- ⊕_D COMPUTER DATA OUTLET BOX MTD @ 16" A.F.F. UNLESS NOTED FLUSH MOUNTED 1 GANG WALL BOX, CONTRACTOR TO RUN CAT-5 FROM OUTLET TO COMMUNICATIONS CABINET
- ⊕_{EF} EXHAUST FAN
- LIGHTING FIXTURE, SEE FIXTURE SCHEDULE
- ⊕ JUNCTION BOX LOCATION MOUNTED AS NOTED ON DRAWING, SIZED AS REQUIRED BY EQUIPMENT BEING SERVED.
- ⊕ DISCONNECT SWITCH, SIZE AND TYPE AS NOTED.
- HOME RUN CONDUIT, CIRCUIT NUMBER AS INDICATED ON DRAWINGS, HASHMARKS INDICATE HOT NEUTRAL AND GROUND.
- CONDUIT RUN IN FLOOR OR SLAB.
- CONDUIT RUN IN WALLS OR CEILING.
- ⊕_S COMBINATION PHOTO-ELECTRIC/IONIZATION SMOKE DETECTOR, 120V AC POWERED W/MONITORED BATTERY BACK-UP, SINGLE STATION TANDEM, GENTEX MODEL 9120F.
- ⊕_C COMMUNICATIONS CABINET, CUTLER HAMMER MODEL, CHSWPAK1 RUN (1) CAT6 CABLE IN 1" C. FROM COMMUNICATIONS CABINET TO TELEPHONE BACKBOARD, AND (1) RG59 COAX IN 1" C. TO CABLE TV BACKBOARD. PROVIDE 120V. AC RECEPTACLE IN CABINET UNIT POWER PANEL SEE UNIT PANEL SCHEDULE FOR THIS DRAWING

120/208 PANEL "B"

LOCATION	LOAD (WATTS)	CIRCUIT NUMBER	CIRCUIT NUMBER	LOAD (WATTS)	LOCATION
LTG: ENTRY BEDROOM	980	1	2	960	LTG: BATHROOMS
LTG: MAS. BATHROOM, BAR	1500	3	4	480	LTG: KITCHEN
LTG: DINING, B.R., BALCONY	1500	5	6	1080	REC: BEDROOM, ENTRY
REC: BATH	180	7	8	360	REC: MAS. BATH
REC: MAS. B.R., BALCONY	720	9	10	1260	REC: LIVING/DINING, MASTER B.R.
REC: DISHWASHER	1200	11	12	750	REC: DISPOSAL
REC: KITCHEN	180	13	14	1200	REC: HOOD/MICROWAVE
REC: KITCHEN	360	15	16	1200	REC: REFRIGERATOR
REC: WASHING MACHING	1200	17	18	200	SMOKE DETECTORS
WATER HEATER	4500	19	20	2400	REC: CLOTHES DRYER
COND. UNIT CU-B	2630	23	24	7110	AIR HANDLER AHU-B (11.3 KW HEAT)
	2630	25	26	7110	
REC: DINING BAR	360	27	28	5200	REC: STOVE
REC: JACUZZI	1200	29	30	5200	
		31	32		
		33	34		
		35	36		
		37	38		
		39	40		
		41	42		

TOTAL CONNECTED LOAD: 58970 ALL BRANCH BREAKERS SIZED AS SHOWN

PANEL LOCATION: OWNERS

(AF) INDICATES ARC FAULT INTERRUPTER TYPE BREAKER

LIGHTING FIXTURE SCHEDULE

MARK	TYPE	VOLT	DESIGN WATTS	LAMP	BRAND & CATALOG NO.
A	SURFACE MOUNTED FIXTURE W/GLASS GLOBE	120	150	2-75WA19	LURALINE, MODEL PD 13 CPR B3
B	RECESSED DOWNLIGHT	120	100	1-75WR30	HALO, MODEL H7ICT 429
C	RECESSED DOWNLIGHT W/SHOWER TRIM	120	60	60W A19	HALO, MODEL H7ICT 172PS
D	2 TUBE FLUORESCENT SURFACE MOUNTED	120	80	2-F32T8	METALUX, MODEL 2324
G	2'x2' SURFACE MOUNTED FLUORESCENT	120	80	2FU40T12	METALUX, MODEL 5502E
W	WALL MOUNTED MULTI-LAMP BATH FIXTURE MTD. @ 92" AFF	120	400	4-60W	ANP LIGHTING, MODEL 2124 FINISH TO MATCH PLUMBING FIXTURES
	CEILING FAN W/LIGHT KIT	120	400	3-60W	.MODEL
EF	EXHAUST FAN/LIGHT COMBINATION W/NIGHT LIGHT	120	100	1-100A19	NUTONE, MODEL 8663RP DUCTING BY DIVISION 15, PROVIDE BACKDRAFT DAMPER WITH FAN
W3	WALL MOUNTED MULTI-LAMP BATH FIXTURE MTD. @ 92" AFF	120	1000	10-60W	ANP LIGHTING, MODEL 2160 FINISH TO MATCH PLUMBING FIXTURES
K	WALL MOUNTED UP/DOWN EXTERIOR FIXTURE	120	100W	1-100W QTZ	BEGA, MODEL 6610/538
X	DINING AREA FIXTURE, SUPPLIED AND INSTALLED BY OWNER	120	400W		



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

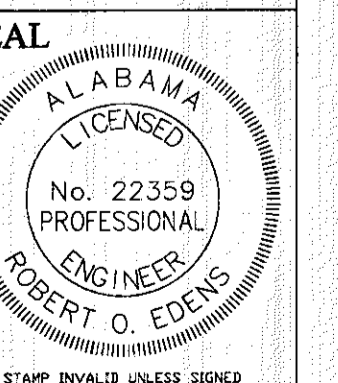
30 N. PALAFOX PENSACOLA, FLORIDA 32501

(850) 432-6011 FAX 435-9001

UNIT B. ELECTRICAL

San Carlos Condominium Gulf Shores, Alabama

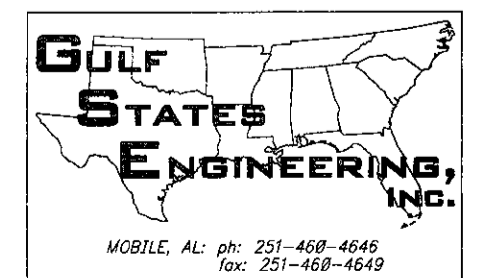
JOB NO.:
CAD: 66
CHECKED: ROE
DATE: 5/21/04
REVISIONS:
0. I.F.C.
1. GENERAL REVISION 6-7-04
2. ADDED GFI BRKR. 6-14-04
3. CITY REVIEW 11-17-04



SHEET

E-21

OF



"Need Not Be Built"



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

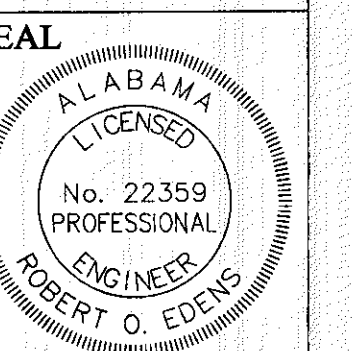
30 N. PALAFOX PENSACOLA, FLORIDA 32501

(850) 432-6011 FAX 435-9001

UNIT C. ELECTRICAL

San Carlos Condominium Gulf Biscayne, Alabama

JOB NO.: CAD: 86 CHECKED: ROE DATE: 5/21/04 REVISIONS: I.F.C. 1. GENERAL REVISION 6-7-04 2. ADDED GFI BRKR. 6-14-04 3. CITY REVIEW 11-17-04



SHEET

E-22

OF

120/208 PANEL "C" NEMA 1 RECESSED MOUNT COPPER BUSS

LOCATION	LOAD (WATTS)	CIRCUIT NUMBER	CIRCUIT NUMBER	LOAD (WATTS)	LOCATION
LTG: ENTRY BEDROOM, BALCONY	1230	1	20A	920	LTG: BATHROOMS
LTG: MAS. BATHROOM, CLOSET	1500	3	20A	900	LTG: LIVING/DINING, B.R., BALCONY
LTG: KITCHEN	880	5	20A	1260	LTG: BATHROOM
REC: BEDROOM	1260	7	20A AF	1260	REC: BEDROOM, ENTRY
REC: BATH	180	9	20A	360	REC: MAS. BATH
REC: MASTER BATH	720	11	20A AF	1080	REC: LIVING, DINING, BEDROOM
REC: BAR DINING	360	13	20A	1200	REC: DISHWASHER
REC: DISPOSAL	750	15	20A	180	REC: KITCHEN
REC: MICROWAVE, HOOD	1200	17	20A	360	REC: KITCHEN
REC: REFRIDGERATOR	1200	19	20A	180	REC: BATH
SMOKE DETECTORS	200	21	20A	1200	REC: WASHING MACHINE
REC: STOVE	5200	23	50A	2400	REC: CLOTHES DRYER
	5200	25			
WATER HEATER	4500	27	60A	7350	AIR HANDLER AHU-C (11.3 KW HEAT)
	4500	29			
CONDENSING UNIT CU-C	3100	31	50A	1200	REC: JACUZZI
	3100	33			
		35			
		37			
		39			
		41			

TOTAL CONNECTED LOAD: 62920 ALL BRANCH BREAKERS SIZED AS SHOWN

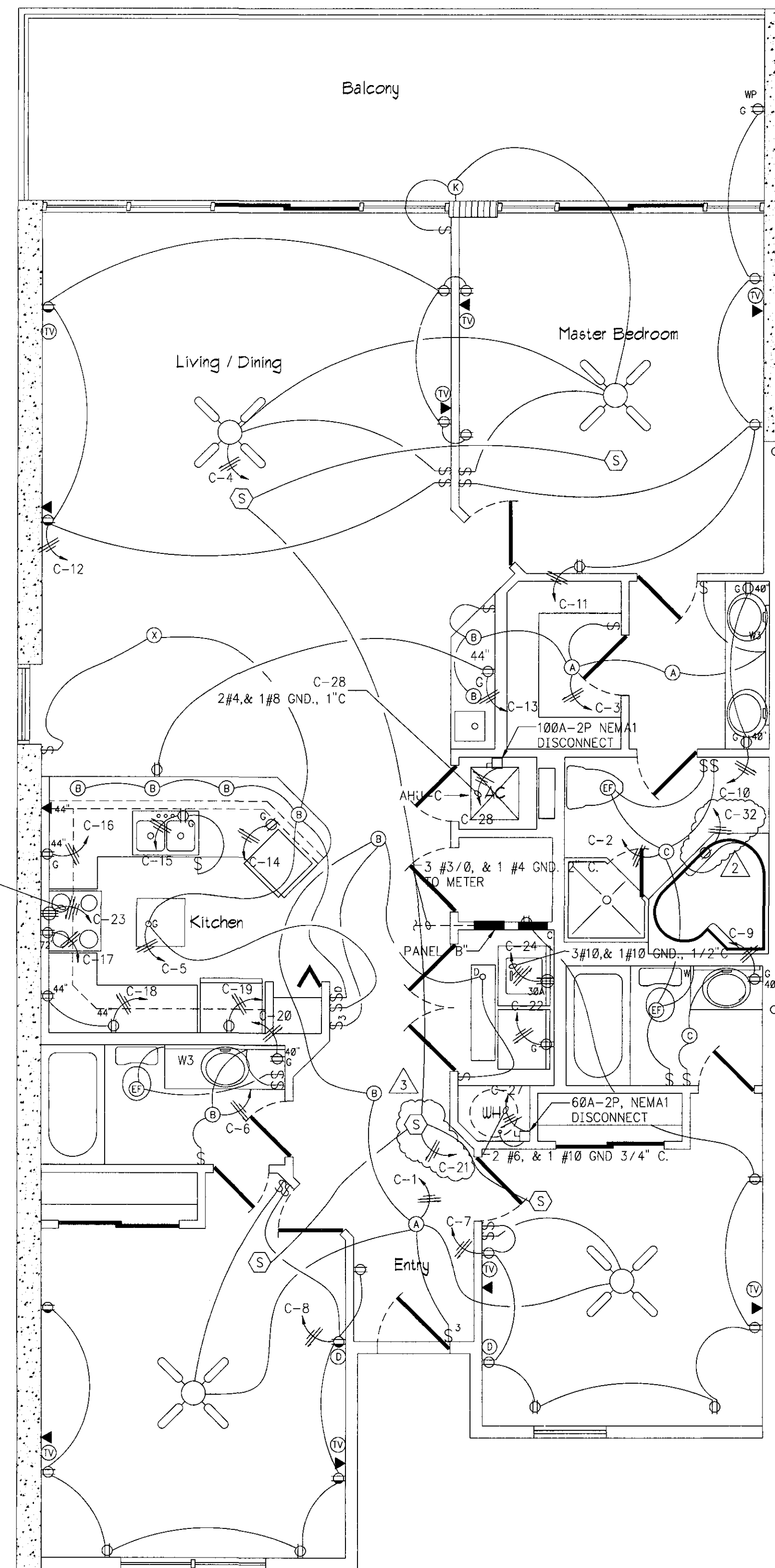
PANEL LOCATION: OWNERS

(AF) INDICATES ARC FAULT INTERRUPTER TYPE BREAKER

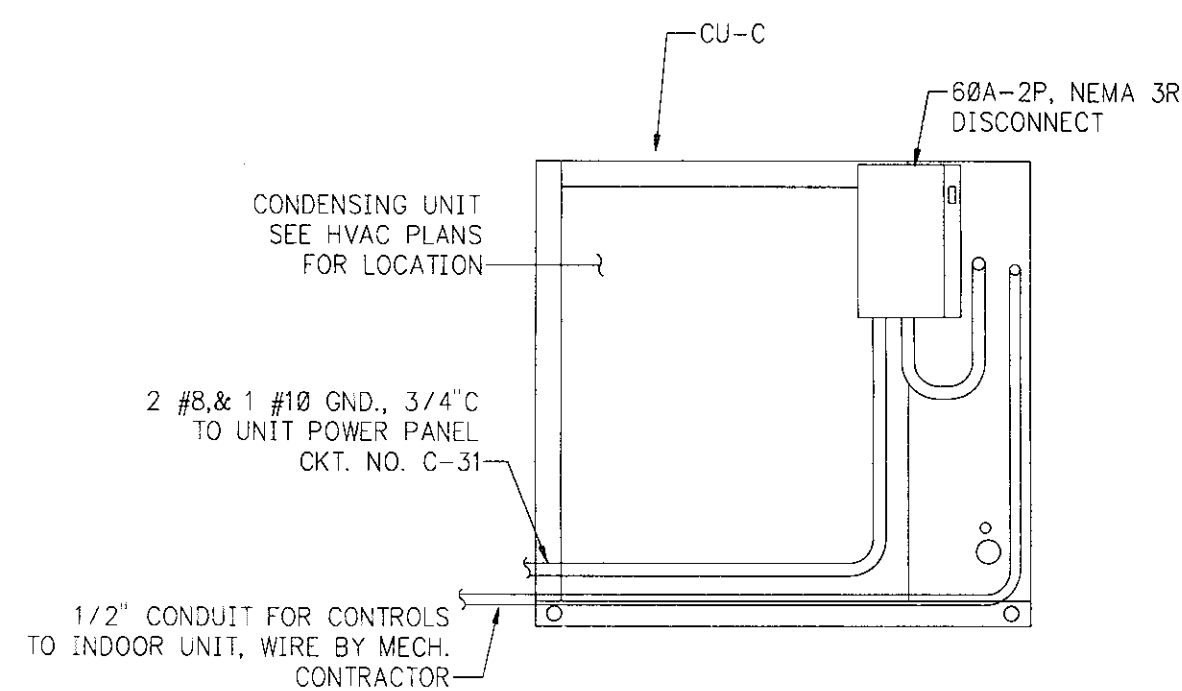
LIGHTING FIXTURE SCHEDULE

MARK	TYPE	VOLT	DESIGN WATTS	LAMP	BRAND & CATALOG NO.
A	SURFACE MOUNTED FIXTURE W/GLASS GLOBE	120	150	2-75WA19	LURALINE, MODEL PD 13 CPR BB
B	RECESSED DOWNLIGHT	120	100	1-75WR30	HALO, MODEL H7ICT 429
C	RECESSED DOWNLIGHT W/SHOWER TRIM	120	60	60W A19	HALO, MODEL H7ICT 172PS
D	2 TUBE FLUORESCENT SURFACE MOUNTED	120	80	2-F32T8	METALUX, MODEL 2324
G	2x2 SURFACE MOUNTED FLUORESCENT	120	80	2FU40T12	METALUX, MODEL 5502E
W	WALL MOUNTED MULTI-LAMP BATH FIXTURE MTD. @ 92" AFF	120	400	4-60W	ANP LIGHTING, MODEL 2124 FINISH TO MATCH PLUMBING FIXTURES
	CEILING FAN W/LIGHT KIT	120	400	3-60W	MODEL
EF	EXHAUST FAN/LIGHT COMBINATION W/NIGHT LIGHT	120	100	1-100A19	MUTONE, MODEL 8663RP DUCTING BY DIVISION 15, PROVIDE BACKDRAFT DAMPER WITH FAN
W3	WALL MOUNTED MULTI-LAMP BATH FIXTURE MTD. @ 92" AFF	120	1000	10-60W	ANP LIGHTING, MODEL 2160 FINISH TO MATCH PLUMBING FIXTURES
K	WALL MOUNTED UP/DOWN EXTERIOR FIXTURE	120	100W	1-100W QTZ	BEGA, MODEL 6610/538
X	DINING AREA FIXTURE, SUPPLIED AND INSTALLED BY OWNER	120	400W		

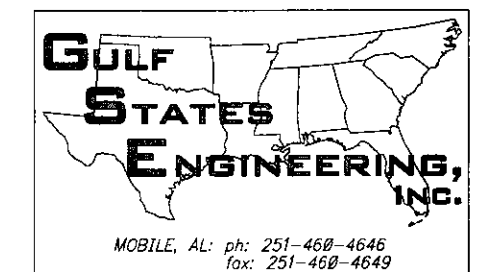
- LEGEND
- ⊕ DUPLICATION RECEPTACLE - 20 AMP, 125V. HEAVY DUTY. HUBBELL MODEL HBL5362W, MTD. @ 16" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
 - ⊕ WP DUPLICATION RECEPTACLE - HUBBELL MODEL GF5362W, WITH GROUND FAULT INTERRUPT, MTD. @ 16" A.F.F. UNLESS NOTED, WITH WEATHER-PROOF CAST ALUMINUM COVER.
 - ⊕ G DUPLICATION RECEPTACLE - HUBBELL MODEL GF5362W, WITH GROUND FAULT INTERRUPT, MTD. @ 16" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
 - ⊕ SWITCHED DUPLICATION RECEPTACLE - 20 AMP, 125V. HEAVY DUTY. HUBBELL MODEL HBL5362W, MTD. @ 16" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
 - 20A 250V RECEPTACLE - MATCH TO PLUG ON SUPPLIED APPLIANCE. MTD. AS REQUIRED FOR EQUIPMENT BEING SERVED, WITH MATCHING FACEPLATE.
 - 30A 250V DRYER RECEPTACLE - MATCH TO PLUG ON SUPPLIED APPLIANCE. MTD. @ 12" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
 - 50A 250V STOVE RECEPTACLE - MATCH TO PLUG ON SUPPLIED APPLIANCE. MTD. @ 2" A.F.F.
 - 20A-1P TOGGLE SWITCH, HEAVY DUTY, HUBBELL MODEL HBL1221W. WHITE COLOR, MOUNTED @ 48" A.F.F. W/ MATCHING FACEPLATE.
 - 20 AMP THREE WAY TOGGLE SWITCH, HEAVY DUTY, HUBBELL MODEL HBL1223W. WHITE COLOR, MOUNTED @ 48" A.F.F. W/ MATCHING FACEPLATE.
 - 1200W 120V AC SLIDE DIMMER, HUBBELL MODEL 6453W. WHITE COLOR, MOUNTED @ 48" A.F.F. W/ MATCHING FACEPLATE.
 - VOICE RECEPTACLE, MOUNTED @ 16" A.F.F. HUBBELL MODEL CX141. WITH MATCHING FACEPLATE. MTD. @ 16" A.F.F. UNLESS NOTED. RUN CAT 5 CABLE FROM RECEPTACLE TO COMMUNICATIONS CABINET
 - CABLE TV OUTLET BOX MTD. @ 16" A.F.F. UNLESS NOTED. FLUSH MOUNTED 1 GANG WALL BOX. CONTRACTOR TO RUN CO-AX FROM OUTLET TO COMMUNICATIONS CABINET
 - COMPUTER DATA OUTLET BOX MTD @ 16" A.F.F. UNLESS NOTED. FLUSH MOUNTED 1 GANG WALL BOX. CONTRACTOR TO RUN CAT-5 FROM OUTLET TO COMMUNICATIONS CABINET
 - EXHAUST FAN
 - LIGHTING FIXTURE, SEE FIXTURE SCHEDULE
 - JUNCTION BOX LOCATION MOUNTED AS NOTED ON DRAWING, SIZED AS REQUIRED BY EQUIPMENT BEING SERVED.
 - DISCONNECT SWITCH, SIZE AND TYPE AS NOTED.
 - HOME RUN CONDUIT, CIRCUIT NUMBER AS INDICATED ON DRAWINGS. HASHMARKS INDICATE HOT NEUTRAL AND GROUND.
 - CONDUIT RUN IN FLOOR OR SLAB.
 - CONDUIT RUN IN WALLS OR CEILING.
 - COMBINATION PHOTO-ELECTRIC/IONIZATION SMOKE DETECTOR, 120V AC POWERED W/ MONITORED BATTERY BACK-UP. SINGLE STATION TANDEM, GENTEX MODEL 9120F.
 - COMMUNICATIONS CABINET, CUTLER HAMMER MODEL, CHSWPAK1 RUN (1) CAT6 CABLE IN 1" C. FROM COMMUNICATIONS CABINET TO TELEPHONE BACKBOARD, AND (1) RG59 COAX IN 1" C. TO CABLE TV BACKBOARD. PROVIDE 120V. AC RECEPTACLE IN CABINET
 - UNIT POWER PANEL SEE UNIT PANEL SCHEDULE FOR THIS DRAWING

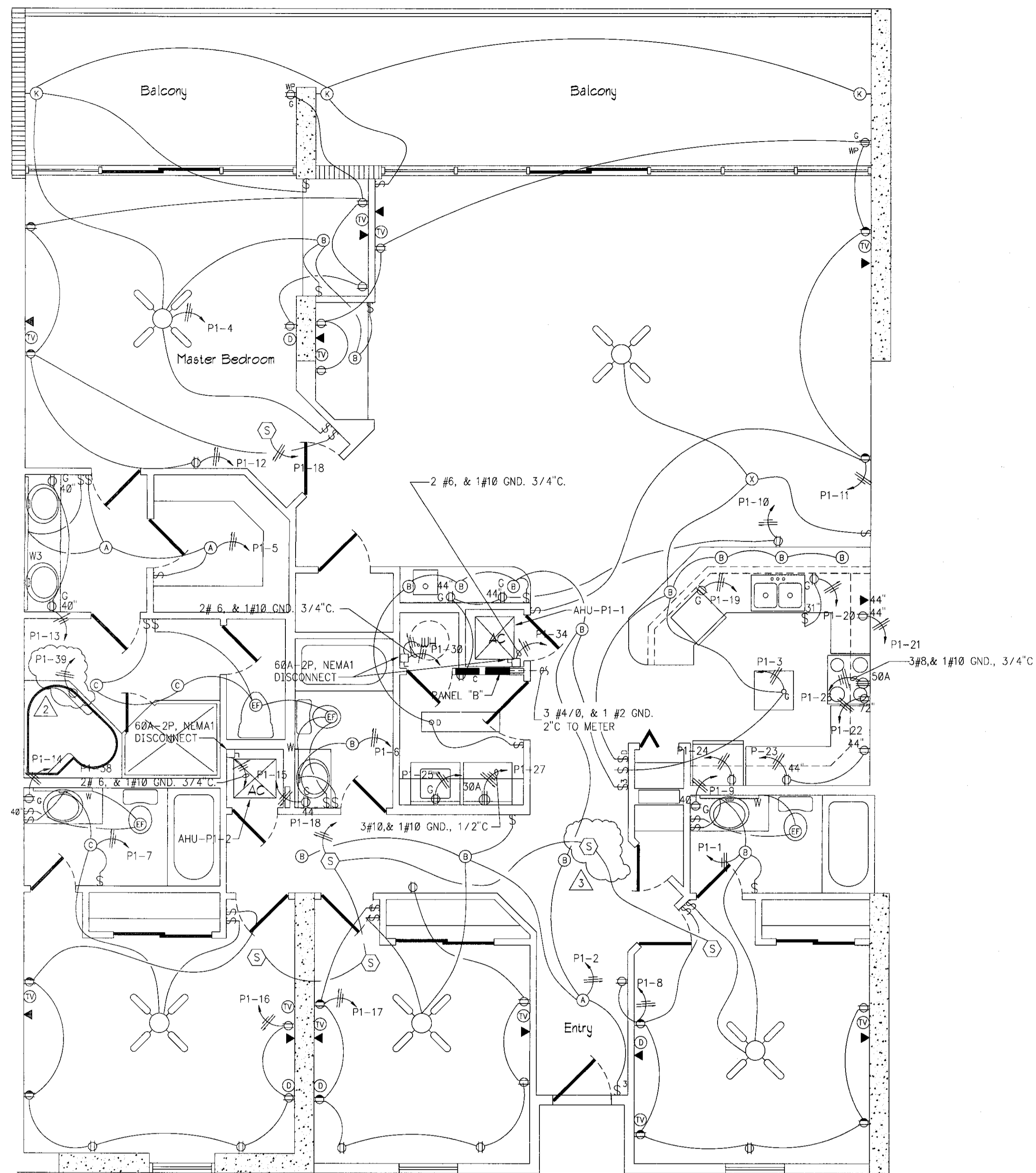


Unit "C" Electrical Plan 1/4" = 1'-0" 1530 sq. ft.

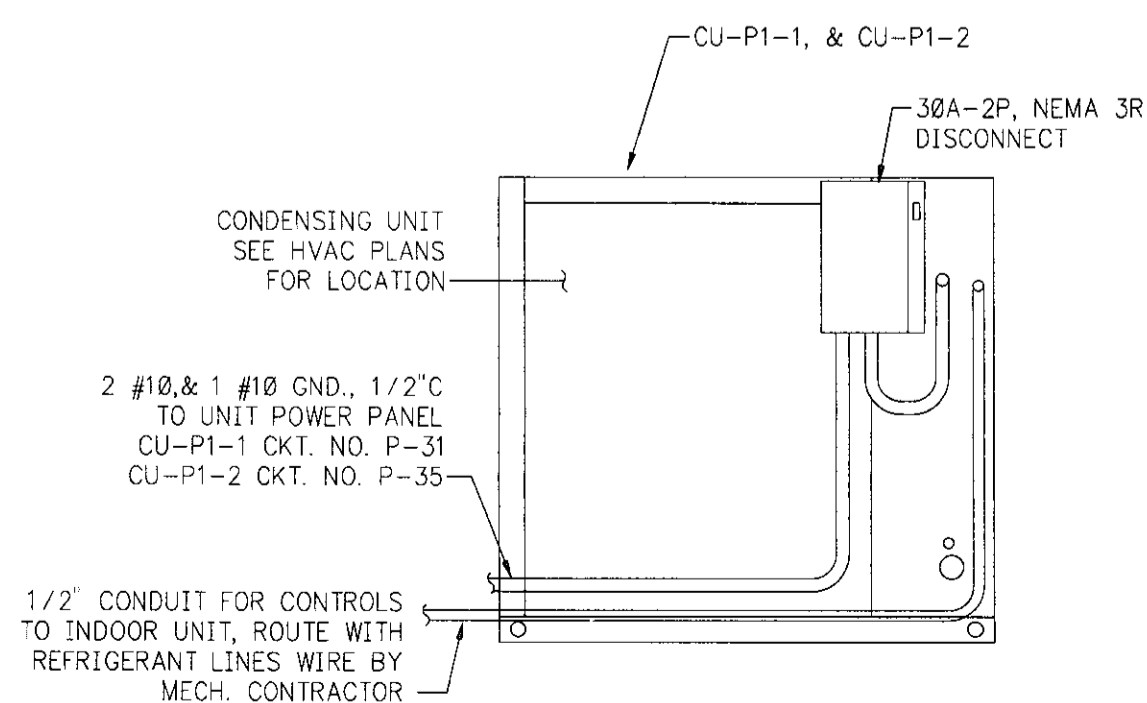


Typical Unit "C" Condensing Unit Wiring none





Unit "P-1" Electrical Plan
1/4" = 1'-0"



Typical Unit "P-1" Condensing CU-P1-1 & CU-P1-2 Units Wiring none

LEGEND

- ⊕ DUPLEX RECEPTACLE - 20 AMP, 125V. HEAVY DUTY, HUBBELL MODEL HBL5362W, MTD. @ 16" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
- ⊕_{WP} DUPLEX RECEPTACLE - HUBBELL MODEL GF5362W, WITH GROUND FAULT INTERRUPT, MTD. @ 16" A.F.F. UNLESS NOTED, WITH WEATHER-PROOF CAST ALUMINUM COVER.
- ⊕_G DUPLEX RECEPTACLE - HUBBELL MODEL GF5362W, WITH GROUND FAULT INTERRUPT, MTD. @ 16" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
- ⊕_S SWITCHED DUPLEX RECEPTACLE - 20 AMP, 125V. HEAVY DUTY, HUBBELL MODEL HBL5362W, MTD. @ 16" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
- 20A 20A 250V RECEPTACLE - MATCH TO PLUG ON SUPPLIED APPLIANCE, MTD. AS REQUIRED FOR EQUIPMENT BEING SERVED, WITH MATCHING FACEPLATE.
- 30A 30A 250V DRYER RECEPTACLE - MATCH TO PLUG ON SUPPLIED APPLIANCE, MTD. @ 12" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
- 50A 50A 250V STOVE RECEPTACLE - MATCH TO PLUG ON SUPPLIED APPLIANCE, MTD. @ 2" A.F.F.
- 20A-1P TOGGLE SWITCH, HEAVY DUTY, HUBBELL MODEL HBL1221W, WHITE COLOR, MOUNTED @ 48" A.F.F. W/ MATCHING FACEPLATE.
- 20 AMP THREE WAY TOGGLE SWITCH, HEAVY DUTY, HUBBELL MODEL HBL1223W, WHITE COLOR, MOUNTED @ 48" A.F.F. W/ MATCHING FACEPLATE.
- 1000W 120V AC SLIDE DIMMER, HUBBELL MODEL 6453W, WHITE COLOR, MOUNTED @ 48" A.F.F. W/ MATCHING FACEPLATE.
- VOICE RECEPTACLE, MOUNTED @ 16" A.F.F. HUBBELL MODEL CX141, WITH MATCHING FACEPLATE, MTD. @ 16" A.F.F. UNLESS NOTED. RUN CAT 6 CABLE FROM RECEPTACLE TO COMMUNICATIONS CABINET
- ⊕_{TV} CABLE TV OUTLET BOX MTD. @ 16" A.F.F. UNLESS NOTED. FLUSH MOUNTED 1 GANG WALL BOX. CONTRACTOR TO RUN CO-AX FROM OUTLET TO COMMUNICATIONS CABINET
- ⊕_D COMPUTER DATA OUTLET BOX MTD. @ 16" A.F.F. UNLESS NOTED. FLUSH MOUNTED 1 GANG WALL BOX. CONTRACTOR TO RUN CAT-5 FROM OUTLET TO COMMUNICATIONS CABINET
- ⊕_{EF} EXHAUST FAN
- LIGHTING FIXTURE, SEE FIXTURE SCHEDULE
- ⊕ JUNCTION BOX LOCATION MOUNTED AS NOTED ON DRAWING, SIZED AS REQUIRED BY EQUIPMENT BEING SERVED.
- ⊕ DISCONNECT SWITCH, SIZE AND TYPE AS NOTED.
- ⊕ HOME RUN CONDUIT, CIRCUIT NUMBER AS INDICATED ON DRAWINGS, HASHMARKS INDICATE HOT NEUTRAL AND GROUND.
- CONDUIT RUN IN FLOOR OR SLAB.
- CONDUIT RUN IN WALLS OR CEILING.
- ⊕_S COMBINATION PHOTO-ELECTRIC/IONIZATION SMOKE DETECTOR, 120V AC POWERED W/MONITORED BATTERY BACK-UP. SINGLE STATION TANDEM, GENTEX MODEL 9120R.
- ⊕_{CC} COMMUNICATIONS CABINET, CUTLER HAMMER MODEL, CHSWPAK1 RUN (1) CAT6 CABLE IN 1" C. FROM COMMUNICATIONS CABINET TO TELEPHONE BACKBOARD, AND (1) RG59 COAX IN 1" C. TO CABLE TV BACKBOARD. PROVIDE 120V. AC RECEPTACLE IN CABINET
- UNIT POWER PANEL SEE UNIT PANEL SCHEDULE FOR THIS DRAWING

120/208 PANEL "P1" NEMA 1 RECESSED MOUNT COPPER BUSS

LOCATION	LOAD (WATTS)	CIRCUIT NUMBER	CIRCUIT NUMBER	LOAD (WATTS)	LOCATION	
LTG: BEDROOM, BATH	1100	1	15A	2	1330	LTG: ENTRY, LAUNDRY, BAR
LTG: KITCHEN, LIVING/DINING	1280	3	20A	4	900	LTG: MAS., B.R., BALCONY
LTG: MAS. BATH	1300	5	20A	6	980	LTG: BATHS
LTG: BATH, BEDROOM	1060	7	15A	8	1080	REC: BEDROOM
REC: BATH	180	9	20A	10	720	REC: DINING, BAR
REC: DINING/LIVING	1080	11	20A	12	1260	REC: MASTER BEDROOM
REC: MASTER BATH	360	13	20A	14	180	REC: BATHROOM
REC: BATHROOM	180	15	20A	16	900	REC: BEDROOM
REC: BEDROOM	1260	17	20A	18	200	REC: SMOKE DETECTORS
REC: BATH, BEDROOM	1200	19	20A	20	750	REC: DISPOSAL
REC: KITCHEN	180	21	20A	22	1200	REC: HOOD/MICROWAVE
REC: KITCHEN	360	23	20A	24	1200	REC: REFRIGERATOR
REC: WASHING MACHINE	1200	25	20A	26	5200	REC: STOVE
REC: CLOTHES DRYER	2400	27	30A	28	5200	↓
CONDENSING UNIT CU-P1-1	2400	29	30A	30	4500	WATER HEATER
CONDENSING UNIT CU-P1-2	1800	31	30A	32	4500	↓
CONDENSING UNIT CU-P1-2	1800	33	30A	34	4920	AIR HANDLER AHU-P1-1 (7.5 KW)
CONDENSING UNIT CU-P1-2	1800	35	30A	36	4920	↓
REC: JACUZZI	1200	39	20A	38	4920	AIR HANDLER AHU-P1-2 (7.5 KW)
		41	20A	40	4920	↓
				42		

TOTAL CONNECTED LOAD: 71040 ALL BRANCH BREAKERS SIZED AS SHOWN
PANEL LOCATION: OWNERS
(AF) INDICATES ARC FAULT INTERRUPTER TYPE BREAKER

LIGHTING FIXTURE SCHEDULE

MARK	TYPE	VOLT	DESIGN WATTS	LAMP	BRAND & CATALOG NO.
A	SURFACE MOUNTED FIXTURE W/GLASS GLOBE	120	150	2-75W A19	LURALINE, MODEL PD 13 CPR BB
B	RECESSED DOWNLIGHT	120	100	1-75WR30	HALO, MODEL H7ICT 429
C	RECESSED DOWNLIGHT W/SHOWER TRIM	120	60	60W A19	HALO, MODEL H7ICT 172PS
D	2 TUBE FLUORESCENT SURFACE MOUNTED	120	80	2-F32T8	METALUX, MODEL 2324
G	2'x2' SURFACE MOUNTED FLUORESCENT	120	80	2FU40T12	METALUX, MODEL 5502E
W	WALL MOUNTED MULTI-LAMP BATH FIXTURE	120	400	4-60W	ANP LIGHTING, MODEL 2124 FINISH TO MATCH PLUMBING FIXTURES
	CEILING FAN W/LIGHT KIT	120	400	3-60W	MODEL
EF	EXHAUST FAN/LIGHT COMBINATION W/NIGHT LIGHT	120	100	1-100A19	NUTONE, MODEL 8663RP DUCTING BY DIVISION 15, PROVIDE BACKDRAFT DAMPER WITH FAN
W3	WALL MOUNTED MULTI-LAMP BATH FIXTURE MTD. @ 92" AFF	120	1000	10-60W	ANP LIGHTING, MODEL 2160 FINISH TO MATCH PLUMBING FIXTURES
K	WALL MOUNTED UP/DOWN EXTERIOR FIXTURE	120	100W	1-100W Q12	BECA, MODEL 6610/538
X	DINING AREA FIXTURE, SUPPLIED AND INSTALLED BY OWNER	120	400W		



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

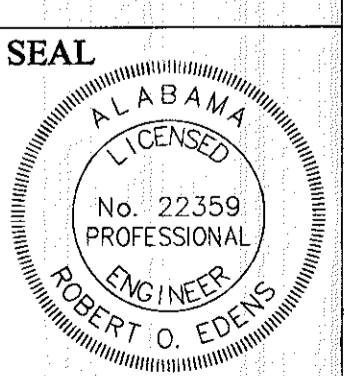
30 N. PALAFOX PENSACOLA, FLORIDA 32501

(850) 432-6011 FAX 435-9001

UNIT D1 ELECTRICAL

San Carlos Condominium
Gulf Shores, Alabama

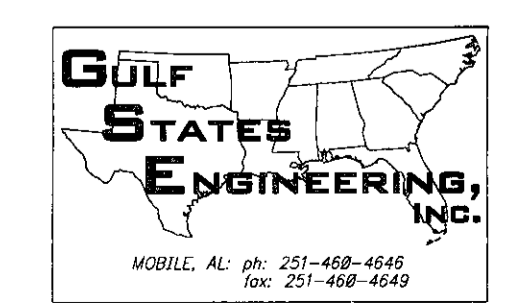
JOB NO.:
CAD: SS
CHECKED: ROE
DATE: 5/21/04
REVISIONS:
0. I.F.C.
1. GENERAL REVISION 6-7-04
2. ADDED GFI BRKR. 6-14-04
3. CITY REVIEW 11-17-04



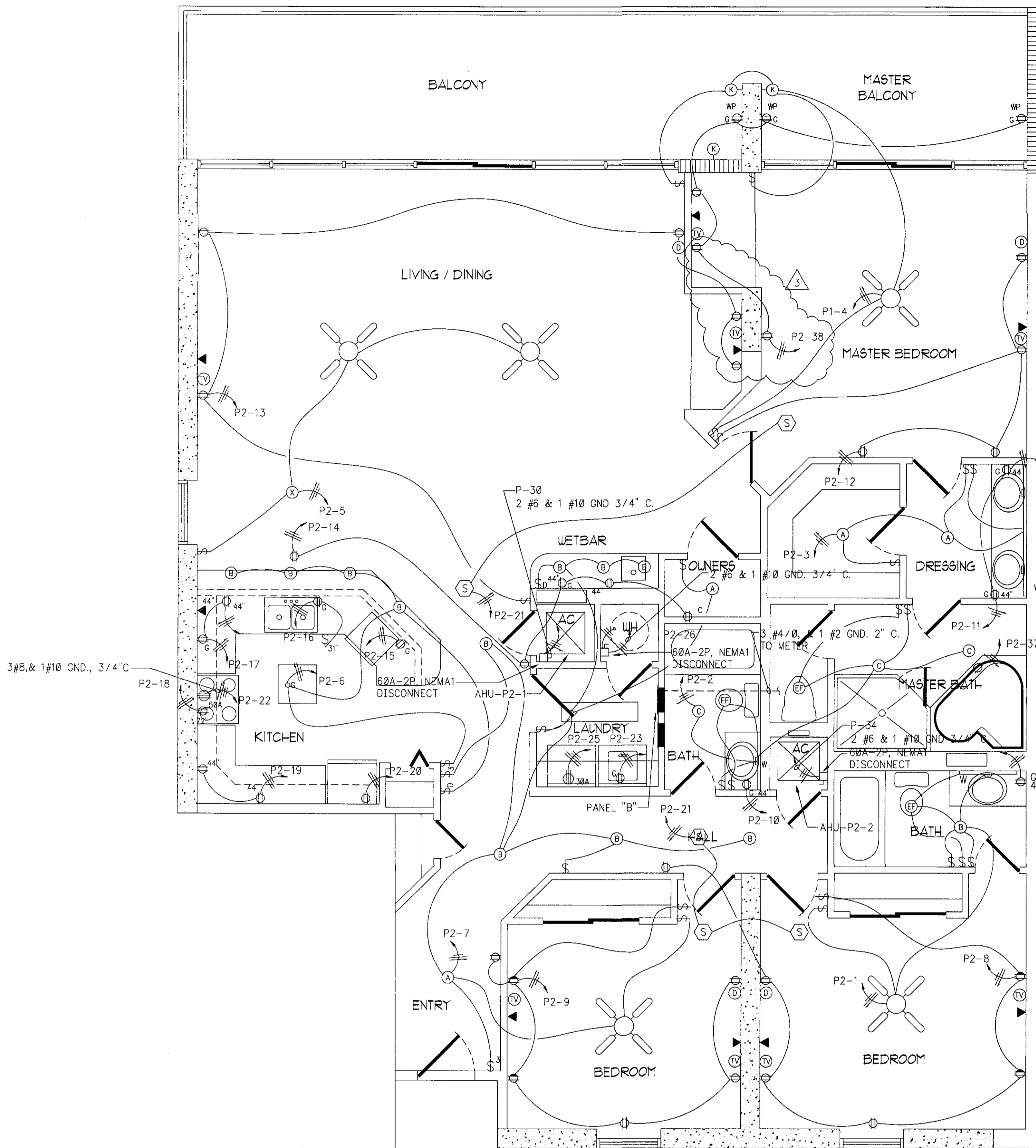
SHEET

E-23

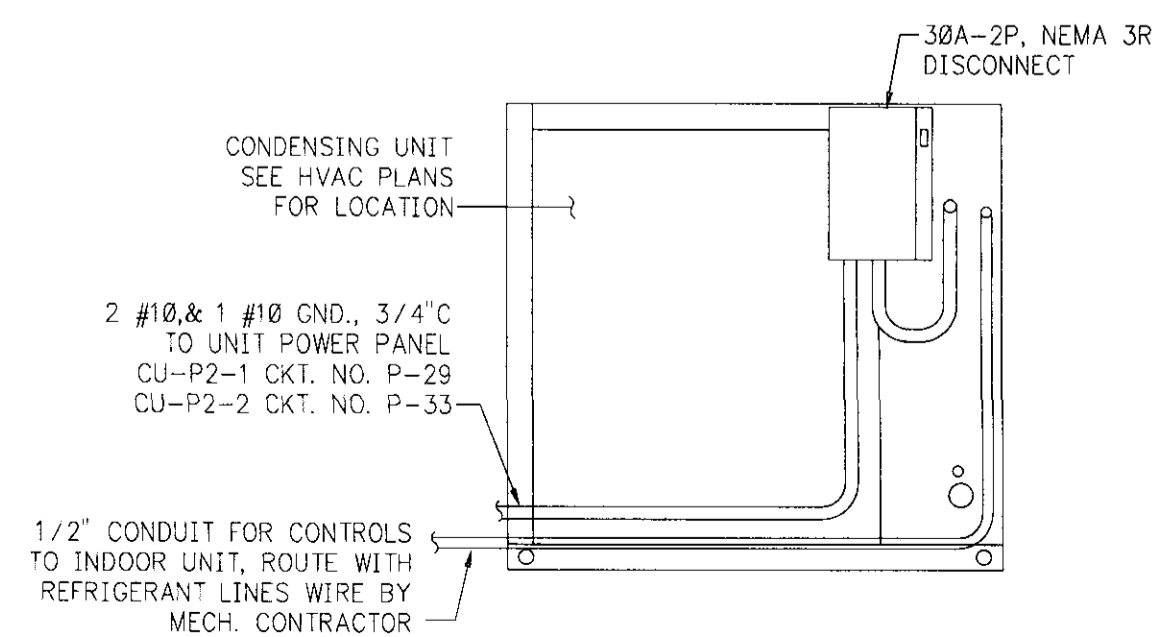
OR



"Need Not Be Built"



Unit "P-2" Electrical Plan
 1/4" = 1'-0"
 2150 sq. ft.



Typical Unit "P-2" Condensing CU-P2-1 & CU-P2-2 Units Wiring Note

LEGEND

- ⊕ DUPLEX RECEPTACLE - 20 AMP, 125V. HEAVY DUTY. HUBBELL MODEL HBL5362W, MTD. @ 16" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
- ⊕_{WP} DUPLEX RECEPTACLE - HUBBELL MODEL GF5362W, WITH GROUND FAULT INTERRUPT, MTD. @ 16" A.F.F. UNLESS NOTED, WITH WEATHER-PROOF CAST ALUMINUM COVER.
- ⊕_G DUPLEX RECEPTACLE - HUBBELL MODEL GF5362W, WITH GROUND FAULT INTERRUPT, MTD. @ 16" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
- ⊕_S SWITCHED DUPLEX RECEPTACLE - 20 AMP, 125V. HEAVY DUTY. HUBBELL MODEL HBL5362W, MTD. @ 16" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
- 20A 250V RECEPTACLE - MATCH TO PLUG ON SUPPLIED APPLIANCE. MTD. AS REQUIRED FOR EQUIPMENT BEING SERVED, WITH MATCHING FACEPLATE.
- 30A 250V DRYER RECEPTACLE - MATCH TO PLUG ON SUPPLIED APPLIANCE. MTD. @ 12" A.F.F. UNLESS NOTED, WITH MATCHING FACEPLATE.
- 50A 250V STOVE RECEPTACLE - MATCH TO PLUG ON SUPPLIED APPLIANCE. MTD. @ 2" A.F.F.
- 20A-1P TOGGLE SWITCH, HEAVY DUTY, HUBBELL MODEL HBL1221W, WHITE COLOR, MOUNTED @ 48" A.F.F. W/ MATCHING FACEPLATE.
- 20 AMP THREE WAY TOGGLE SWITCH, HEAVY DUTY, HUBBELL MODEL HBL1223W, WHITE COLOR, MOUNTED @ 48" A.F.F. W/ MATCHING FACEPLATE.
- 1000W 120V AC SLIDE DIMMER, HUBBELL MODEL 6453W, WHITE COLOR, MOUNTED @ 48" A.F.F. W/ MATCHING FACEPLATE.
- ▲ VOICE RECEPTACLE, MOUNTED @ 16" A.F.F. HUBBELL MODEL CX141, WITH MATCHING FACEPLATE. MTD. @ 16" A.F.F. UNLESS NOTED, RUN CAT 6 CABLE FROM RECEPTACLE TO COMMUNICATIONS CABINET
- ⊕ CABLE TV OUTLET BOX MTD. @ 16" A.F.F. UNLESS NOTED, FLUSH MOUNTED 1 GANG WALL BOX. CONTRACTOR TO RUN CO-AX FROM OUTLET TO COMMUNICATIONS CABINET
- ⊕ COMPUTER DATA OUTLET BOX MTD. @ 16" A.F.F. UNLESS NOTED, FLUSH MOUNTED 1 GANG WALL BOX. CONTRACTOR TO RUN CAT-5 FROM OUTLET TO COMMUNICATIONS CABINET
- ⊕ EXHAUST FAN
- LIGHTING FIXTURE, SEE FIXTURE SCHEDULE
- ⊕ JUNCTION BOX LOCATION MOUNTED AS NOTED ON DRAWING, SIZED AS REQUIRED BY EQUIPMENT BEING SERVED.
- ⊕ DISCONNECT SWITCH, SIZE AND TYPE AS NOTED.
- HOME RUN CONDUIT, CIRCUIT NUMBER AS INDICATED ON DRAWINGS, HASHMARKS INDICATE HOT NEUTRAL AND GROUND.
- CONDUIT RUN IN FLOOR OR SLAB.
- CONDUIT RUN IN WALLS OR CEILING.
- ⊕ COMBINATION PHOTO-ELECTRIC/IONIZATION SMOKE DETECTOR, 120V AC POWERED W/MONITORED BATTERY BACK-UP, SINGLE STATION TANDEM, GENTEX MODEL 9120F.
- ⊕ COMMUNICATIONS CABINET, CUTLER HAMMER MODEL, CHSWPK1 RUN (1) CAT6 CABLE IN 1" C. FROM COMMUNICATIONS CABINET TO TELEPHONE BACKBOARD, AND (1) RG59 COAX IN 1" C. TO CABLE TV BACKBOARD. PROVIDE 120V. AC RECEPTACLE IN CABINET
- UNIT POWER PANEL SEE UNIT PANEL SCHEDULE FOR THIS DRAWING

120/208 PANEL "P2"
 CUTLER HAMMER, TYPE "CH"
 120/208V VOLT, 1 PHASE, 3 WIRE, 60HZ, 10,000 AIC
 NEMA 1 RECESSED MOUNT

LOCATION	LOAD (WATTS)	CIRCUIT NUMBER	CIRCUIT	LOAD (WATTS)	LOCATION
LTG: BEDROOM, BATH	1100	1	15A	980	LTG: ENTRY, LAUNDRY, BAR
LTG: MAS. BATH	1300	3	20A	700	LTG: MAS. B.R., BALCONY
LTG: LIVING/DINING	1200	5	20A	400	LTG: KITCHEN
LTG: ENTRY, BEDROOM, LAUNDRY	1330	7	20A	1000	REC: BEDROOM, CORR.
REC: BEDROOM, ENTRY	1000	9	20A	180	REC: BATH
REC: MASTER BATH	360	11	20A	720	REC: MASTER BEDROOM, BALCONY
REC: LIVING/BALCONY	1260	13	20A	900	REC: DINING, BAR
REC: DISHWASHER	1200	15	20A	750	REC: DISPOSAL
REC: KITCHEN	180	17	20A	1200	REC: HOOD/MICROWAVE
REC: KITCHEN	360	19	20A	1200	REC: REFRIGERATOR
SMOKE DETECTORS	200	21	20A	5200	REC: STOVE
REC: WASHING MACHINE	1200	23	20A	5200	
REC: CLOTHES DRYER	2400	25	30A	4500	WATER HEATER
	2400	27	30A	4500	
CONDENSING UNIT CU-P2-1	1800	29	30A	4920	AIR HANDLER AHU-P2-1 (7.5 KW)
	1800	31	30A	4920	
CONDENSING UNIT CU-P2-2	1520	33	30A	4920	AIR HANDLER AHU-P2-1 (7.5 KW)
	1520	35	30A	4920	
REC: JACUZZI	1200	37	20A	1080	RECEPTACLES: BALCONY/MAS.B.R.
		39	20A		
		41	20A		
TOTAL CONNECTED LOAD: 70040			ALL BRANCH BREAKERS SIZED AS SHOWN		

PANEL LOCATION: OWNERS
 (AF) INDICATES ARC FAULT INTERRUPTER TYPE BREAKER

LIGHTING FIXTURE SCHEDULE

MARK	TYPE	VOLT	DESIGN WATTS	LAMP	BRAND & CATALOG NO.
A	SURFACE MOUNTED FIXTURE W/GLASS GLOBE	120	150	2-75W/19	LURALINE, MODEL PD 13 CPR 5B
B	RECESSED DOWNLIGHT	120	100	1-75WR30	HALO, MODEL H71CT 429
C	RECESSED DOWNLIGHT W/SHOWER TRIM	120	60	60W A19	HALO, MODEL H71CT 172PS
D	2 TUBE FLUORESCENT SURFACE MOUNTED	120	80	2-F32T8	METALUX, MODEL 2324
G	2'x2' SURFACE MOUNTED FLUORESCENT	120	80	2FU40T12	METALUX, MODEL 5502E
W	WALL MOUNTED MULTI-LAMP BATH FIXTURE MTD. @ 92" AFF	120	400	4-60W	ANP LIGHTING, MODEL 2124 FINISH TO MATCH PLUMBING FIXTURES
⊕	CEILING FAN W/LIGHT KIT	120	400	3-60W	MODEL
EF	EXHAUST FAN/LIGHT COMBINATION W/NIGHT LIGHT	120	100	1-100A19	NUTONE, MODEL 8663RP DUCTING BY DIVISION 15, PROVIDE BACKDRAFT DAMPER WITH FAN
W3	WALL MOUNTED MULTI-LAMP BATH FIXTURE MTD. @ 92" AFF	120	1000	10-60W	ANP LIGHTING, MODEL 2169 FINISH TO MATCH PLUMBING FIXTURES
K	WALL MOUNTED UP/DOWN EXTERIOR FIXTURE	120	100W	1-100W QTZ	BEGA, MODEL 6610/538
X	DINING AREA FIXTURE, SUPPLIED AND INSTALLED BY OWNER	120	400W		



HENRY NORRIS & ASSOC., INC.

ARCHITECTURE & ENVIRONMENTAL DESIGN

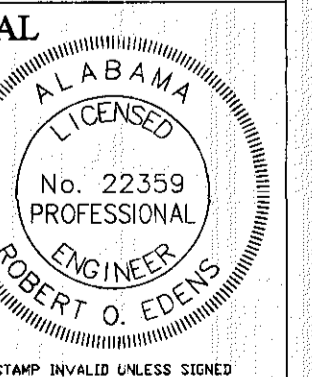
30 N. PALAFOX PENSACOLA, FLORIDA 32501

(850) 432-6011 FAX 435-9001

UNIT P2 ELECTRICAL

San Carlos Condominium Gulf Shores, Alabama

JOB NO.:
 CAD: 66
 CHECKED: ROE
 DATE: 5/21/04
 REVISIONS:
 0. I.F.C.
 1. GENERAL REVISION 6-7-04
 2. ADDED GFI BRKR. 6-14-04
 3. CODE REVIEW. 10-19-04

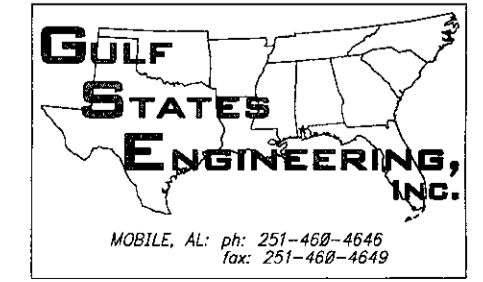


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E-24

OF

"Need Not Be Built"





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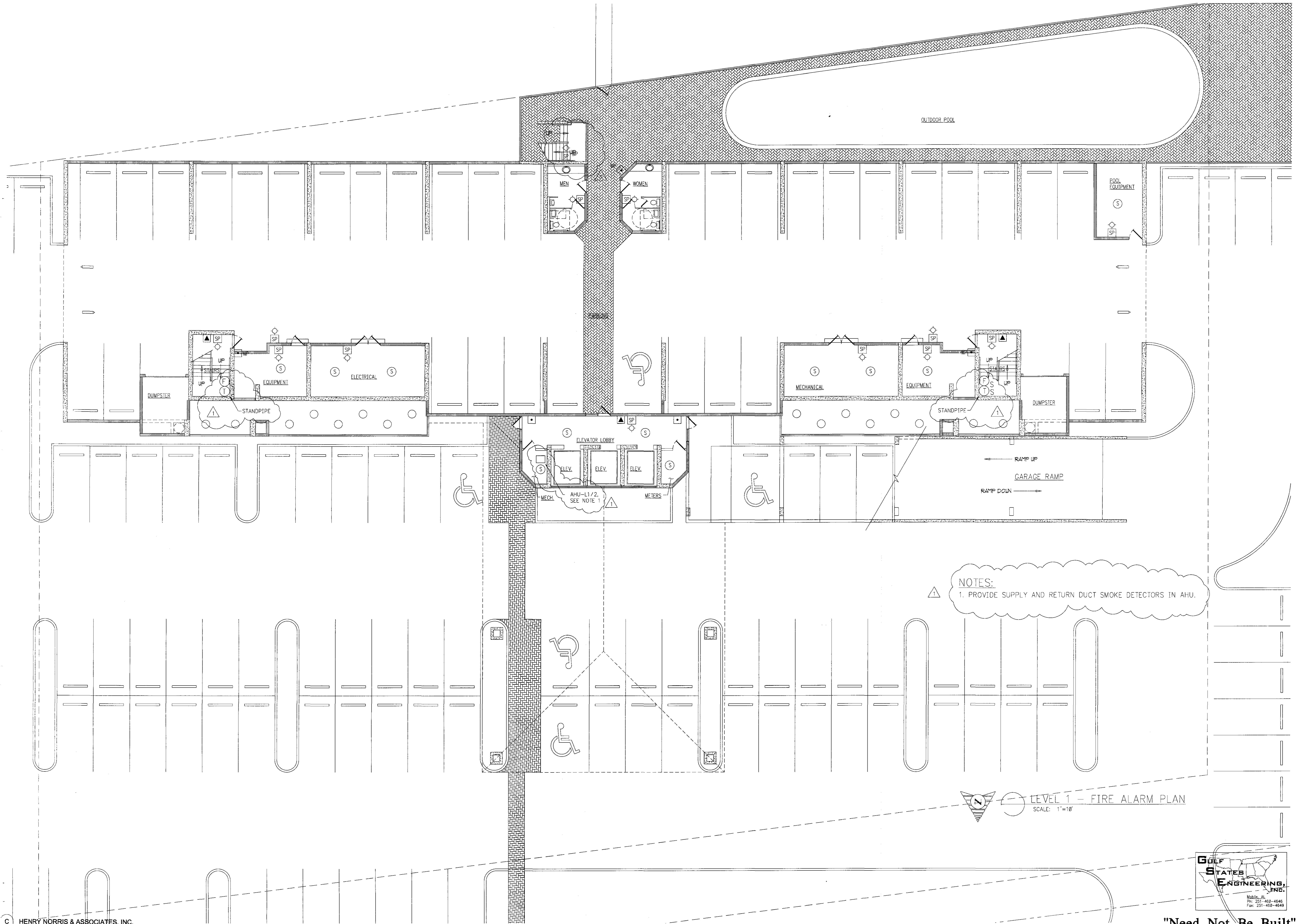
30 N. PALAFOX
PENSACOLA, FLORIDA 32501

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FAX 435-9001

LEVEL 1
FIRE ALARM

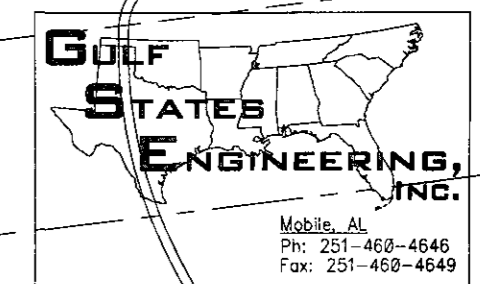
San Carlos Condominium

Gulf Shores, Alabama



NOTES:
1. PROVIDE SUPPLY AND RETURN DUCT SMOKE DETECTORS IN AHU.

LEVEL 1 - FIRE ALARM PLAN
SCALE: 1"=10'



JOB NO.:
CAD: SS
CHECKED: ROE
DATE: 5/21/04
REVISIONS:
0. I.F.C.
1. CODE REVIEW.
10-19-04

SEAL
ALABAMA LICENSED
No. 22359
PROFESSIONAL ENGINEER
ROBERT O. EDENS
STAMP INVALID UNLESS ISSUED
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HENRY NORRIS & ASSOC., INC.

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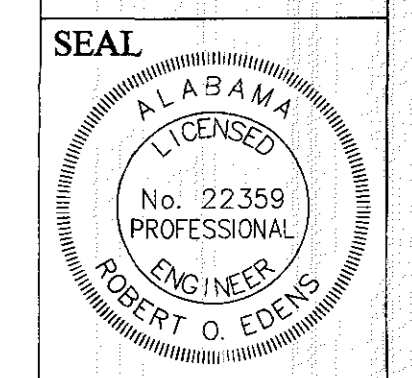
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PENSACOLA,
FLORIDA 32501

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LEVEL 2
FIRE ALARM

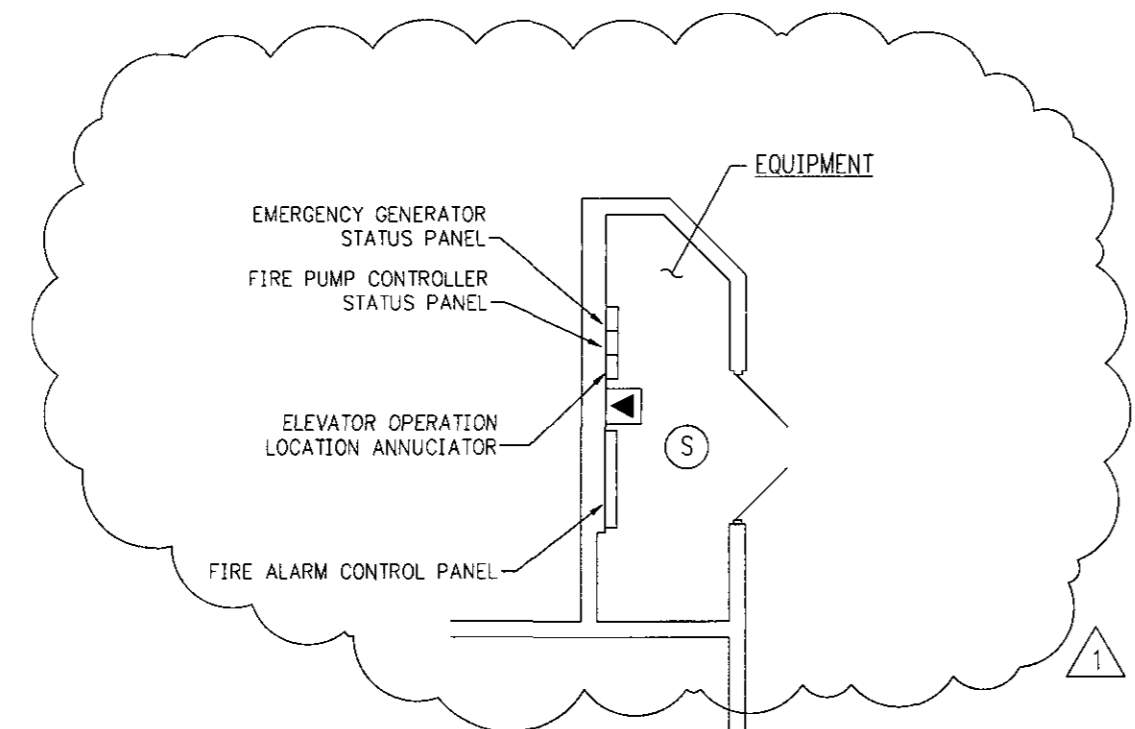
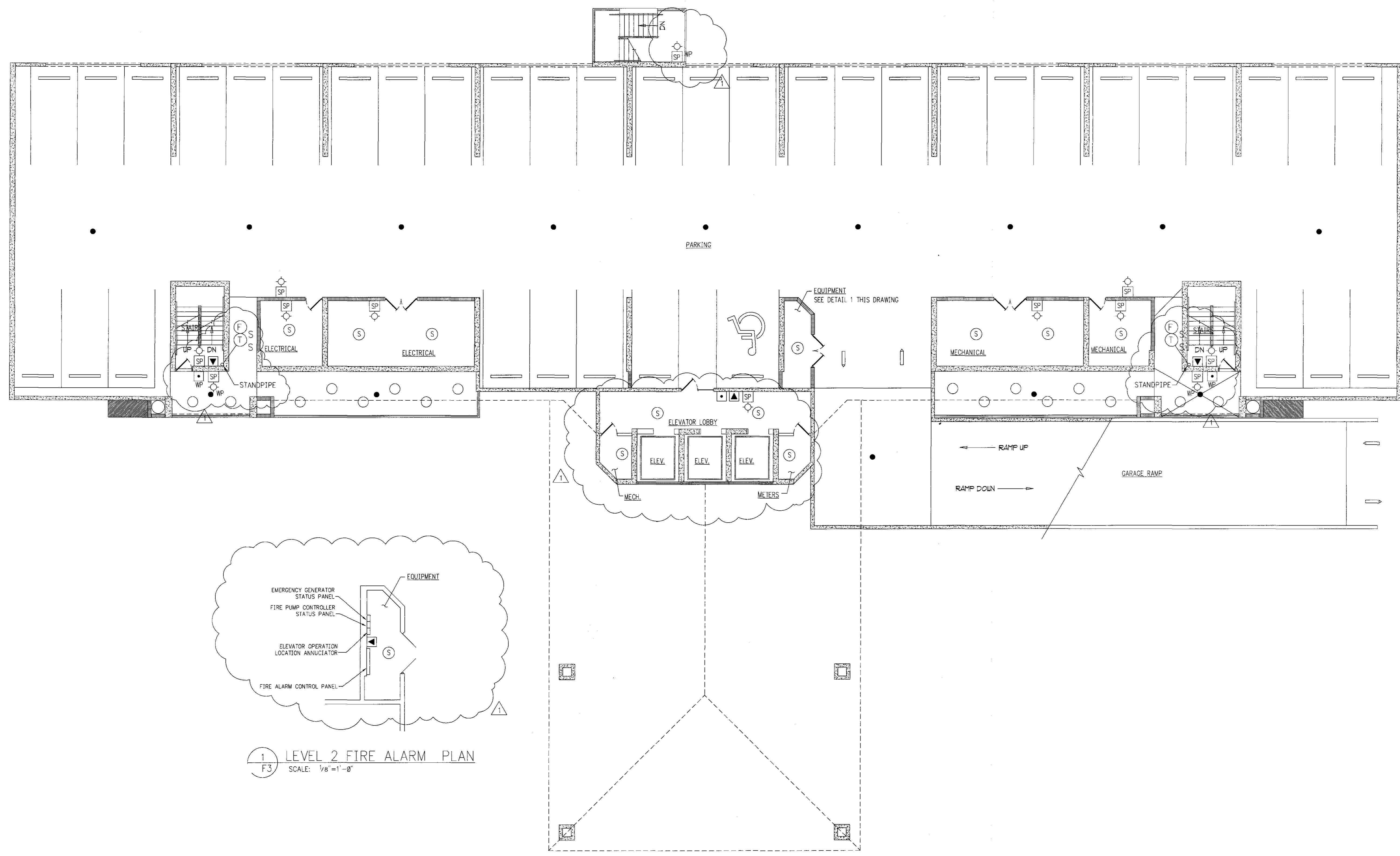
San Carlos Condominium
Gulf Shores, Alabama

JOB NO.:
CAD: SS
CHECKED: ROE
DATE: 5/21/04
REVISIONS:
0. I.F.C.
1. CODE REVIEW.
10-19-04



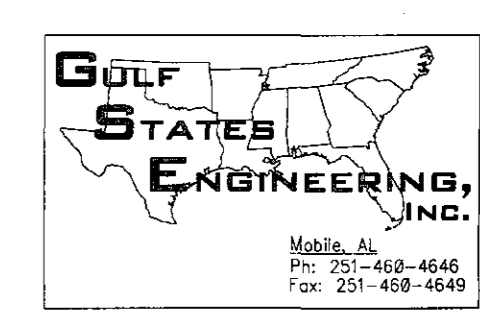
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1 LEVEL 2 FIRE ALARM PLAN
F3 SCALE: 1/8"=1'-0"

LEVEL 2 - FIRE ALARM PLAN
SCALE: 1"=10'



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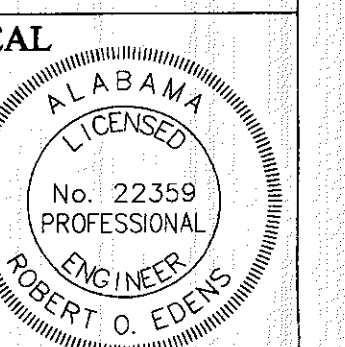
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PENSACOLA,
FLORIDA 32501

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FAX 435-9001

LEVEL 3
FIRE ALARM

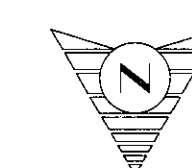
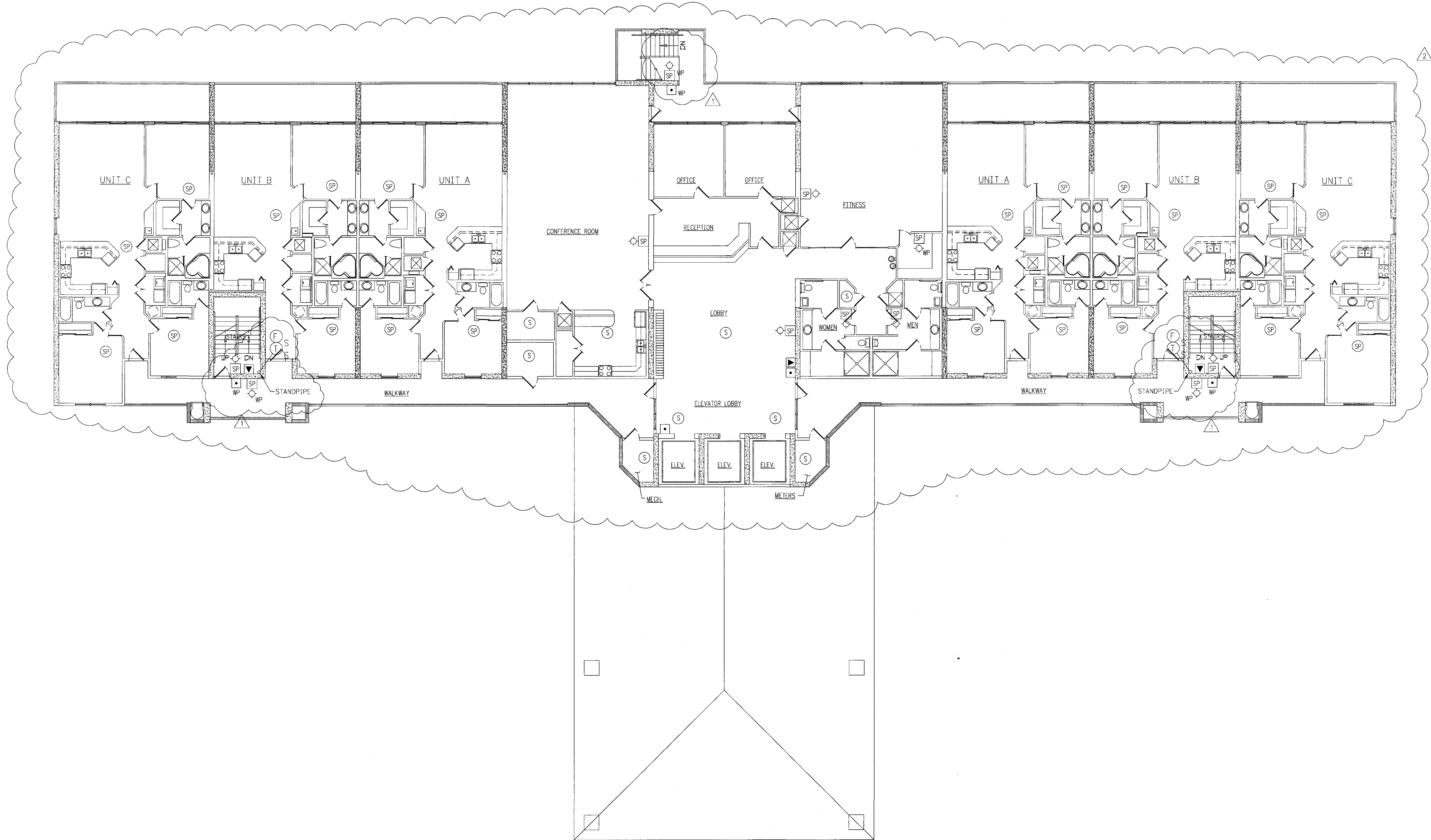
San Carlos Condominium
Gulf Shores, Alabama

JOB NO.:
CAD: SS
CHECKED: ROE
DATE: 5/2/04
REVISIONS:
0. I.F.C.
1. CODE
REVIEW.
10-19-04
2. CITY
REVIEW 11-17-04

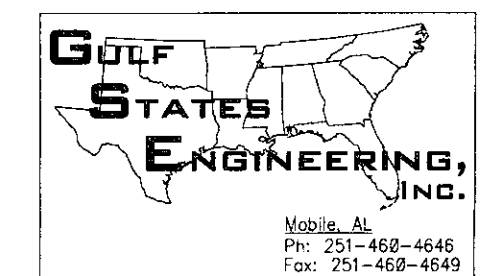


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OF



THIRD FLOOR - FIRE ALARM PLAN
SCALE: 1"=10'





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ARCHITECTURE & ENVIRONMENTAL DESIGN

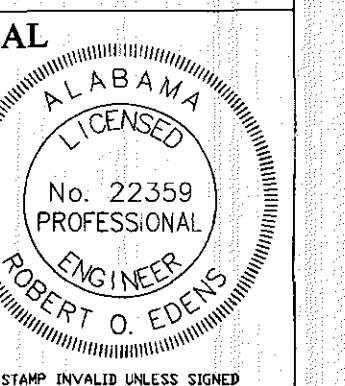
30 N. PALAFOX
PENSACOLA,
FLORIDA 32501

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LEVEL 4
FIRE ALARM

San Carlos Condominium
Gulf Shores, Alabama

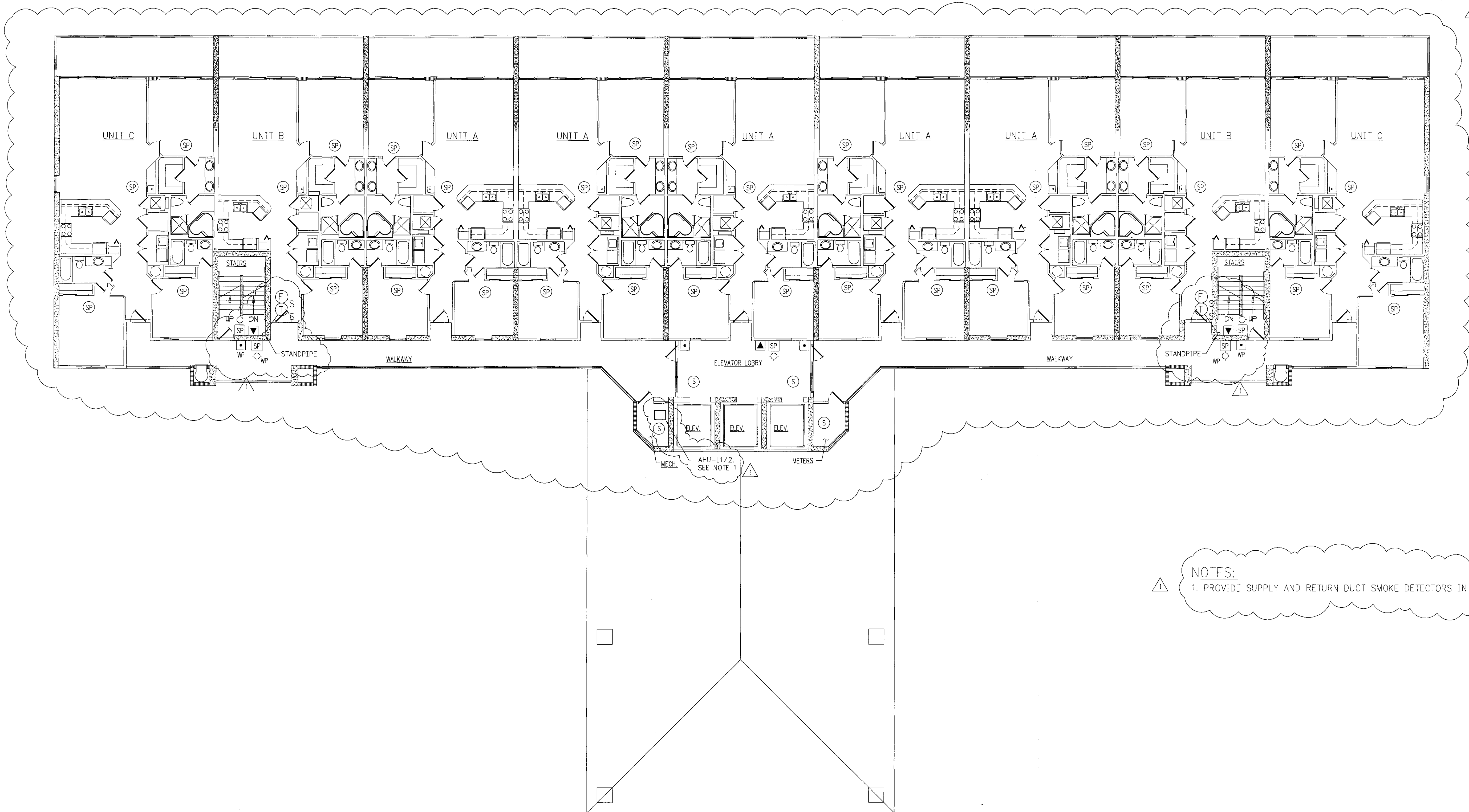
JOB NO.:
CAD: GS
CHECKED: ROE
DATE: 5/21/04
REVISIONS:
0. I.F.C.
1. CODE REVIEW.
10-19-04
2. CITY REVIEW 11-17-04



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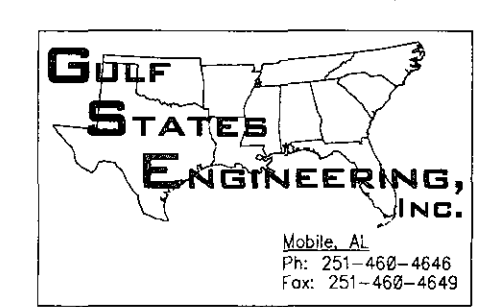
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OF



NOTES:
1. PROVIDE SUPPLY AND RETURN DUCT SMOKE DETECTORS IN AHU.

FOURTH FLOOR - FIRE ALARM PLAN
SCALE: 1"=10'





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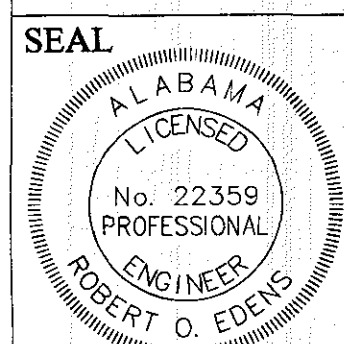
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PENSACOLA,
FLORIDA 32501

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LEVEL 5-16
FIRE ALARM

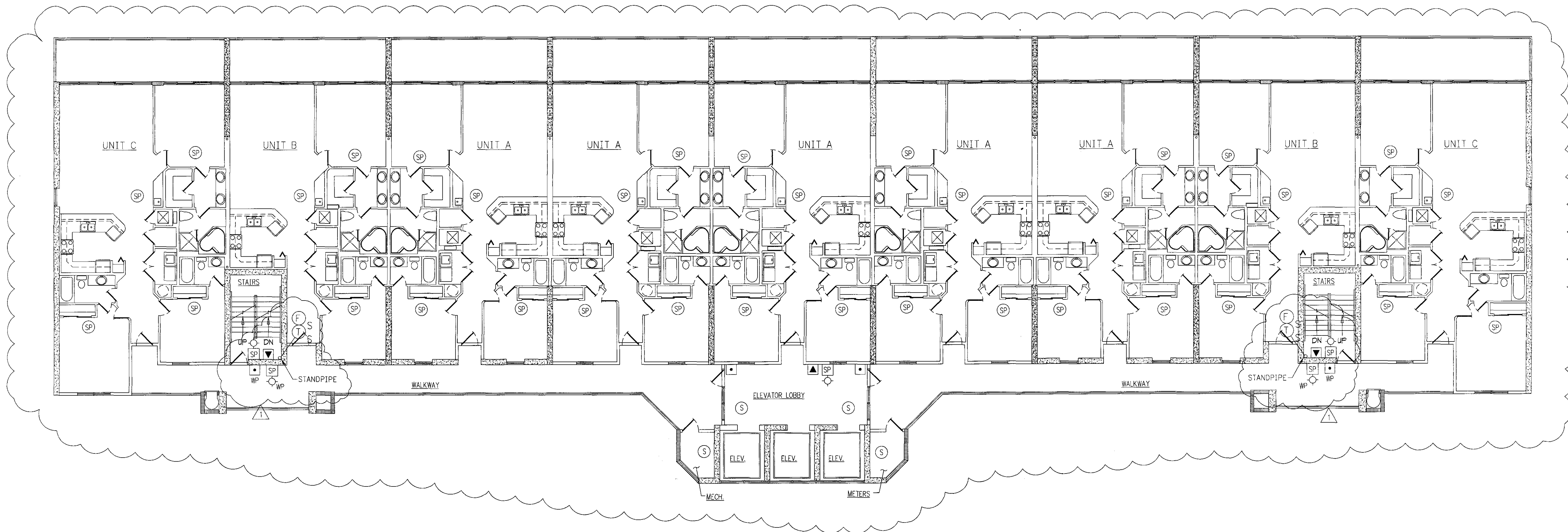
San Carlos Condominium
Gulf Shores, Alabama

JOB NO.:
CAD: 66
CHECKED: ROE
DATE: 5/21/04
REVISIONS:
0. I.F.C.
1. CODE REVIEW.
10-19-04
2. CITY REVIEW 11-17-04

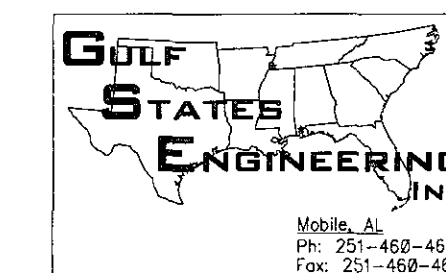


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FIFTH THRU SIXTEENTH FLOOR - FIRE ALARM PLAN
SCALE: 1"=10'



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LEVEL 17,18
FIRE ALARM

San Carlos Condominium
Gulf Shores, Alabama

JOB NO.:
CAD: SS
CHECKED: ROE
DATE: 5/21/04
REVISIONS:
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1. CODE REVIEW
10-19-04
2. CITY REVIEW 11-17-04

SEAL

S

C

